

**CITY OF FOLEY
PLANNING COMMISSION**

WORK SESSION

February 9, 2022

City Hall

Council Chambers

At 5:30 p.m.

&

MEETING

February 16, 2022

City Hall

Council Chambers

At 5:30 p.m.

PLANNING COMMISSION WORK SESSION AGENDA

February 9, 2022 (Council Chambers of City Hall) 5:30 P.M.

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The City of Foley Planning Commission will hold a work session meeting February 9, 2022 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

WORK SESSION:

1. Gary Flowers- Initial Zoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the initial zoning of 1.03 +/- acres. Proposed zoning is B-1A (Extended Business District). Property is located S. of County Rd. 12 S. and W. of State Hwy. 59. Applicant is Gary Flowers.

2. MDM Services, Inc.- Circle K Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for Circle K. The property is located S. of County Rd. 12 S. and W. of State Hwy. 59. Applicant is MDM Services, Inc.

3. FDR Properties, Inc.- Rezoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 1.97 +/- acres. Property is currently zoned B-3 (Local Business District). Proposed zoning is R-1A (Residential Single Family). Property is located at 21311 County Rd. 12 S. Applicant is FDR Properties, LLC.

4. Carolyn Mullis- Minor

The City of Foley Planning Commission has received a request for approval of the Carolyn L. Mullis Subdivision a minor subdivision which consists of 7.9 +/- acres and 3 lots. Property is located W. of State Hwy. 59 adjacent to Abbey Ln. Applicant is Carolyn L. Mullis.

5. Resubdivision of Lot 1 of Foley Crossroads- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 1 of Foley Crossroads a minor subdivision which consists of 138.68 +/- acres and 3 lots. Property is located at the SW corner of the Foley Beach Express and County Rd. 20. Applicant is Byrd Sons Residual Trust.

6. *The Cove at Cotton Bayou Phase 1- Minor

The City of Foley Planning Commission has received a request for preliminary approval of The Cove at Cotton Bayou Phase 1 which consists of 35.27 +/- acres and 53 lots. Property is located E. of County Rd. 65 and N. of Arbor Walk Subdivision. Applicant is RAM-Cotton Bayou Subdivision Partners, LLC.

7. Cypress St./Crimson Land Development- Rezoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 17 +/- acres. Property is currently zoned B-1A (Extended Business District), PO (Preferred Office District), AO (Agricultural Open Space) and R-2 (Residential Single Family and Duplex). Proposed zoning is R-3 (Residential Multi-Family). Property is located S. of Michigan Ave. between Cypress and Bay St. Applicant is Crimson Land Development LLC.

Note: *Denotes property located in the Planning Jurisdiction

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8. Magnolia Landing LLC- Rezoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 19 +/- acres. Property is currently zoned R-1D (Residential Single Family) and B-2 (Neighborhood Business District). Proposed zoning is PUD (Planned Unit Development). Property is located W. of Hickory St. and N. of County Rd. 12. Applicant is Jade Consulting.

9. Grand Riviera- Discuss possible PUD Changes

The City of Foley Planning Commission has received a request to discuss changing the current PUD to allow multi-family use. Applicant is WAS Design.

10. Subdivision Regulation Amendments

The City of Foley Planning Commission has received a request to approve the proposed Subdivision Regulation amendments to section 4.2 E.

11. Moratorium on Subdivision Exemptions-

The City of Foley Planning Commission has received a request to approve the proposed moratorium on Subdivision Exemption approvals.

12. Zoning Ordinance Amendments

Discuss proposed amendments

ADJOURN:

PLANNING COMMISSION MEETING AGENDA
February 16, 2022 (Council Chambers of City Hall) 5:30 P.M.

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The City of Foley Planning Commission will hold a meeting February 16, 2022 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

MINUTES:

Approval of the January 12, 2022 and January 19, 2022 meeting minutes.

PUBLIC HEARING:

1. Gary Flowers- Initial Zoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the initial zoning of 1.03 +/- acres. Proposed zoning is B-1A (Extended Business District). Property is located S. of County Rd. 12 S. and W. of State Hwy. 59. Applicant is Gary Flowers.

2. FDR Properties, Inc.- Rezoning

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The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 17 +/- acres. Property is currently zoned B-1A (Extended Business District), PO (Preferred Office District), AO (Agricultural Open Space) and R-2 (Residential Single Family and Duplex). Proposed zoning is R-3 (Residential Multi-Family). Property is located S. of Michigan Ave. between Cypress and Bay St. Applicant is Crimson Land Development LLC.

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NEW BUSINESS:

1. Gary Flowers- Initial Zoning

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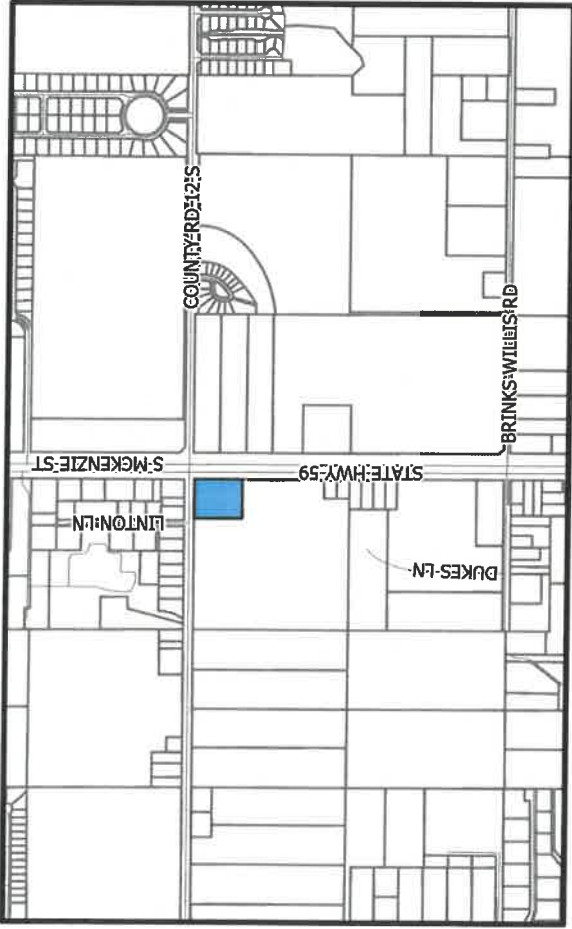
10. Moratorium on Subdivision Exemptions-

The City of Foley Planning Commission has received a request to approve the proposed moratorium on Subdivision Exemption approvals.

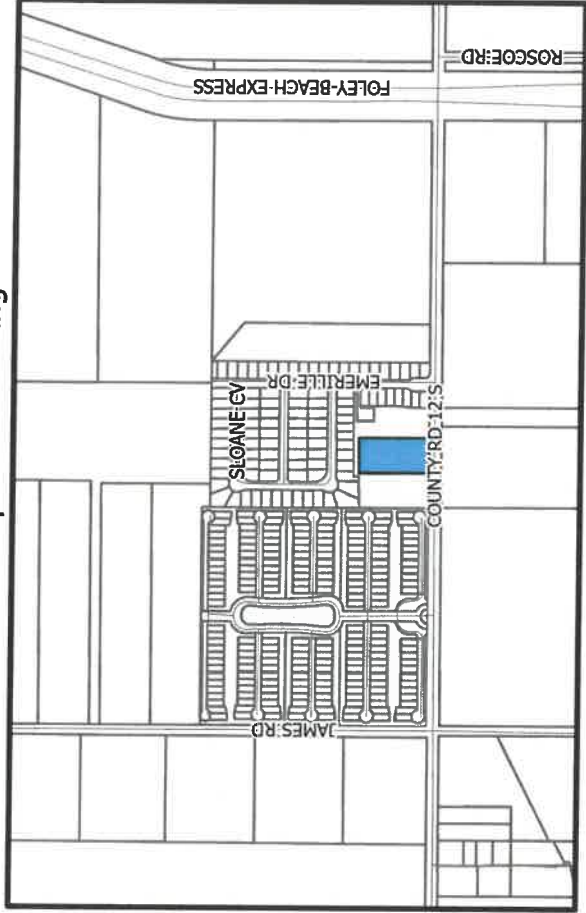
ADJOURN:

LOCATOR MAP

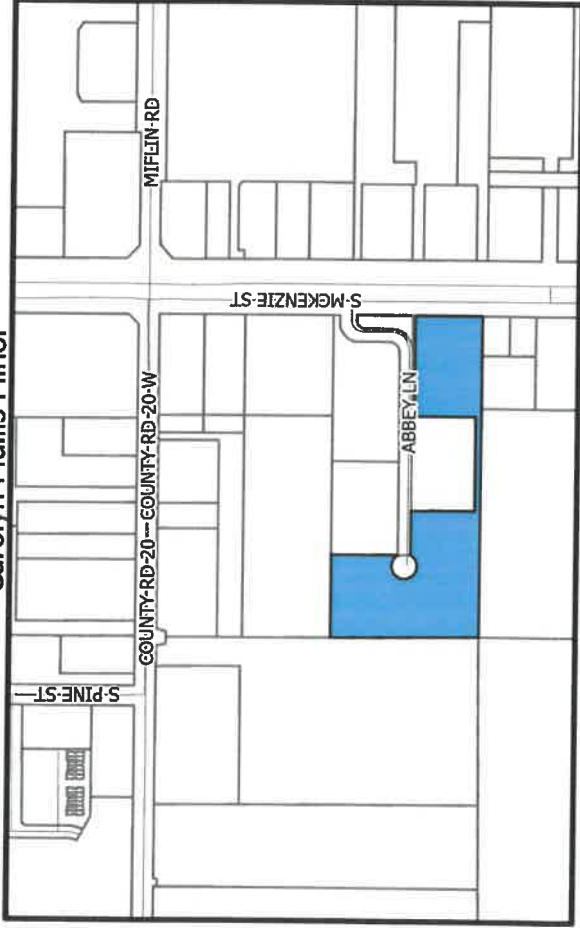
New Business Item # 1 & 2
Gary Flowers Initial Zoning & Circle K Site Plan



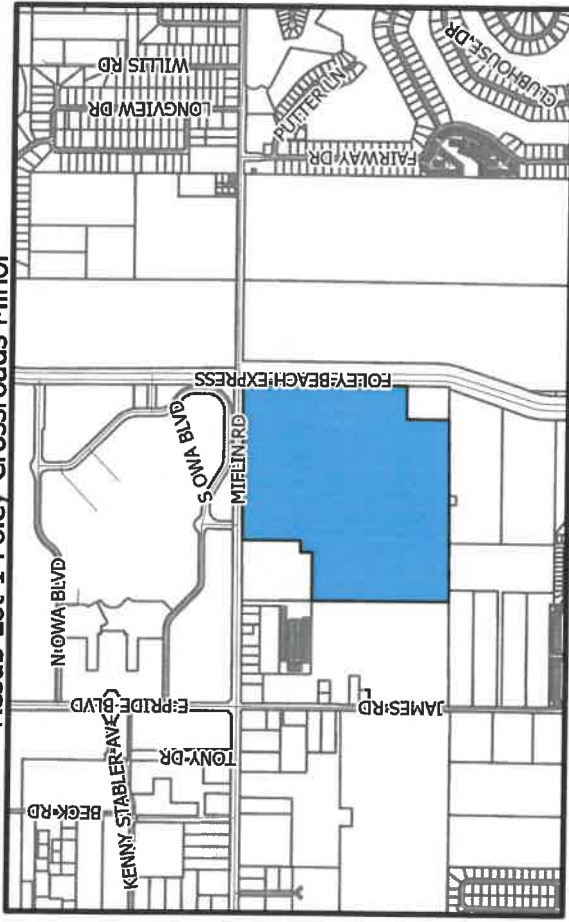
New Business Item # 3
FDR Properties Rezoning



New Business Item # 4
Carolyn Mullis Minor



New Business Item # 5
Resub Lot 1 Foley Crossroads Minor

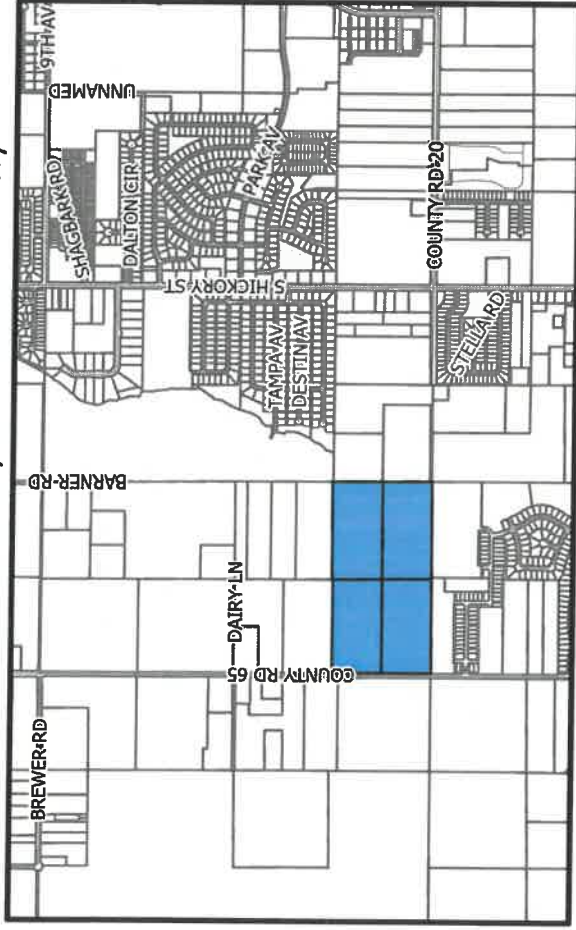


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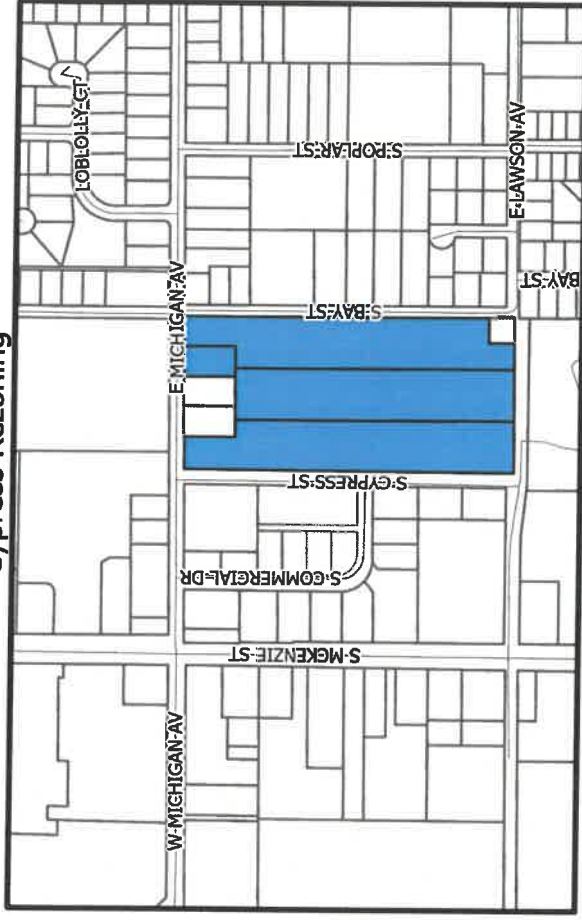


LOCATOR MAP

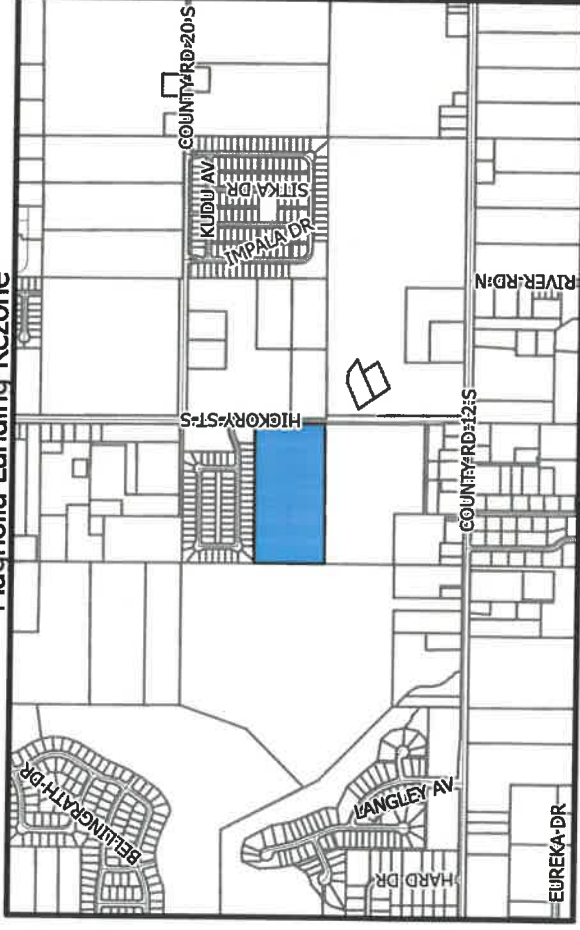
New Business Item # 6
The Cove at Cotton Bayou Phase 1 Preliminary



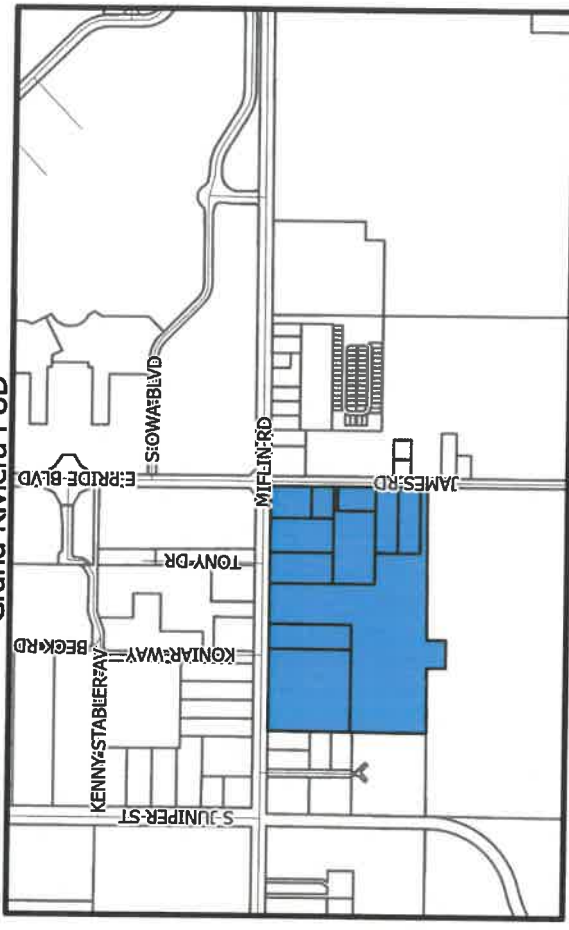
New Business Item # 7
Cypress Rezoning



New Business Item # 8
Magnolia Landing Rezone



Work Session Only
Grand Riviera PUD



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PLANNING COMMISSION WORK SESSION MEETING

January 12, 2022 (Council Chambers of City Hall) 5:30 P.M.

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The City of Foley Planning Commission held a work session meeting on January 12, 2022 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Larry Engel, Deborah Mixon, Ralph Hellmich, Wes Abrams, and Calvin Hare. Absent members were: Bill Swanson and Phillip Hinesley. Staff present were: Eden Lapham, Planner 1; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

WORK SESSION:

1. Foley Beach Race Trac- Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Foley Beach Race Trac a minor subdivision which consists of 21.38 +/- acres and 2 lots. Property is located at the SE corner of the Foley Beach Express and County Rd. 28 S. Applicant is SE Civil, LLC.

Mr. David Diehl with SE Civil explained they are subdividing the lot to cut out a 3 acre lot in the corner of the parcel.

2. Lots 4A & 4B, A Resub of Lot 4, A Resub of Lot 1 of Replat Woerner's Two Lots- Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Lots 4A & 4B, A Resub of Lot 4, A Resub of Lot 1 of Replat Woerner's Two Lots a minor subdivision which consists of 1.46 +/- acres and 2 lots. Property is located E. of State Hwy. 59 and S. of County Rd. 20. Applicant is Smith Clark & Associates, LLC.

Mr. Hunter Smith with Smith Clark & Associates explained they are doing a simple subdivision to cut out a portion of the lot for a future restaurant.

3. Outpost Orchard- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Outpost Orchard which consists of 59.16 +/- acres and 247 lots. Property is located S. of E. Michigan Ave. and W. of S. Pecan St. Applicant is SE Civil, LLC.

Mr. David Diehl explained the plan is the same as presented when the property was zoned other than a slight change in two lots.

Commissioner Hellmich asked if they were still planning on installing the multi-use path.

Mr. Diehl stated they are still planning on installing the multi-use path and are working out the details with Chad Christian.

Commissioner Hellmich asked if the development would be built in one or multiple phases.

Mr. Diehl stated it would be built in one phase.

Commissioner Hellmich asked that they try to do the construction in a way that they do not cause dust and run off issues. He stated they need to work closely with the Environmental Department.

Note: *Denotes property located in the Planning Jurisdiction

4. Mobama- Rezoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 22.13 +/- acres. Property is currently zoned R-1A (Residential Single Family) proposed zoning is B-1A (Extended Business District). Property is located E. of State Hwy. 59 and N. of E. Peachtree Ave. Applicant is Sawgrass Consulting.

Mr. Ercil Godwin stated Mike Hood the owner of Hood's Home Center owns the property and would like to develop a commercial park with a warehouse/office type product. He stated a portion of the parcels are already zoned B-1A. He explained they would add buffering between the businesses and the current residential uses.

Commissioner Hellmich stated there are concerns since this development will surround a residential property.

Mr. Godwin showed the Commissioners a preliminary design for the commercial park. He explained all the lots would be accessed internally and there has been discussion of making a connection to State Hwy. 59. He stated the property surrounding the residence would be substantially buffered and they will work with the Commission on the required buffers. He stated the owner has mentioned he is working on trying to purchase the house.

Commissioner Hellmich asked if he could get a time line and status regarding purchasing the home. He stated that would make a big difference and prevent a residence from being surrounded by B-1A zoning.

Mr. Godwin explained they looked at the property from a residential stand point and it was tough to get a layout that would work.

Chairman Abrams stated if the applicant is not in a terrible rush he would prefer the item be tabled in order to get feedback on the purchase of the residential lot. He explained his main concern is the house in the center of the proposed parcels.

Mr. Godwin stated he would speak with the applicant and let staff know how they want to proceed.

5. Chen Realty Co. Inc.- Rezoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 26 +/- acres. Property is currently zoned B-1A (Extended Business District) proposed zoning is R-3 (Residential Multi-Family). Property is located W. of State Hwy. 59 and N. of County Rd. 20 S. Applicant is Chen Realty Co. Inc.

The applicant explained they are requesting to rezone the property to an R-3 zone for a residential development. He stated agenda item # 6 will also be a part of this same development.

Chairman Abrams stated the zoning request is a down grade in zoning going from a B-1A to R-3.

Commissioner Hellmich stated the property is currently surrounded by B-1A zoning.

Note: *Denotes property located in the Planning Jurisdiction

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Commissioner Engel asked if there was only one entrance into the proposed development.

The applicant explained there will be an access off of County Rd. 20 and State Hwy. 59.

6. *Terry Grant- Pre-zoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the pre-zoning of 22 +/- acres. Proposed zoning is R-3 (Residential Multi-Family). Property is located W. of State Hwy. 59 and N. of County Rd. 20 S. Applicant is Terry Grant.

Item was discussed with agenda item # 5.

7. A & R Townhouse Development- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for a 25 unit attached residential complex. The property is zoned B-1A and located at the NW corner of S. Cypress St. and S. Commercial Dr. Applicant is Hopkins & Associates Architects.

Mr. Hopkins explained they would like to develop a 25 unit two story residential complex. He stated they have met with staff and he is working with Chad regarding drainage. He explained there would be a 6' privacy fence and an abundance of landscaping on the site.

Chairman Abrams asked if the units will be rentals or sold.

Mr. Hopkins stated the units would be rentals.

Commissioner Hellmich asked if any sidewalks would be installed.

Mr. Hopkins stated there would be sidewalks within the development by the parking section.

Chairman Abrams stated he feels this is a nice transition between the current surrounding zones.

8. Element Townhomes- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for a 420 residential attached townhome development. The property is currently zoned B-1A and is located S. of County Rd. 20 and E. of State Hwy. 59. Applicant is KTC Development, LLC.

Mr. Kent explained the proposed development is on approximately 36 acres with some wetlands.

Commissioner Hellmich stated the development is surrounded by commercial uses and apartments. He explained there will be some challenges in regards to drainage for the site.

Mr. Kent explained they are in the process of having some testing done to determine the best approach for water management. He explained currently they are proposing a town house style

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development but may look at breaking it down to include some residential single family. He stated the development would be similar to Cottages on the Greene on a smaller scale. He explained the wetlands on the property will be used to create an amenity to and enhance the development.

Commissioner Hellmich asked if they are aware of the access management plan that is in place done by Skipper. He stated the extension of Juniper St. will be going out for bid shortly. He asked if they had a time table on the start of construction.

Mr. Kent stated due to the Zoning regulation requirements they are hoping to start before the year site plan approval expires. He explained the development is meeting most R-3 zoning requirements but they would like to have it approved under the current zoning.

9. Engineer Design Group, LLC- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for a 21 residential units. The property is zoned B-2 and is located N. of US Hwy. 98 and E. of N. Beech St. Applicant is Engineer Design Group, LLC.

Commissioner Hellmich stated the property is currently zoned B-2. He asked if there was any plan to allow access from the alley.

The applicant stated there will not be access off the alley and the plan is to provide extra screening since the property abuts residences.

Commissioner Hellmich asked about the parking.

The applicant stated there will be parking provided in front of each unit.

Commissioner Hellmich stated they will have to deal with the drainage for the development.

10. Justin Jordan- Discuss possible Rezoning

The City of Foley Planning Commission has received a request to discuss a possible rezoning of property located N. of County Rd. 12 S. and E. of James Rd. Property is currently zoned RV requested zoning is R-3. Applicant is Justin Jordan.

Mr. Justin Jordan stated he would like to get feedback from the Commission regarding possibly rezoning the property to R-3.

Mr. Paul Smith stated his wife owns the property. He explained it was recently rezoned to an RV zone. He explained he also owns 4 parcels touching James Rd. located behind Cottages on the Green in which he has someone interested in purchasing for town homes.

Chairman Abrams asked about the 4 parcels touching James Rd. and stated it appears a portion of the back of the property is zoned B-1A.

Mr. Smith stated when the 4 lots were created they had to take a portion of another lot which was zoned B-1A in order to make the lots large enough to meet the R-4 requirements.

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Mrs. Melissa Ringler stated there has been some discussion regarding a possible change in the ordinance regarding setback, height and buffers for multifamily developments abutting a residential use. She explained nothing has been proposed at this time but wanted to make the applicant aware there may be possible changes in the future.

Commissioners stated they did not see any issues with rezoning the property to R-3.

11. Zoning Ordinance Amendments-
Discuss proposed amendments

Commissioners discussed the proposed zoning ordinance amendments regarding fences. Commissioners were in agreement that no changes were needed at this time.

ADJOURN:

Meeting adjourned at 6:45 p.m.

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The City of Foley Planning Commission held a regular scheduled meeting on January 19, 2022 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Wes Abrams, Deborah Mixon, Calvin Hare, Phillip Hinesley and Vera Quaites. Absent members were: Ralph Hellmich, Bill Swanson and Larry Engel. Staff present were: Eden Lapham, Planner 1; Chad Christian, City Engineer and Amanda Cole, Planning and Zoning Assistant/Acting Recording Secretary

MINUTES:

Approval of the December 1, 2021 and December 8, 2021 meeting minutes.

Commissioner Hinesley made a motion to approve the December 1, 2021 and the December 8, 2021 meeting minutes. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to approve the December 1, 2021 and December 8, 2021 meeting minutes passes.

Chairman Abrams adjourned the regular meeting and opened the public hearing.

PUBLIC HEARING:

1. Foley Beach Race Trac- Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Foley Beach Race Trac a minor subdivision which consists of 21.38 +/- acres and 2 lots. Property is located at the SE corner of the Foley Beach Express and County Rd. 28 S. Applicant is SE Civil, LLC.

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

2. Lots 4A & 4B, A Resub of Lot 4, A Resub of Lot 1 of Replat Woerner's Two Lots- Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Lots 4A & 4B, A Resub of Lot 4, A Resub of Lot 1 of Replat Woerner's Two Lots a minor subdivision which consists of 1.46 +/- acres and 2 lots. Property is located E. of State Hwy. 59 and S. of County Rd. 20. Applicant is Smith Clark & Associates, LLC.

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

3. Outpost Orchard- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Outpost Orchard which consists of 59.16 +/- acres and 247 lots. Property is located S. of E. Michigan Ave. and W. of S. Pecan St. Applicant is SE Civil, LLC.

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

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Chairman Abrams stated the request for rezoning for Mobama was withdrawn per the applicant's request.

Chairman Abrams stated the Commission received a letter of opposition that would be entered for the record and asked if there were any members of the public to speak on this item.

A resident on Peachtree Ave asked what the request was for.

Chairman Abrams stated the applicant was not there to answer the question but they are wanting to rezone to expand the current business and do a small commercial park.

Virginia Bonds resident of 501 E Peachtree asked what uses were allowed in a B-1A zone.

Mrs. Amanda Cole stated the B-1A allowed uses.

David Wood resident of 106 Washington Blvd asked if this was withdrawn temporarily or permanently.

Chairman Abrams stated he believed it was temporary.

Doug Wyatt resident of 213 E Peachtree stated there were drainage issues in the area due to another development in the area. Mr. Wyatt also stated he was concerned about a detention pond because of the water issues in the area.

Chairman Abrams stated this was for rezoning the property, when they come for the subdivision they will need to have plans that are reviewed by our City Engineer.

5. Chen Realty Co. Inc.- Rezoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 26 +/- acres. Property is currently zoned B-1A (Extended Business District) proposed zoning is R-3 (Residential Multi-Family). Property is located W. of State Hwy. 59 and N. of County Rd. 20 S. Applicant is Chen Realty Co. Inc.

Chairman Abrams stated the Commission received a letter of opposition for the item that would be entered for the record and asked if there were any members of the public to speak on the item. There were none.

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6. *Terry Grant- Pre-zoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the pre-zoning of 22 +/- acres. Proposed zoning is R-3 (Residential Multi-Family). Property is located W. of State Hwy. 59 and N. of County Rd. 20 S. Applicant is Terry Grant.

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

NEW BUSINESS:

1. Foley Beach Race Trac- Minor Subdivision

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Commissioner Hare made a motion to approve the minor subdivision. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to approve the requested minor subdivision passes.

2. Lots 4A & 4B, A Resub of Lot 4, A Resub of Lot 1 of Replat Woerner's Two Lots- Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Lots 4A & 4B, A Resub of Lot 4, A Resub of Lot 1 of Replat Woerner's Two Lots a minor subdivision which consists of 1.46 +/- acres and 2 lots. Property is located E. of State Hwy. 59 and S. of County Rd. 20. Applicant is Smith Clark & Associates, LLC.

Commissioner Hinesley made a motion to approve the minor subdivision. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to approve the requested minor subdivision passes.

3. Outpost Orchard- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Outpost Orchard which consists of 59.16 +/- acres and 247 lots. Property is located S. of E. Michigan Ave. and W. of S. Pecan St. Applicant is SE Civil, LLC.

Commissioner Mixon made a motion to approve the preliminary subdivision. Commissioner Hare seconded the motion. All Commissioners voted aye.

Motion to approve the requested preliminary subdivision passes.

4. Mobama- Rezoning

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Consulting.

Chairman Abrams stated the applicant has requested to withdraw the item from the agenda.

Commissioner Mixon made a motion to accept the withdrawal request. Commissioner Hare seconded the motion. All Commissioners voted aye.

Motion to accept the withdrawal request passes.

5. Chen Realty Co. Inc.- Rezoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 26 +/- acres. Property is currently zoned B-1A (Extended Business District) proposed zoning is R-3 (Residential Multi-Family). Property is located W. of State Hwy. 59 and N. of County Rd. 20 S. Applicant is Chen Realty Co. Inc.

Commissioner Quaite made a motion to recommend to Mayor and Council the requested rezoning of R-3. Commissioner Hare seconded the motion. All Commissioners voted aye.

Motion to recommend to Mayor and Council the requested rezoning of R-3 passes.

6. *Terry Grant- Pre-zoning

The City of Foley Planning Commission has received a request to recommend to Mayor and Council the pre-zoning of 22 +/- acres. Proposed zoning is R-3 (Residential Multi-Family). Property is located W. of State Hwy. 59 and N. of County Rd. 20 S. Applicant is Terry Grant.

Commissioner Hare made a motion to recommend to Mayor and Council the requested pre-zoning of R-3. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to recommend to Mayor and Council the requested pre-zoning of R-3 passes.

7. A & R Townhouse Development- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for a 25 unit attached residential complex. The property is zoned B-1A and located at the NW corner of S. Cypress St. and S. Commercial Dr. Applicant is Hopkins & Associates Architects.

Commissioner Hare made a motion to approve the requested site plan. Commissioner Hare seconded the motion. All Commissioners voted aye.

Motion to approve the requested site plan passes.

8. Element Townhomes- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for a 420 residential attached townhome development. The property is currently zoned B-1A and is located S. of County Rd. 20 and E. of State Hwy. 59. Applicant is KTC Development, LLC.

Note: *Denotes property located in the Planning Jurisdiction

PLANNING COMMISSION MEETING MINUTES
January 19, 2022 (Council Chambers of City Hall) 5:30 P.M.

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Page 5 of 5

Commissioner Hare made a motion to approve the requested site plan. Commissioner Quaites seconded the motion. All Commissioners voted aye.

Motion to approve the requested site plan passes.

9. Engineer Design Group, LLC- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for a 20 residential units. The property is zoned B-1A and is located N. of US Hwy. 98 and E. of N. Beech St. Applicant is Engineer Design Group, LLC.

Commissioner Mixon made a motion to approve the requested site plan. Commissioner Hare seconded the motion. All Commissioners voted aye.

Motion to approve the requested site plan passes.

ADJOURN:

Meeting adjourned at 6:00 p.m.



PETITION FOR ANNEXATION

New (18)
Business #1

We, the undersigned PETITIONERS, owners of the property described in the attached Exhibit A and as delineated on the map attached as Exhibit B, such property being outside the corporate limits of the City of Foley, Alabama, but which is now, or at the time this petition is acted upon will be, contiguous to the said corporate limits, and such property not lying within the corporate limits of any other municipality, do by these presents hereby petition the City of Foley, a municipal corporation, that said property be annexed into the City of Foley, Alabama pursuant to the authority of Section 11-42-21 of the Code of Alabama (1975).

We, the undersigned PETITIONERS further petition that the Honorable Mayor and City Council of the City of Foley, Alabama, set a date for the hearing of this petition and adopt an ordinance annexing such property.

We, the undersigned PETITIONERS also ask that the Honorable Mayor and City Council of the City of Foley, Alabama, do all things necessary and requisite to comply with the terms of Section 11-42-21 of the Code of Alabama (1975).

We, the undersigned PETITIONERS understand that we will have no right to vote in any elections which we would be entitled to vote in as a result of this proposed annexation until the annexation is pre-cleared by the United States Department of Justice pursuant to section 5 of the Voting Rights Act of 1965, as amended.

Dated this 9th day of September, 2021.

Gary J. Flaxman Mgr
Petitioner's Signature

Petitioner's Signature

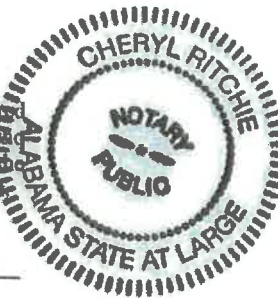
STATE OF ALABAMA
BALDWIN COUNTY

On this 9th day of September, 2021, before me personally appeared Gary J. Flaxman, to me known and known to me to be the person who executed the foregoing instrument, and who, sworn and under oath, acknowledged that he/she executed the same as his/her own free act and deed, with full knowledge of the contents thereof.

[Signature]
NOTARY PUBLIC

My Commission Expires: _____

My Commission Expires 1-14-2025



STATE OF ALABAMA
BALDWIN COUNTY

On this _____ day of _____, 20____, before me personally appeared _____, to me known and known to me to be the person who executed the foregoing instrument, and who, sworn and under oath, acknowledged that he/she executed the same as his/her own free act and deed, with full knowledge of the contents thereof.

NOTARY PUBLIC

My Commission Expires: _____

ATTACHMENT TO PETITION

PETITIONER(S) REQUEST PROPERTY BE INITIALLY ZONED AS FOLLOWS:

- ☐ R-1A Residential Single Family
- ☐ R-1B Residential Single Family
- ☐ R-1C Residential Single Family
- ☐ R-1D Residential Single Family
- ☐ R-1R Restricted Residential Single Family
- ☐ R-2 Residential Single Family & Duplex
- ☐ R-3 Residential Multi Family
- ☐ R-4 Residential Single Family & Duplex
- ☐ GPH-1 Residential Garden-Patio Homes
- ☐ TH-1 Residential Townhouses
- ☐ MH-1 Residential Mobile Home Park/Subdivision
- ☐ OSP Open Space/Reservation District
- ☐ PDD Planned Development District
- ☐ PUD Planned Unit Development
- ☐ PID Planned Industrial District
- ☐ B-1 Central Business District
- ☒ B-1A Commercial Extended Business District
- ☐ B-2 Commercial Neighborhood Business District
- ☐ B-3 Commercial Local Business District
- ☐ PO Preferred Office District
- ☐ M-1 Light Industry
- ☐ A-O Agriculture Open Space
- ☐ H Overlying area of Historic District

PLEASE SELECT ONE OF THE ABOVE. IF YOU HAVE ANY QUESTIONS REGARDING THE REQUESTED ZONING, PLEASE CALL THE ZONING OFFICE AT 251-943-4011.

Initial Zoning Fee \$250.00 - check payable to the City of Foley due at time of submission.

Number of homes currently located on the property being annexed 0

Number of occupants Adults 0 Race N/A

Number of businesses currently located on the property being annexed _____

(If more than one business on property, print information on back.)

Name of business _____

Owner's Name _____

Mailing Address _____

If property is undeveloped, have plans been submitted to Planning Commission?

☐ Yes

If yes, state estimated date the development or subdivision will be completed _____

☐ No

Nancy J. Francis Mgr
Petitioner's Signature Date

Petitioner's Signature Date

pin# 222606
1.03 Acres

20

Planning Commission Report

By Miriam Boutwell

February 2022

Initial Zoning

Applicant: Gary J Flowers

Location: South of CR 12, west of Hwy 59

Size: 1.03+/- Acres

Current Zoning: Unzoned Baldwin County

Requested Zoning: B1A – Extended Business District

Future Land Use: RCC – Retail Commercial Concentration

Flood Zone: X

Unconfirmed

Comments: A 250' x 350' lot was already in the City limits & zoned B1A. Circle K needed a larger lot so a new subdivision was done enlarging the lot by 1.03+/- acres. The property has been annexed & now needs to be zoned. They have requested B1A which matches the portion already in the City.



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

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To: CDD Staff

cc: City of Foley Planning Commission

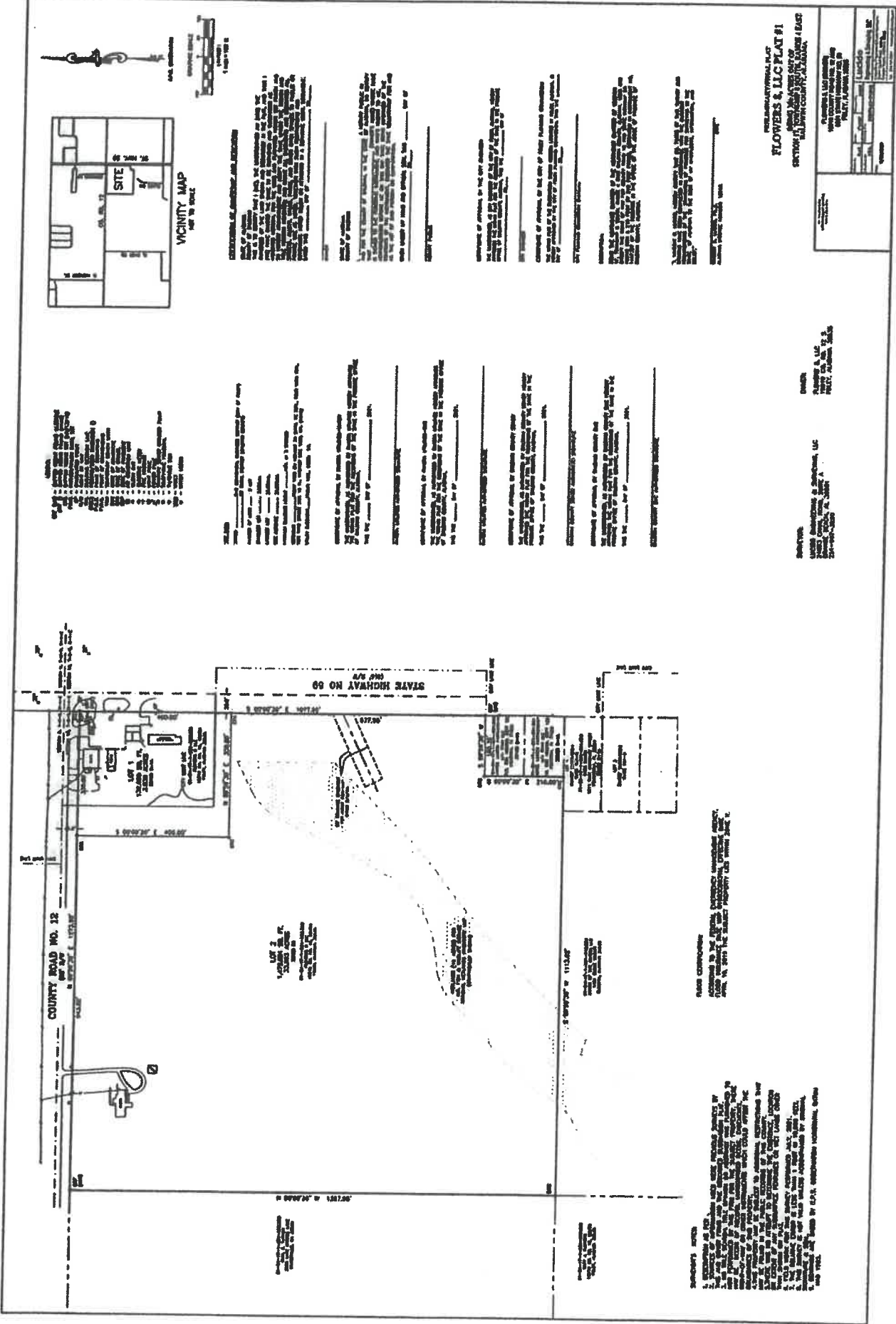
From: Chad P. Christian, P.E.

Date: 2-2-22

Re: Flowers Initial Zoning

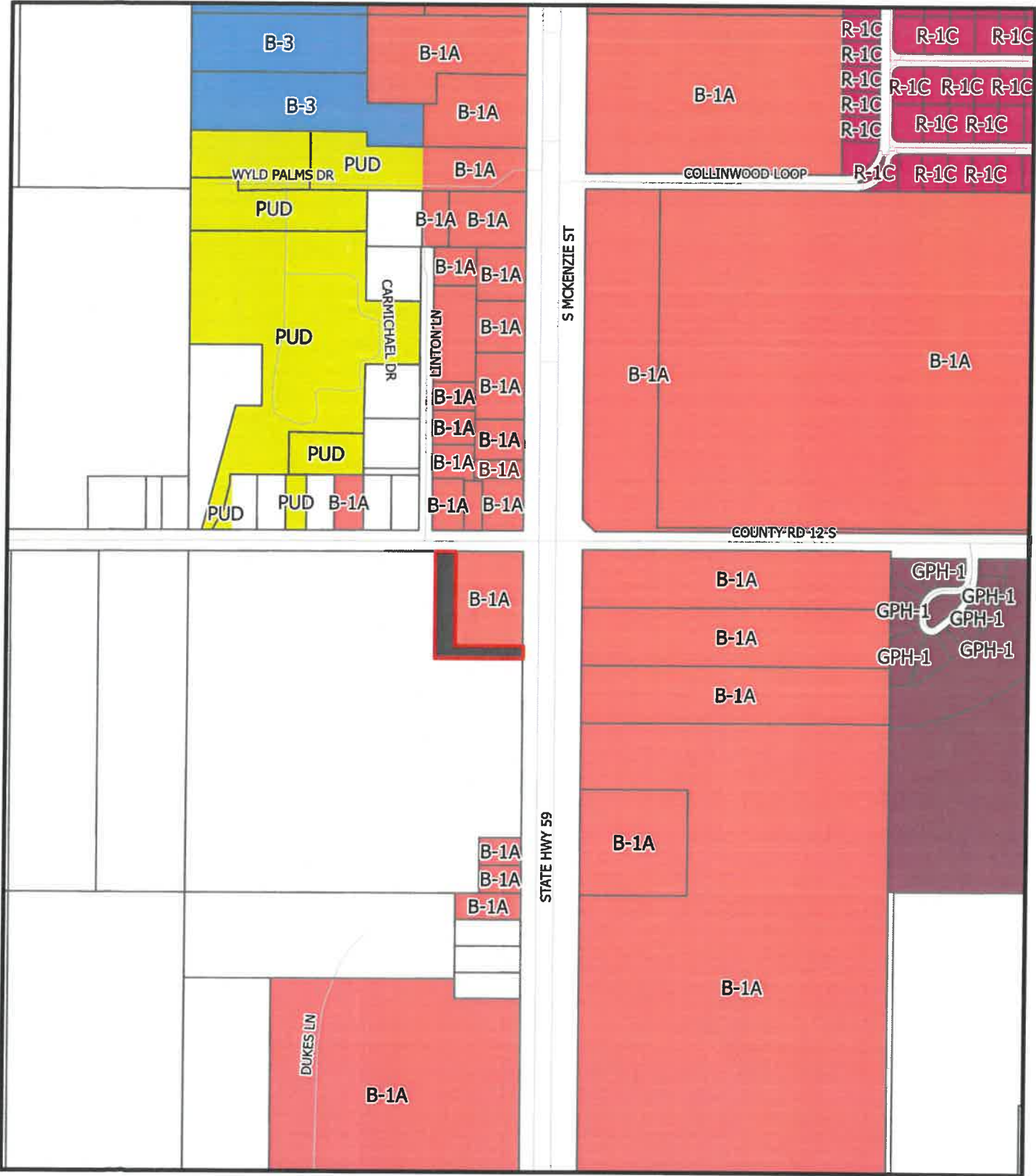
Engineering is not opposed to the requested Initial Zoning.

Chad P. Christian, P.E.
City Engineer

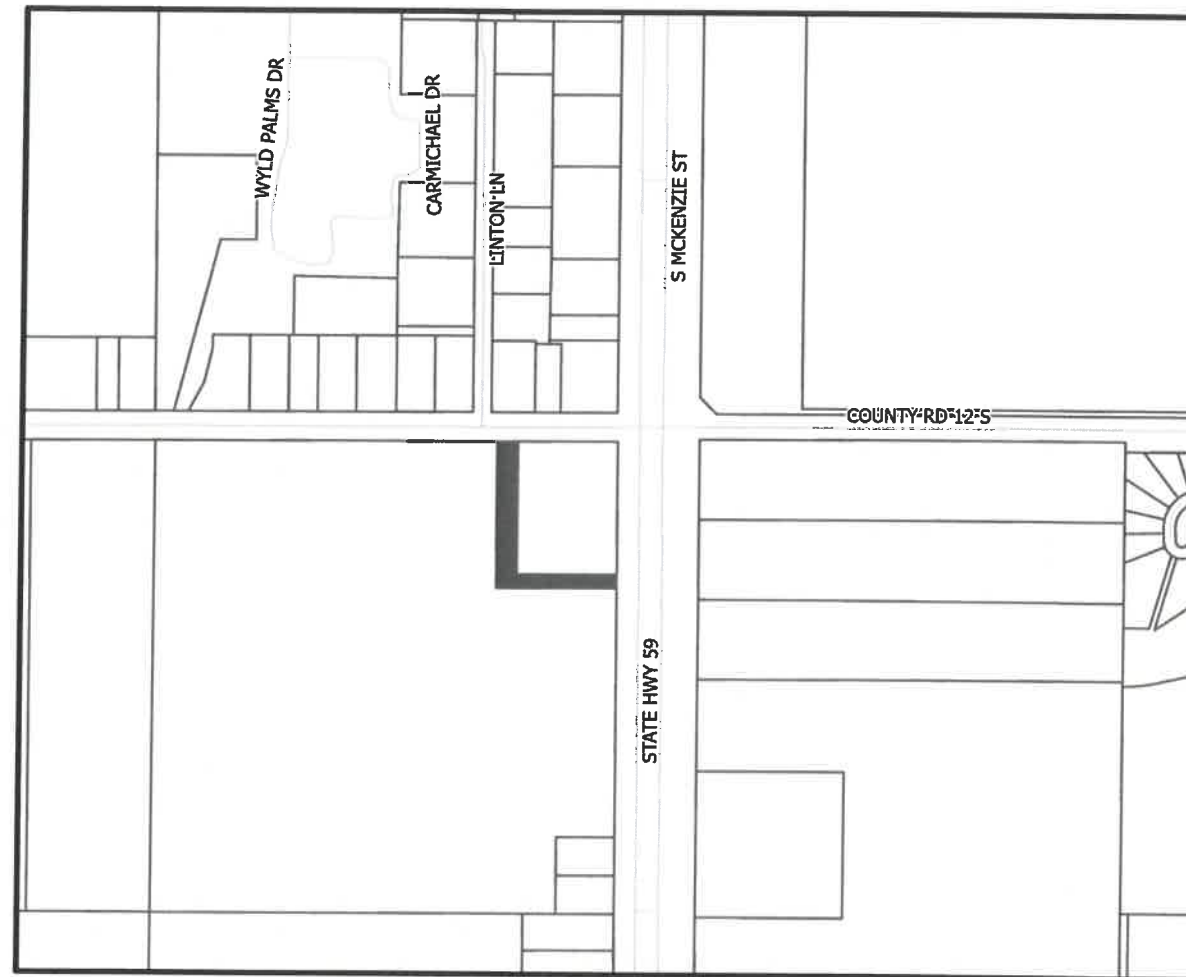


22

Gary Flowers Adjacent Zones



PUBLIC NOTICE



The City of Foley Planning Commission has received a request to recommend to Mayor and Council the initial zoning of 1.03 +/- acres. Proposed zoning is B-1A (Extended Business District). Property is located S. of County Rd. 12 S. and W. of State Hwy. 59. Applicant is Gary J. Flowers.

Anyone interested in this initial zoning request maybe heard at a public hearing scheduled for February 16, 2022 in the Council Chambers of City Hall located at 407 W. Laurel Ave. at 5:30 p.m. or may respond in writing to 120 S. McKenzie St., Foley, AL 36535.

Wes Abrams
Planning Commission Chairman



1055 Kathleen Road, Lakeland, FL 33805. Tel (863)646-9130 Fax (863)648-1106
2151 W. Hillsboro Blvd, Ste 401, Deerfield Beach, FL 33442 Tel. (954)427-3076

(25)
New
Business #2

January 17, 2022

Planning Commission
City of Foley
Community Development Division
407 East Laurel Avenue
Foley, Alabama 36535

Re: Circle K – 8951 AL Hwy 59, Foley AL

To Whom it May Concern,

By this letter, we respectfully request review and approval of the proposed Circle K to be located at 8951 AL Highway 59, in Foley Alabama.

The development will consist of construction of a new 5200 square foot convenience store, with 8 automobile fuel dispensers under a canopy in front of the store and 2 Tractor Trailer fueling position under a canopy in the rear of the store along with associated parking, paving, drainage, and landscaping.

Infrastructure improvements as part of the proposed development will include widening County Road 12 and restriping to include a right turn lane and a left turn lane. Please note that this widening is consistent with the City's future plans for this intersection. Additionally, we will be adding a right turn lane to Alabama Highway 59 to support this development.

With this in mind we ask the Planning Commission to review and approve the site plan, landscape plan and site signage plan included with this submission.

Please contact me should you have additional questions or concerns.

Thank you in advance for your consideration.

Sincerely,

Sandra L. Owens
Project Manager

Enclosures

Planning Commission Report
By Miriam Boutwell
February 2022
Site Plan

Name: Mitchell Saxon

Applicant: Same as Above

Location: SW Corner of CR 12 & Hwy 59

Existing Zoning: B1A – Extended Business District

Flood Zone: X

Unconfirmed

Comments: This is a site plan for the new Circle K convenience store, gas station & 2 tractor trailer fueling stations.

	Required:	Proposed:
Front Setback	30'	30'+
Rear Setback	20'	20'+
Side Yard	10'	20'+
Side Yard Abutting Street	30'	30'+
Landscaping	10%	LS Plan Exceeds



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

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To: CDD Staff

cc: City of Foley Planning Commission

From: Chad P. Christian, P.E.

Date: 2-2-22

Re: Circle K Site Plan Review

Engineering is not opposed to the conceptual site plan as presented. A Land Disturbance Permit will be required for construction. Improvements to CR 12 will need to be coordinated with intersection improvements project currently under design by ALDOT.

Chad P. Christian, P.E.
City Engineer



120 West Verbena Avenue
Foley, Alabama 36535
(251) 943-1266
Fax (251) 943-7432
www.cityoffoley.org

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January 28, 2022

City of Foley Planning Commission
407 East Laurel Avenue
Foley, Alabama 36535

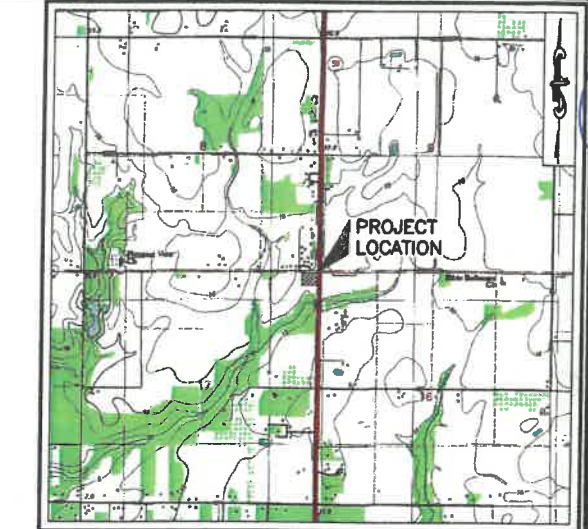
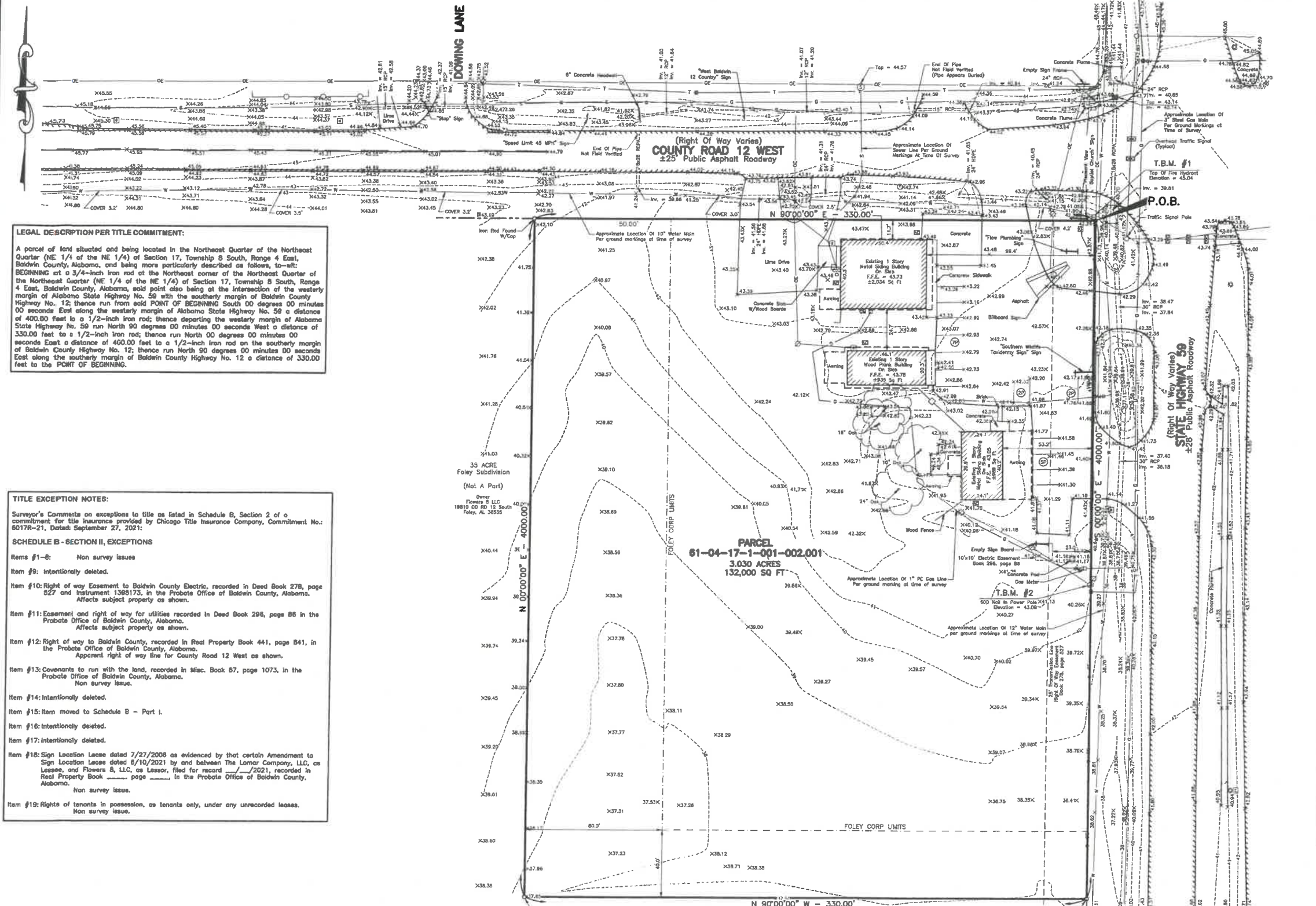
Re: Circle K – 8951 Highway 59
MDM Engineering
Application for Site Plan

Fire has reviewed this Application for Site Plan and has no issues.

Sincerely,

Brad Hall
Fire Inspector
City of Foley
bhall@cityoffoley.org

cc: City of Foley Planning and Zoning



LEGAL DESCRIPTION PER TITLE COMMITMENT:

A parcel of land situated and being located in the Northeast Quarter of the Northeast Quarter (NE 1/4 of the NE 1/4) of Section 17, Township 8 South, Range 4 East, Baldwin County, Alabama, and being more particularly described as follows, to-wit: BEGINNING at a 3/4-inch iron rod at the Northeast corner of the Northeast Quarter of the Northeast Quarter (NE 1/4 of the NE 1/4) of Section 17, Township 8 South, Range 4 East, Baldwin County, Alabama, said point also being at the intersection of the westerly margin of Alabama State Highway No. 59 with the southerly margin of Baldwin County Highway No. 12; thence run from said POINT OF BEGINNING South 00 degrees 00 minutes 00 seconds East along the westerly margin of Alabama State Highway No. 59 a distance of 400.00 feet to a 1/2-inch iron rod; thence departing the westerly margin of Alabama State Highway No. 59 run North 90 degrees 00 minutes 00 seconds West a distance of 330.00 feet to a 1/2-inch iron rod; thence run North 00 degrees 00 minutes 00 seconds East along the southerly margin of Baldwin County Highway No. 12 a distance of 330.00 feet to the POINT OF BEGINNING.

TITLE EXCEPTION NOTES:

Surveyor's Comments on exceptions to title as listed in Schedule B, Section 2 of a commitment for title insurance provided by Chicago Title Insurance Company, Commitment No. 60177-21, Dated: September 27, 2021.

SCHEDULE B - SECTION II, EXCEPTIONS

Items #1-8: Non survey issues

Item #9: Intentionally deleted.

Item #10: Right of way Easement to Baldwin County Electric, recorded in Deed Book 278, page 527 and Instrument 1368173, in the Probate Office of Baldwin County, Alabama. Affects subject property as shown.

Item #11: Easement and right of way for utilities recorded in Deed Book 298, page 86 in the Probate Office of Baldwin County, Alabama. Affects subject property as shown.

Item #12: Right of way to Baldwin County, recorded in Real Property Book 441, page 841, in the Probate Office of Baldwin County, Alabama. Apparent right of way line for County Road 12 West as shown.

Item #13: Covenants to run with the land, recorded in Misc. Book 87, page 1073, in the Probate Office of Baldwin County, Alabama. Non survey issue.

Item #14: Intentionally deleted.

Item #15: Item moved to Schedule B - Part I.

Item #16: Intentionally deleted.

Item #17: Intentionally deleted.

Item #18: Sign Location Lease dated 7/27/2008 as evidenced by that certain Amendment to Sign Location Lease dated 6/10/2021 by and between The Lomar Company, LLC, as Lessee, and Flowers & LLC, as Lessor, filed for record _____, 2021, recorded in Real Property Book _____ page _____ in the Probate Office of Baldwin County, Alabama. Non survey issue.

Item #19: Rights of tenants in possession, as tenants only, under any unrecorded leases. Non survey issue.

LEGEND		
FOUND PROPERTY CORNER (AS NOTED)	○	EXISTING MAILBOX
SET 3/4" IRON ROD (UNLESS NOTED OTHERWISE)	●	ELEVATION OF TOP OF STRUCTURE
EXISTING POWER POLE	⊗	ELEVATION OF BOTTOM OF STRUCTURE
EXISTING POWER POLE WITH LIGHT	⊗	EXISTING SPOT ELEVATION
EXISTING ELECTRIC PEDESTAL	⊞	ELEVATION OF TOP OF CURB
EXISTING AIR CONDITIONER	⊞	ELEVATION OF FACE OF CURB
EXISTING OVERHEAD POWER LINE	—○—	EXISTING GROUND CONTOUR LINE
EXISTING TELEPHONE PEDESTAL	⊞	EXISTING SEWER MANHOLE
EXISTING CABLE TV PEDESTAL	⊞	EXISTING SINKHOLE
EXISTING WOOD FENCE LINE	—x—	EXISTING GRAVITY SEWER LINE
EXISTING FIRE HYDRANT	⊞	EXISTING SUBSURFACE DRAINAGE
EXISTING WATER METER	⊞	EXISTING AREA INLET CATCH BASIN
EXISTING WATER VALVE	⊞	EXISTING REINFORCED CONCRETE PIPE
EXISTING PARKING SPACES	⊞	EXISTING TELEPHONE LINE
EXISTING GAS LINE	—g—	EXISTING GAS METER
EXISTING WATER LINE	—w—	EXISTING GAS VALVE

- NOTES:**
- Zoning: B-1A (Commercial Use - Extended Business District). Zoning information acquired from <https://foley.maps.org> accessed on October 4, 2021. Setbacks shall be verified by the owner, developer and/or contractor prior to any construction, as an abstract has not been performed by the surveyor. Zoning and setbacks are subject to change and should be verified with the local authority's Zoning Department before any design or construction.
 - Reference Maps: A) N/A
 - Basis of Bearings: The bearings shown hereon are based on the "Alabama State Plane Coordinate System - East Zone - NAD 83" using GPS GCGG-RTN System accessed on October 1, 2021. (*) Represents the Basis of Bearings. Distances shown are U.S. Survey feet.
 - Basis of Elevations: The elevations shown hereon are based on the "North American Vertical Datum of 1988 - NAVD 88" (Geoid 12b) using GPS GCGG-RTN System accessed on October 1, 2021.
 - Flood Note: The property hereon is located in Flood Zone "X" in accordance with FEMA Flood Insurance Rate Map Panel Number 010030031M, dated April 19, 2019, for Baldwin County, Alabama. Base Flood Elevation is subject to change and should be verified with the local authority's Flood Plain Administrator before any design or construction.
 - UTILITIES: The underground utilities shown have been located from "AL ONE CALL Ticket Number 212501976" visible utility features, and previous construction drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features. No excavations were made during the progress of this survey to locate buried utilities/ structures.
 - UTILITY COMPANIES NOTIFIED VIA ALABAMA ONE CALL TICKET NUMBER 212501976:
Baldwin County Sewer Service, LLC
Baldwin County EMC
Gulf Telephone
Mediacom - Gulf Shores
Quanta Telecom Services
Riverside Utilities - Foley
Southern Light / Unifi Fiber
Teleport Networks, INC
 - No attempt has been made by Cassidy-Acadia Land Surveying, LLC, to verify title, actual legal ownership, deed restrictions servitudes, easements, covenants, right-of-ways or other burdens on the property, other than that furnished by the client or his representative. There is no representation that all applicable servitudes and restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.
 - Cassidy-Acadia Land Surveying, LLC, has not and does not provide Definition of Jurisdictional Wetlands. Cassidy-Acadia Land Surveying, LLC, did not receive nor research the location of wetland areas as delineated by the appropriate authorities.
 - The words "Certify," "Certifies" or "Certification" as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information, and belief, as such, it does not constitute a guarantee or a warranty, expressed or implied.
 - Site T.B.M.'s (Temporary Bench Marks):
#1 - Top of fire hydrant near corner of State Highway 59 and County Road 12 West as shown on plot. Elevation = 45.04 feet N.A.V.D.88
#2 - 600 nail in power pole near West right of way line of State Highway 59 as shown on plot. Elevation = 43.09 feet N.A.V.D.88
 - The surveyor has no knowledge or observed any evidence of the site used as a solid waste dump, sump or sanitary landfill.
 - The surveyor has no knowledge or observed any evidence of current earth moving work, building construction or building additions.
 - The surveyor has no knowledge or observed any evidence of proposed changes in street right of ways.

CERTIFICATION:

To Chicago Title Insurance Company, Circle K Stores, Inc., a Texas corporation, Flowers & LLC, an Alabama limited liability company and Land Title Company of Alabama:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a)(1), 8, 9, 13, 14, 16, 17, 18, 19 & 20 of Table A thereof. The field work was completed on November 18, 2021.

This survey was done by me or under my direct supervision and control and the survey was done on the ground and was done in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a)(1), 8, 9, 13, 14, 16, 17, 18, 19 & 20 of Table A thereof. The field work was completed on November 18, 2021.

I, the undersigned, do hereby certify that I am a duly Licensed Professional Engineer and Surveyor and that the survey was done in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a)(1), 8, 9, 13, 14, 16, 17, 18, 19 & 20 of Table A thereof. The field work was completed on November 18, 2021.

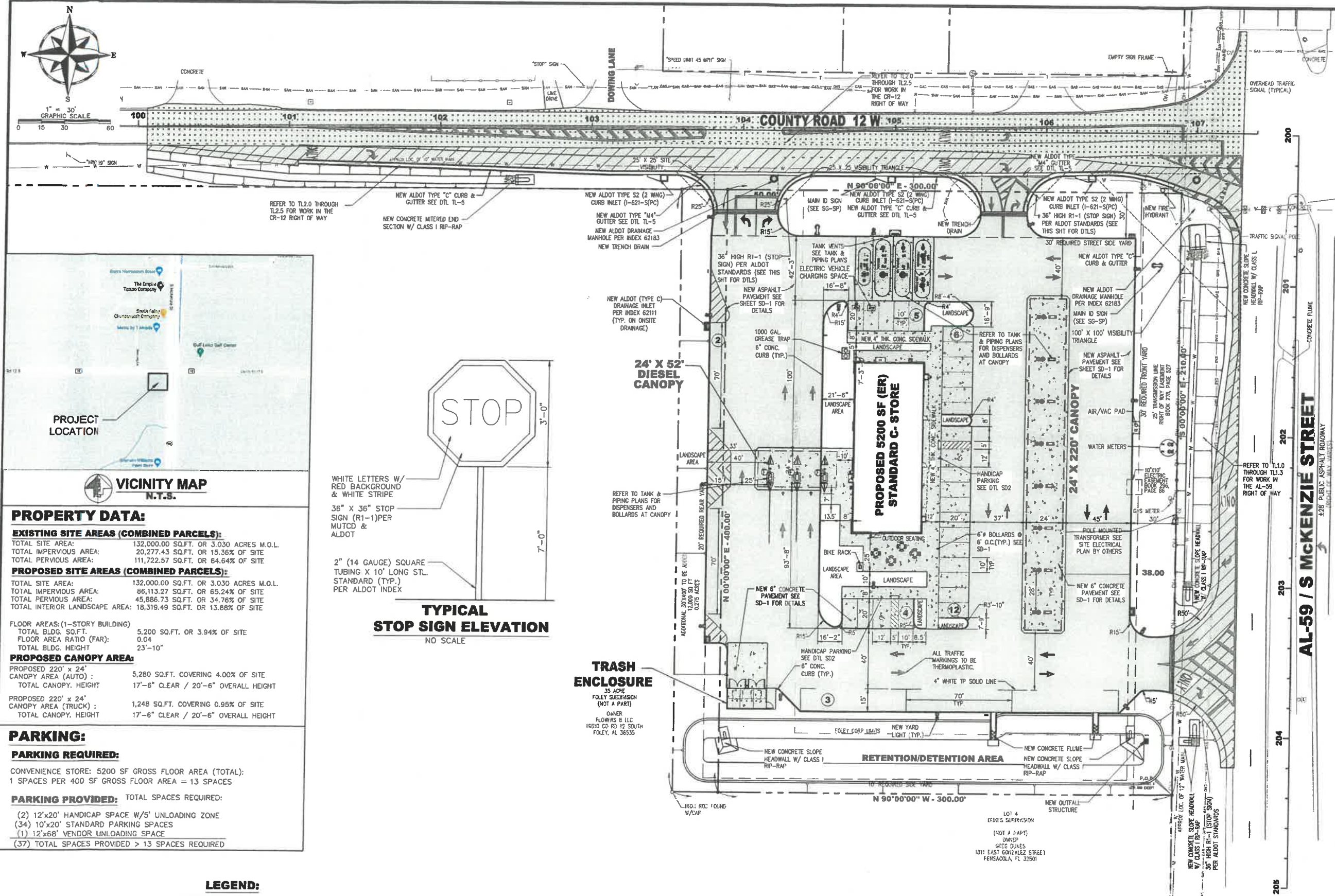
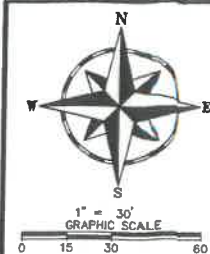
Michael P. Blanchard, P.S.

This survey plot is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

ALTA/NSPS LAND TITLE SURVEY
OF
#8951 STATE HIGHWAY 59
PARCEL 61-04-17-1-001-002.001
LOCATED IN SECTION 17,
TOWNSHIP 8 SOUTH, RANGE 4 EAST
CITY OF FOLEY,
BALDWIN COUNTY, ALABAMA





CASSADY - ACADIA
LAND SURVEYING, LLC
LOUISIANA - MISSISSIPPI - TEXAS - ALABAMA
1714 22nd Avenue - Gulfport, MS 39501
Ph: (228) 896-7155 Fx: (228) 896-8405
Email - Surveys@Cassady-Acadia.com

12/17/2021		UTILITY REVISIONS 12/16/2021		BY:
DRAWN BY: DAT	CHECKED BY: MW	APPROVED BY: MW		
FIELD BOOK: 30, PG 40	FIELD WORK COMPLETED ON: NOVEMBER 18, 2021	CALS FILE: 21-02-0292.dwg		



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DIAL 811 BEFORE YOU DIG
KNOW WHAT'S BELOW.
ALWAYS CALL 811 OR 800 292-8525 FIRST.
THE CALL AND THE SERVICE ARE FREE.

LEGEND:

- | | |
|---|---------------------------------|
|  | NEW ASPHALT PAVEMENT |
|  | MILL AND RESURFACED PAVEMENT |
|  | NEW ASPHALT PAVEMENT (WIDENING) |
|  | NEW CONCRETE PAVEMENT |



CIRCLE K STORES, INC.

Gulf Coast Business Unit

DESIGN TEAM TITLE:

MDM
SERVICES, INC.

engineering • environmental • construction

1055 KATHLEEN ROAD, LAKE LAND, FLORIDA 33805
Phone: (863) 648-8130

2151 W. HILLSBORO BOULEVARD, SUITE 401
DEERFIELD BEACH, FLORIDA 33442
Phone: (954) 427-3076
ENTITY #R32-484

[illegible]

Richard R Morris

RICHARD R. MORRIS
AL REG # 14326

**5200 SQ. FT.
BUILDING**

SITE DESIGNATIONS:

**CIRCLE K STORE #TBD
8951 STATE HWY 59A
FOLEY, AL
(CITY OF FOLEY)
BALDWIN COUNTY**

SCALE: AS NOTED	MDM JOB # 21186
-----------------	-----------------

DATE: 11-3-2021

DESIGNED BY:

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DRAWN BY: DOB/

CHECKED BY:

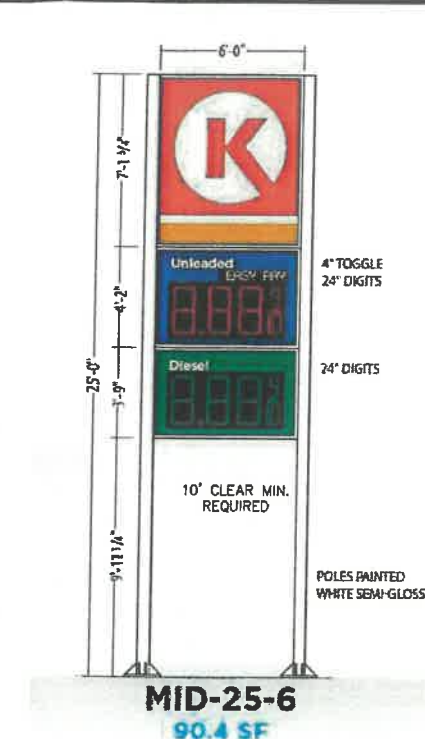
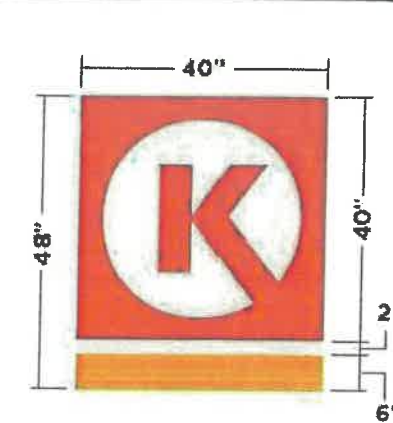
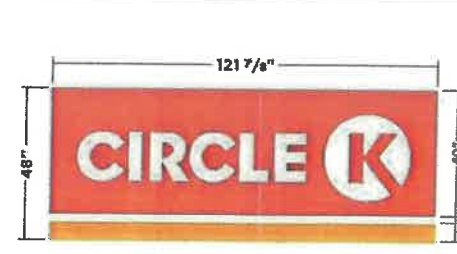
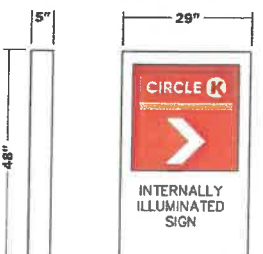
DRAWING TITLE:

1999-2000

SITE PLAN

SHEET NO:

C1.0



NOTE:

SIGNS SHOWN FOR GRAPHICS, SQUARE FOOTAGES, AND LOCATION ONLY. ACTUAL SIGN PERMIT, PLANS AND CALCULATIONS SHALL BE PROVIDED BY SIGN CONTRACTOR. A SEPARATE SIGN PERMIT IS REQUIRED FOR EACH SIGN.

3 DIRECTIONAL SIGN
SCALE: NONE ±9.67 SQ.FT.

5 AUTO CANOPY SIGN
SCALE: NONE ±30.87 SQ.FT.

2 BUILDING SIGN - FRONT
SCALE: NONE ±40.62 SQ.FT.

4 BUILDING SIGN - SIDE
SCALE: NONE ±12.00 SQ.FT.

1 MAIN ID SIGN
SCALE: NONE 90.40 SQ.FT.

ENTRANCE SIDE EXIT SIDE
11 DIRECTIONAL SIGN
SCALE: NONE ±9.67 SQ.FT.

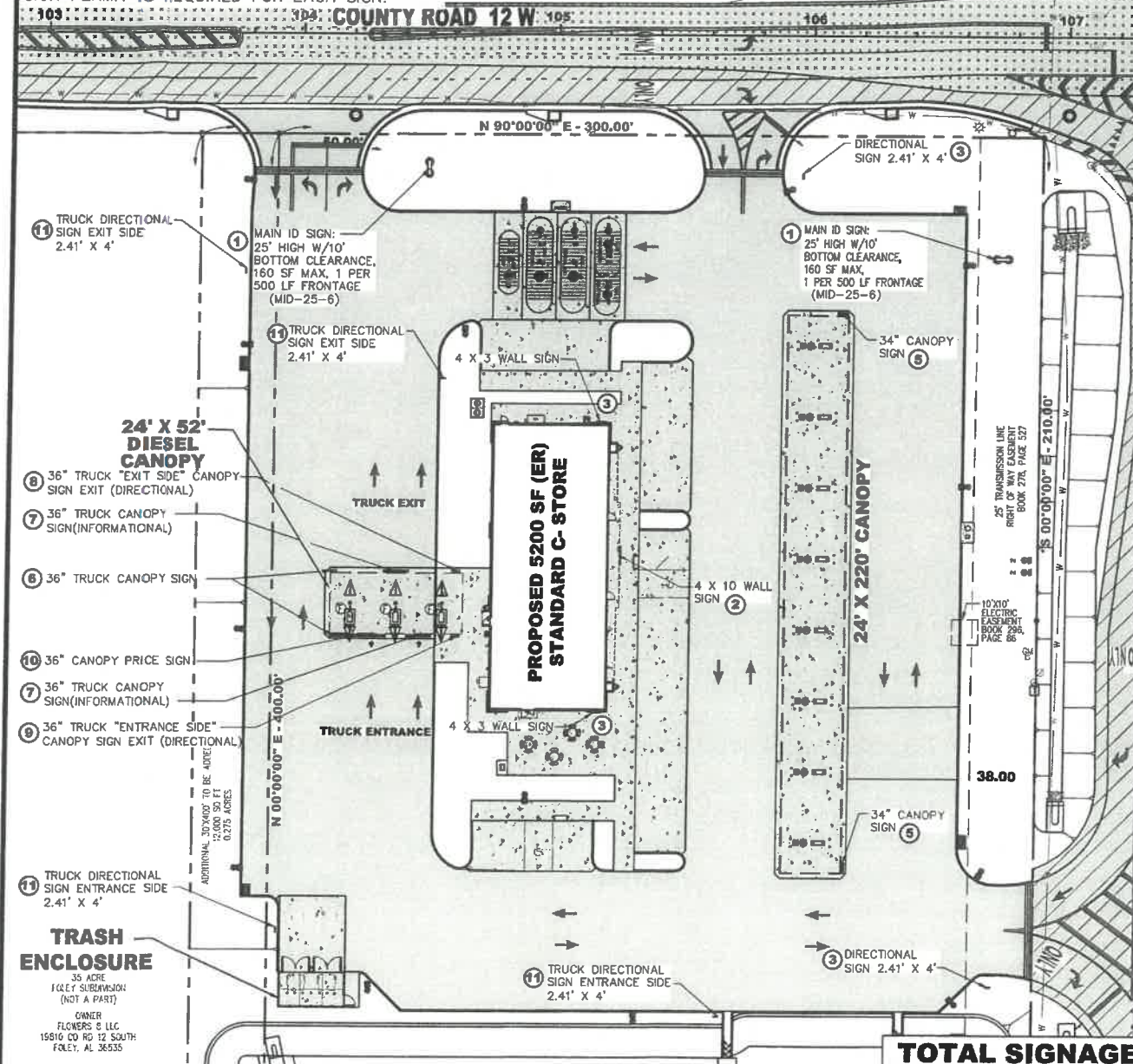
10 TRUCK PRICE CANOPY SIGN
SCALE: NONE ±58.75 SQ.FT.

6 TRUCK CANOPY SIGN
SCALE: NONE ±7.50 SQ.FT.

7 TRUCK INFORMATIONAL CANOPY SIGN
SCALE: NONE ±30.00 SQ.FT.

8 TRUCK ENTRANCE SIDE DIRECTIONAL CANOPY SIGN
SCALE: NONE ±4.33 SQ.FT.

9 TRUCK EXIT SIDE DIRECTIONAL CANOPY SIGN
SCALE: NONE ±5.08 SQ.FT.



AL One Call 811
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ALWAYS DIAL 811 OR 800 292-8525 FIRST.
THE CALL AND THE SERVICE ARE FREE.

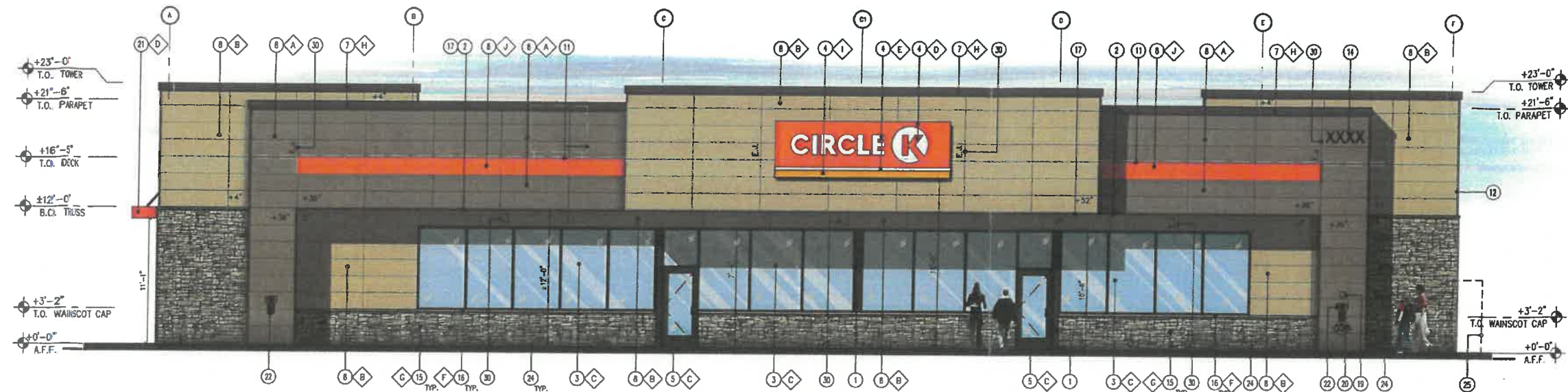
SIGNAGE ALLOWED PER LDC:
SIGN CONTRACTOR TO REVIEW BAY COUNTY LDC AS APPLICABLE
I.D. SIGN:
(1) ON PREMISE SIGN. 1 SIGN PER 500 LINEAR FOOT OF STREET FRONTAGE, 25 FEET MAX SIGN HEIGHT, 160 SF MAX, BOTTOM CLEARANCE IS 10 FEET.
WALL SIGNS:
1 SIGN PER FACING STREET FRONTAGE, 80 SF MAX EA.
WALL SIGNS:
80 SF MAXIMUM
INFORMATIONAL SIGNS:
DO NOT COUNT
CANOPY SIGNS:
INCLUDED IN WITH BLDG.
80 SF MAX ON STRUCTURES

TOTAL SIGNAGE					
DESCRIPTION	QUANTITY	SF SHOWN EACH	TOTAL PROPOSED	MAX SF ALLOWED	HEIGHT LIMITATION
1 NEW POLE SIGN	2	90.40 S.F.	180.80 S.F.	165.00 S.F.	25' HIGH/10' BOT. CLEAR
2 NEW FRONT BUILDING SIGN	1	40.62 S.F.	40.62 S.F.	80 SF MAX ALL STRUCTURES	
3 NEW DIRECTIONAL SIGN	2	9.67 S.F.	19.34 S.F.		
4 NEW SIDE BUILDING SIGN	2	12.00 S.F.	24.00 S.F.	80 SF MAX ALL STRUCTURES	
5 NEW AUTO CANOPY SIGN	2	30.87 S.F.	61.74 S.F.	80 SF MAX ALL STRUCTURES	
6 NEW TRUCK CANOPY SIGN	2	7.50 S.F.	15.00 S.F.	80 SF MAX ALL STRUCTURES	
7 NEW TRUCK "INFORMATIONAL" CANOPY SIGN	2	30.00 S.F.	60.00 S.F.		
8 NEW TRUCK "DIRECTIONAL" "ENTRANCE" CANOPY SIGN	1	9.26 S.F.	9.26 S.F.		
9 NEW TRUCK "DIRECTIONAL" "EXIT" CANOPY SIGN	1	5.08 S.F.	5.08 S.F.		
10 NEW TRUCK "PRICE" CANOPY SIGN	1	58.75 S.F.	58.75 S.F.	80 SF MAX ALL STRUCTURES	
11 NEW TRUCK DIRECTIONAL SIGN	4	9.67 S.F.	38.68 S.F.		

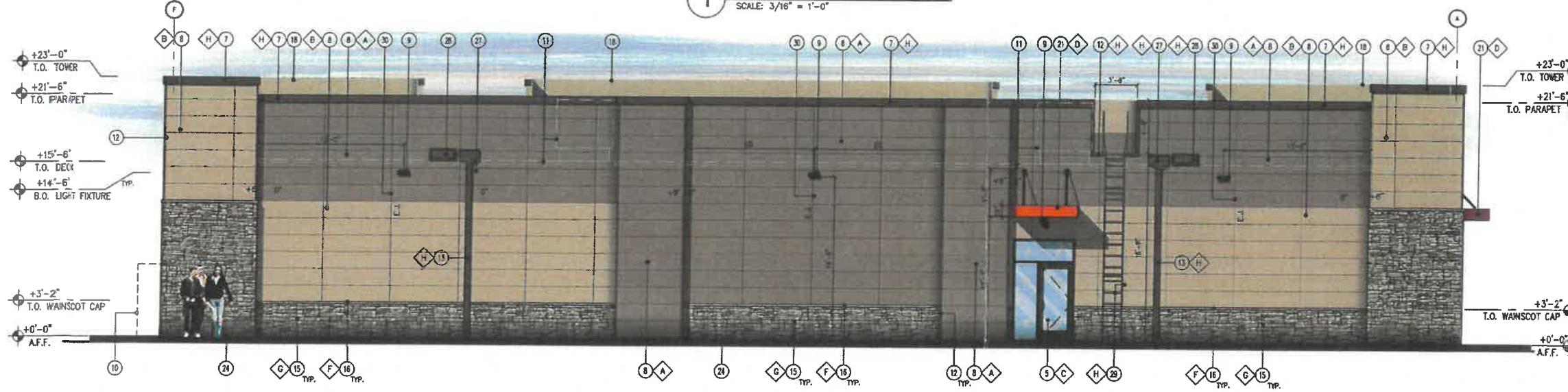
CIRCLE K STORES, INC.
Gulf Coast Business Unit
DESIGN TEAM TITLE:
MDM SERVICES, INC.
engineering • environmental • construction
1066 KATHLEEN ROAD, LAKELAND, FLORIDA 33806
Phone: (863) 846-9130
2151 W. HILLSBORO BOULEVARD, SUITE 401
DEERFIELD BEACH, FLORIDA 33442
Phone: (854) 427-3076
FAX: (854) 427-3075
ENTITY #932-464

NO. DATE REVISION DESCRIPTION
Richard R Morris
AL REG # 14326
5200 SQ. FT. BUILDING
CIRCLE K STORE #TBD
8951 STATE HWY 59A
FOLEY, AL
(CITY OF FOLEY)
BALDWIN COUNTY

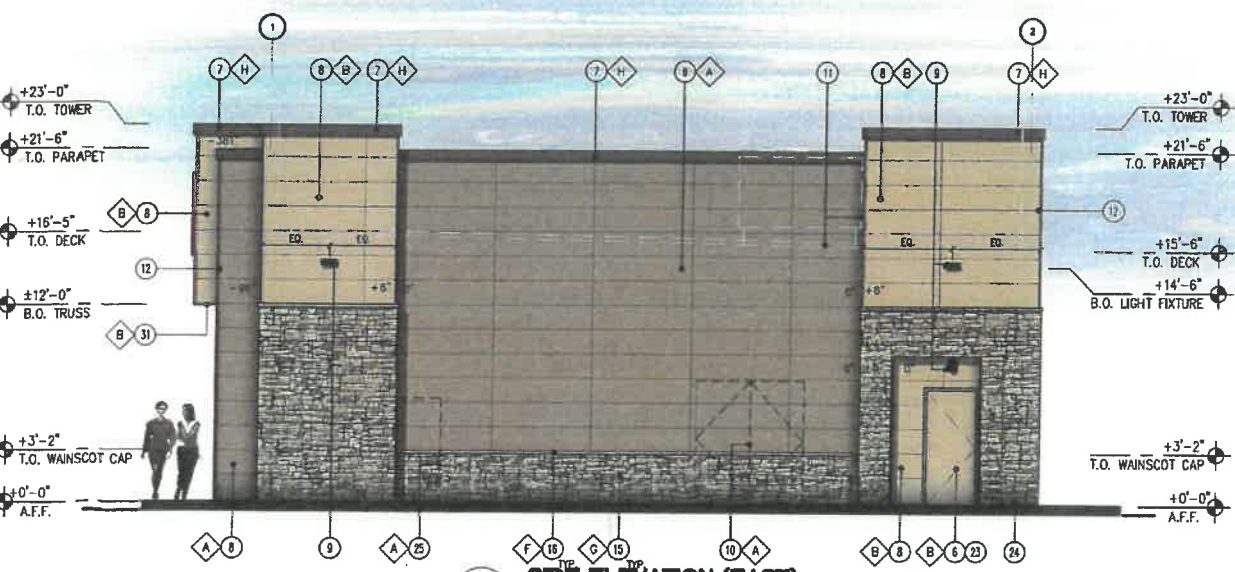
SITE DESIGNATIONS:
SCALE: AS NOTED MDM JOB # 21186
DATE: 11-3-2021
DESIGNED BY:
DRAWN BY: DDB/SLO FILE NAME: 21186CD.DWG
CHECKED BY:
DRAWING TITLE:
SITE SIGNAGE PLAN
SHEET NO:
SG-SP



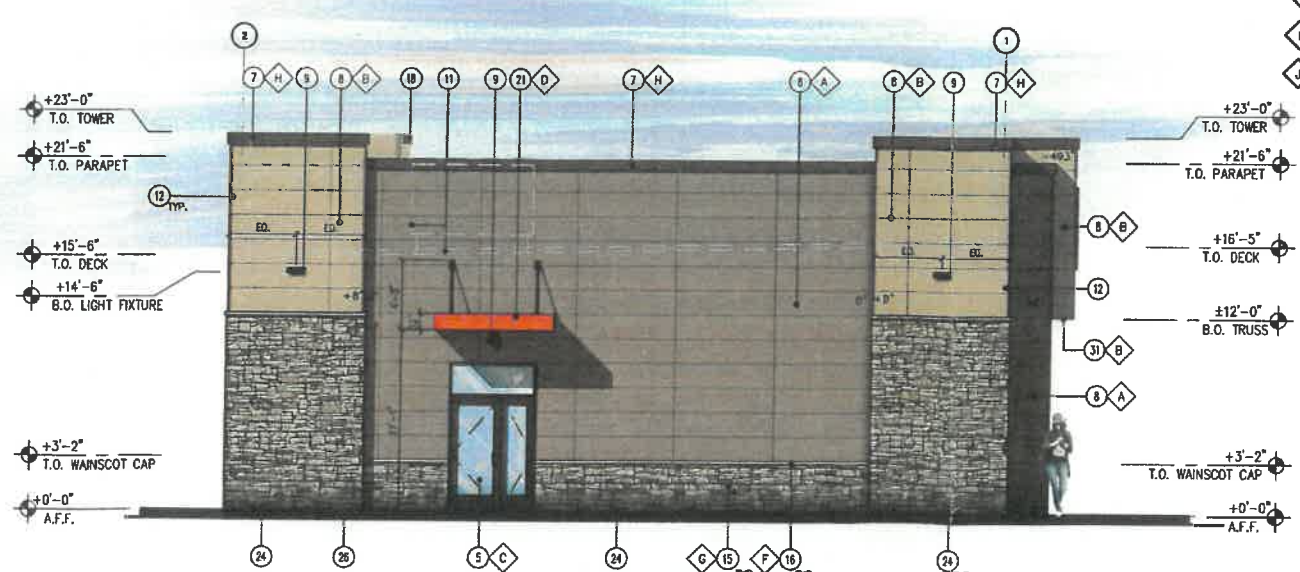
1 FRONT ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



2 BACK ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION (WEST)
SCALE: 3/16" = 1'-0"

KEY NOTES

- STEEL COLUMN WRAP WITH BREAK METAL
- LINE OF CHIMNEY / SOFFIT
- DARK BRONZE ANODIZED WINDOW FRAME W/ GRAY TINTED GLASS PER SOLARSHAN SOLARSHAN SPECS
- POTENTIAL SIGN LOCATION (UNDER SEPARATE PERMIT)
- DARK BRONZE ANODIZED DOOR W/ GRAY TINTED GLASS STOREFRONT SYSTEM
- SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
- PRE-FINISHED METAL COPING
- NICHIA FIBER CEMENT WALL PANEL SYSTEM
- WALL MOUNTED LIGHT FIXTURE, COLOR: BRONZE
- SEE PANEL LOCATION
- ROOF LINE AND HVAC UNITS
- 1-1/2" STAINLESS STEEL CORNER KEY EDGE, TYP. TO ALL CORNERS
- DOWNSPOUT
- ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT
- 1 3/8" THK. X 6" NICHIA KURASTONE HIGH FIBER CEMENT WAINSCOT
- 1-1/2" HIGH NICHIA FIBER CEMENT CAP INSTALL PER MFR. SPECS
- FRY REGLET DROP CAP
- PARAPET WALL BEYOND
- (VOID) KEY-BOX AT 5'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
- FIRE DEPARTMENT CONNECTION (IF REQUIRED)
- ALUMINUM RAINING WITH SUPPORT RODS ABOVE THE SIDE ENTRY DOOR BY CIRCLE K VENDOR. PROVIDE BLOCKING IN EXTERIOR WALL FOR RAINING AND SUPPORTS
- EMERGENCY FUEL SHUT-OFF SWITCH
- INSULATED METAL DOOR
- NICHIA ESSENTIAL "STARTER" FLASHING
- CO2 TANK WITH METAL LOUVERED CONTAINER
- EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE
- LEADER BOX
- EMERGENCY OVERFLOW SCUPPER
- METAL ROOF ACCESS LADDER WITH SECURITY DOOR LADDER GUARD MODEL # LGE C1 P2 BY COTTERHAM
- CONTROL/EXPANSION JOINT "E.L." LOCATION
- HARDSOFT FIBER CEMENT PANELS

FINISH SCHEDULE

- A** - NICHIA TUFF BLOCK - COLOR TO MATCH #SW 6095 TONSTY
- B** - NICHIA TUFF BLOCK - COLOR TO MATCH #SW 6115 TOTALLY TAN
- C** - 1" INSULATED, DOUBLE PANELED GRAY TINTED GLASS
- D** - SHERWIN WILLIAMS #SW 4081 - SAFETY RED
- E** - SHERWIN WILLIAMS #SW 7005 - CIRCLE K WHITE
- F** - NICHIA CHISELED SILL TAY
- G** - NICHIA LEDGESTONE BLUFF
- H** - SHERWIN WILLIAMS #SW 6090 - JANA - FIRESTONE MARSHAD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
- I** - CIRCLE K ORANGE #PMS 144
- J** - NICHIA TUFF BLOCK - COLOR TO MATCH #SW 4081

* USE SHERWIN WILLIAMS MANUFACTURER ONLY
** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION
*** PURCHASED BY CIRCLE K/INSTALLED BY G.C.
G.C. TO COORDINATE WITH CK PM AND OWNER'S REP
circlek@nichia.com



CIRCLE K
PROJECT ADDRESS
CITY, CA
PROJECT NUMBER

BUILDING EXTERIOR ELEVATIONS - 5200 ER REAR ENTRANCE
SCALE: AS NOTED
A-2

GENERAL LANDSCAPE NOTES

- All plant material conform to ANSI Z60.1 standards, and as specified in the current edition of the 'American Standards for Nursery Stock'.
- Tree caliper measurements shall be taken at six (6) inches above natural grade. Measurements for trees over four (4) inches of caliper shall be taken at twelve (12) inches above natural grade. Diameter breast height (DBH) measurements to be taken at 4.5 feet above natural grade.
- The Plant Material Schedule included with the Plans is provided only for the Contractor's convenience; it shall not be construed as to conflict or predominate over the Plans.
- In the event of discrepancies in the quantities shown on the Plant Material Schedule/Bid Form and those shown on the Plans, the Contractor shall bid the quantity shown on the Plant Material Schedule/Bid Form and provide a note as to the quantity shown on the Plans.
- In a conflict between the Plans and the Specifications exists, the Plans shall predominate and be considered the controlling document.
- Contractor shall provide documentation of plant variety when specified. Plants specified by Genus and Species alone shall not require documentation.
- All materials shall be installed as specified on the Plans. If material and labor do not adhere to the Details and Specifications, they will be rejected by the Landscape Architect. Rejected materials will be replaced by the Landscape Contractor at no additional cost.
- All necessary permits are to be provided by the installing contractor for work shown on the Plans (unless otherwise specifically stated in the Specifications or Bid Documents).
- The Contractor shall be responsible for verification and protection of all underground and overhead utilities. Plant material shown on the Plans that conflict with the utilities shall be brought to the attention of the Landscape Architect prior to installation.
- The Owner or Owners Representative shall provide site grading to within 0.1 foot of finish grade. The Contractor shall provide the grading to produce a positive drainage condition on the site. Surface water shall be directed to engineered drainage structures/weirs with smooth grading transitions. Debris larger than 15 inches shall be removed from surface of landscape beds and sodded areas.
- All plant material shall be installed and maintained in the highest standard of workmanship and in accordance with the Details and Specifications. Plant material shall be maintained by the Contractor until Final Acceptance is granted by the Owner.
- All B&B trees shall have strings, twine or rope removed from the top of the basket. All digging tape, identification tags, and other objects shall be removed from the plant material prior to calling for a Substantial Completion inspection.

- 13. Mulch shall be 3" layer pine bark mini-nuggets. Sod 'A' shall be Bermuda 'Tifway 419' or equal. Sod 'B' shall be Argentine Bahia**
- The Contractor shall remove existing vegetation necessary to complete the work shown on the plans. Use of herbicide shall be in accordance to manufacturer's recommendations and supervised by licensed applicators. The Contractor is solely responsible for the means to remove existing vegetation and responsible to ensure that re-growth does not occur.
 - The Contractor shall keep a neat and orderly job site. Paved surfaces necessary for access shall be kept clear of debris. Debris generated by the work shown on the Plans shall be removed from the site.
 - The Contractor shall provide a replacement warranty for trees of one year's duration and shrub/groundcover for three months' duration from Final Acceptance.
 - Soil shall be laid with tight joints. Sodded areas shall be rolled within three days after installation. Contractor shall apply proper irrigation water quantities prior to rolling to insure proper soil/root contact but not produce indentations from pedestrians.
 - All questions concerning the Plans, Details, or Specifications shall be directed to the Landscape Architect, (727-343-1809).

FERTILIZATION SCHEDULE

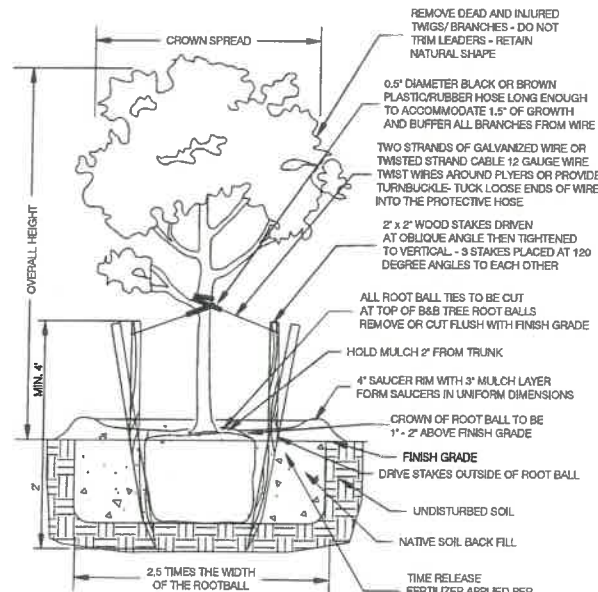
- All plant material shall be fertilized upon installation but prior to matching. Plant material adjacent to open bodies of water shall be mulched immediately following fertilization to reduce translocation of the granules.
 - Fertilizer shall be Scotts Osmocote 'Classic' 19-6-12 in the twelve (12) month release formulation. Contractor may use the Standard or Lo-Start mixes depending on the level of existing fertilizer from plant nursery applications.
 - Each containerized plant shall receive fertilization at the rates shown for each container size. One (1) cup equals two hundred eighty (280) grams of Scotts Osmocote 'Classic' 19-6-12 fertilizer.
- | | |
|----------------------|-------------------|
| 1 Gallon Container | 15 plants per cup |
| 3 Gallon Container | 1/4 cup |
| 7 Gallon Container | 1/2 cup |
| 15 Gallon Container | 3/4 cup |
| 25 Gallon Container | 1-1/2 cups |
| 30 Gallon Container | 1-3/4 cups |
| 45 Gallon Container | 2-1/4 cups |
| 65 Gallon Container | 2-1/4 cups |
| 100 Gallon Container | 3 cups |
- Each balled and burlapped plant shall receive one half (0.5) cup of Scotts Osmocote 'Classic' 19-6-12 in the twelve (12) month release formulation for every caliper inch of trunk. One (1) cup equals two hundred eighty (280) grams of Osmocote 'Classic' 19-6-12 fertilizer.
 - Scotts Osmocote 'Classic' 19-6-12 in the twelve (12) month release formulation shall be applied to sodded or seeded areas at a rate of ten (10) pounds per one thousand (1000) square feet.
 - Scotts Osmocote 'Plus' 15-9-12 in the twelve (12) month release formulation shall be applied to palms at a rate of five (5) cups per one hundred (100) square feet of palm canopy. One (1) cup equals two hundred fifty (250) grams of Osmocote 'Plus' 15-9-12 fertilizer. If dripline of palm extends into lawn or other shrub/groundcover areas, the palm fertilizer shall be the only fertilizer applied to the area under the dripline of the palm.

OPTIONAL FERTILIZATION TECHNIQUES

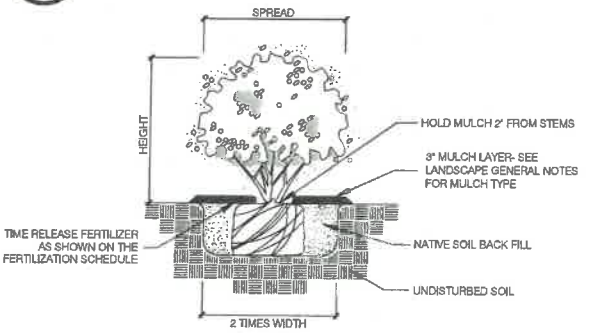
- The Contractor may substitute Scotts Agriform 20-10-5 Planting Tablets Plus Minors for fertilization of trees and large containers. The application rate shall be three (3) twenty-one (21) gram tablets per inch of caliper. Contractor shall notify Landscape Architect of the election to use fertilizer tablets prior to substantial completion inspection.
- Sodded or seeded areas over one half (0.5) acre may be fertilized (at contractor's choice) with a quick release granular fertilizer with the formulation that delivers three and one half (3.5) pounds of nitrogen, one (1.0) pound of phosphate and one and one half (1.5) pounds of potash per one thousand (1000) square feet.

NOTES:

- STAKING DETAIL ONLY FOR TREES WITH LESS THAN 3" CALIPER MEASUREMENTS. SEE ALTERNATE STAKING DETAIL FOR TREES 3 INCH OR GREATER CALIPER (LARGE TREE PLANTING/STAKING).
- OTHER TREE STAKING SYSTEMS MAY BE ACCEPTABLE IF APPROVED BY THE LANDSCAPE ARCHITECT (727) 343-1809.
- LANDSCAPE CONTRACTOR SHALL REMOVE STAKING AND GUYING MATERIALS AFTER ONE YEAR.



1 SMALL TREE PLANTING DETAIL (<3" CALIPER) NOT TO SCALE



2 SHRUB & GROUNDCOVER PLANTING DETAIL NOT TO SCALE

PLANT MATERIAL SCHEDULE				
CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION
CANOPY TREES				
AR	12	ACER RUBRUM	RED MAPLE	MIN. 10' HT. X 4" SPD., 2.5" CAL.
IC	17	ILEX CASSINE	DAHON HOLLY	MIN. 10' HT. X 4" SPD., 2.5" CAL.
QS	8	QUERCUS SHUMARDII	SHUMARD RED OAK	MIN. 10' HT. X 4" SPD., 2.5" CAL.
TD	18	TAXODIUM DISTICHUM	BALD CYPRESS	MIN. 10' HT. X 4" SPD., 2.5" CAL.
UP	10	ULMUS PARVIFOLIA 'ALLEE'	ALLEE ELM	MIN. 10' HT. X 4" SPD., 2.5" CAL.
UNDERSTORY TREES				
LIN	9	LAGERSTROEMIA INDICA 'NATCHEZ'	CRAPPE MYRTLE 'WHITE'	MIN. 8' HT. X 4" SPD. (MULTI-TRUNK)
SHRUBS				
ICB	138	ILEX CORNUTA BURFORDII NANA	DWARF BURFORD HOLLY	MIN. 36" HT.
IVS	88	ILEX VOMITORIA SHILLINGS	DWARF YAUPOH HOLLY	3 GAL., 16" SPD.
MC	78	MYRTICA CERIFERA	WAX MYRTLE	MIN. 36" HT.
MSG	141	MISCANTHUS SINENSIS 'GRACILIMUS'	MISCANTHUS GRASS	MIN. 24" HT.
NO	90	NERIUM OLEANDER	OLEANDER	MIN. 36" HT.

LANDSCAPE CODE REQUIREMENTS

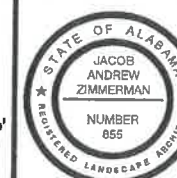
VEHICULAR USE AREA (VUA) = 74,620 SQ. FT.
VEHICULAR USE LANDSCAPE AREA REQUIRED: 7,462 SQ. FT.
VEHICULAR USE LANDSCAPE AREA PROVIDED: 8,665 SQ. FT.
SHADE TREES REQUIRED AND PROVIDED AT 60' O.C.
FIVE SHRUBS/TREE REQUIRED AND PROVIDED

LANDSCAPE BUFFERS (B-1A ZONING ADJACENT TO COUNTY AGRICULTURE/RESIDENTIAL USE)

WEST BUFFER
400 LINEAR FT. OF TYPE B BUFFER
28 TREES AND 160 SHRUBS REQUIRED AND PROVIDED

SOUTH BUFFER
300 LINEAR FT. OF TYPE B BUFFER
24 TREES AND 132 SHRUBS REQUIRED AND PROVIDED

SCALE:
1" = 30'



REVISIONS:

1.	
2.	
3.	
4.	

DRAWN BY: JAZ
DATE: 7/7/24

21044
LANDSCAPE PLAN

LS1

CIRCLE K STORES
GULF COAST BUSINESS UNIT
SWC CR 17 S & AL SR 59 (MCKENZIE STREET)
FOLEY, ALABAMA

HEARTWOOD
AND
BARK
INC.
LANDSCAPE ARCHITECTURE • URBAN DESIGN
200 2nd St. S., #433 St. Petersburg, FL 33701
(727) 343-1809 Web: www.heartwoodandbark.com
License Number: LC20000325





New #3
Business

34

CITY OF FOLEY, ALABAMA
APPLICATION FOR
ZONING OF PROPERTY

1. LOCATION OF PROPERTY (ADDRESS, PIN #, LEGAL DESCRIPTION, MAP/SURVEY, DEED, AND CORPORATION OWNERSHIP INFORMATION):
Pin# 89215, 21311 County Rd. 12 S, FDR Properties, LLC
2. ATTACH A SEPARATE LIST OF ADJACENT PROPERTY OWNERS:
3. APPROXIMATE SIZE OF PROPERTY:
1.974 Acres
4. PRESENT ZONING OF PROPERTY:
B-3
5. REQUESTED ZONING:
R1A
6. BRIEF DESCRIPTION OF CURRENT USE AND STRUCTURES LOCATED ON THE PROPERTY:
Attached
7. BRIEFLY DESCRIBE THE CONTEMPLATED USE OF THE PROPERTY IF REZONED (TYPE OF DEVELOPMENT, DENSITY, ETC.)
Attached
8. PROCESSING FEE OF \$500.00 FOR 20 ACRES OR LESS, PLUS \$15.00 PER ADDITIONAL ACRE OVER 20.

I CERTIFY THAT I AM THE PROERTY OWNER AND ATTEST THAT ALL FACTS AND INFORMATION SUBMITTED ARE TRUE AND CORRECT.

DATE: 1/12/2022

FDR Properties
PROPERTY OWNER/APPLICANT

PROPERTY OWNER ADDRESS

PHONE NUMBER

EMAIL ADDRESS

received
1-14-22-ur

35

RE: Rezoning Application
Debra Tewell – 21311 County Road 12 south
B-3 to R-1A Park District

1. Location:

- a. Address: 21311 County Road 12 South
- b. PIN No: 89215
- c. Parcel No:
 - i. 05-61-02-10-0-000-007.001
- d. Legal Descriptions:
 - i. (INSTRUMENT #1850632)

COMMENCING AT THE PURPORTED SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN EAST A DISTANCE OF 20.0 FEET TO A POINT; THENCE RUN NORTH A DISTANCE OF 40.0 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE (80 FOOT RIGHT-OF-WAY) OF BALDWIN COUNTY ROAD NO. 12; THENCE RUN NORTH 89°49'19" EAST, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1,507.78 FEET TO A POINT; SAID POINT BEING THE POINT OF BEGINNING OF THE REALTY HEREIN DESCRIBED; THENCE RUN NORTH 00°02'43" EAST A DISTANCE OF 416.90 FEET TO A POINT; THENCE RUN NORTH 89°40'24" EAST A DISTANCE OF 208.72 FEET TO A POINT; THENCE RUN SOUTH 00°02'42" WEST A DISTANCE OF 417.44 FEET TO A POINT ON THE SAID NORTH RIGHT-OF-WAY LINE OF BALDWIN COUNTY ROAD NO. 12; THENCE RUN SOUTH 89°49'19" WEST A DISTANCE OF 208.72 FEET TO THE POINT OF BEGINNING

3. Approximate Size of the properties:

- a. 1.974 acres

4. Present Zoning: B-3 – Local Business District

5. Requested Zoning: R-1A Residential Single-Family

6. Description of Current Use and structures on the properties:

- a. The parcel has one single-family residential home on it as well as a pool enclosure and is an active residence.

7. Contemplated use if rezoned:

- a. Attached hereto is the application to rezone for the intent and purpose of the future continued use of the property as one or more single-family residential unit. The property is zoned commercial currently but there is no present nor long term proposed neighbor business commercial use. The applicant seeks to find a zoning of the property that is congruent with the current use. It should be noted that the parcel backs up to a large subdivision also of single-family residential use to both its northern and eastern sides so this proposed zoning would indeed be compatible with the surrounding zoning and uses. Also, given the presence of the church to the immediate west, a single-family residential use would actually serve to prevent future complaints of a commercial use next to a church. No variances are being sought once the rezone is hopefully approved.

received
1-14-22 ub

36

Planning Commission Report

By Miriam Boutwell

February 2022

Rezoning

Applicant: FDR Properties

Location: North of CR 12S & east of James Road

Size: 1.974+/- Acres

Current Zoning: B3 - Local Business District

Requested Zoning: R1A – Residential Single Family

Future Land Use: RM – Residential Medium Density

Flood Zone: X

Unconfirmed

Comments: The owner would like to rezone to R1A to match the existing use of a single-family home with a pool & enclosure.



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

37

To: CDD Staff
cc: City of Foley Planning Commission
From: Chad P. Christian, P.E.
Date: 2-2-22
Re: FDR Properties Rezoning

Engineering is not opposed to the requested Rezoning.

Chad P. Christian, P.E.
City Engineer



120 West Verbena Avenue
Foley, Alabama 36535
(251) 943-1266
Fax (251) 943-7432
www.cityoffoley.org

28

January 28, 2022

City of Foley Planning Commission
407 East Laurel Avenue
Foley, Alabama 36535

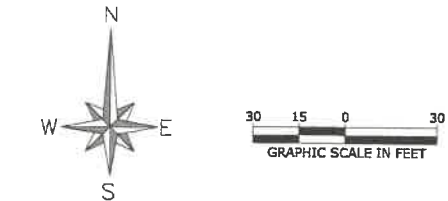
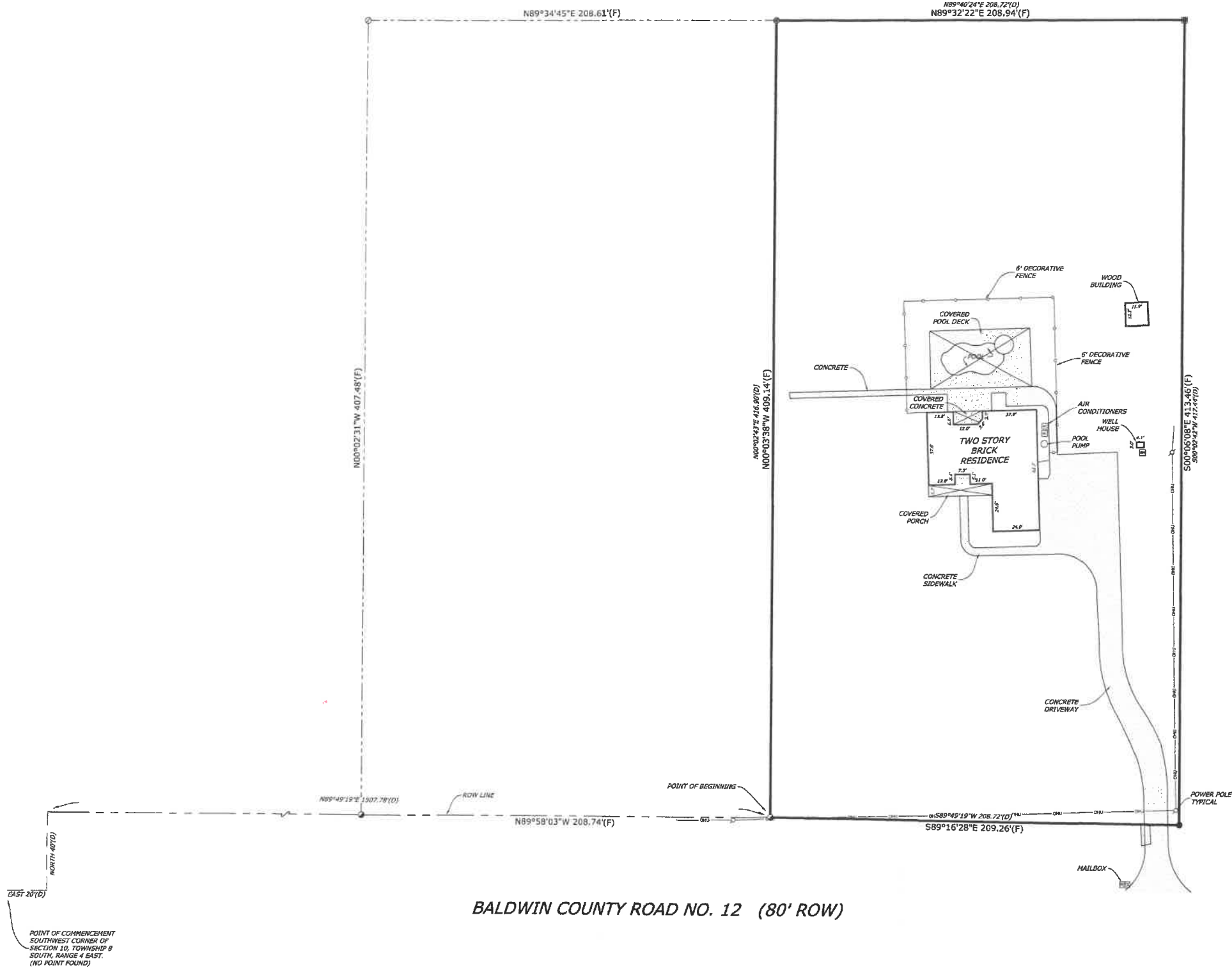
Re: 21311 County Road 12 South
FDR Properties
Application for Rezoning

Fire has reviewed this Application for Rezoning and has found no issues.

Sincerely,

Brad Hall
Fire Inspector
City of Foley
bhall@cityoffoley.org

cc: City of Foley Planning and Zoning



LEGAL DESCRIPTION:
(INSTRUMENT #1850632)

COMMENCING AT THE PURPORTED SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN EAST A DISTANCE OF 20.0 FEET TO A POINT; THENCE RUN NORTH A DISTANCE OF 40.0 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE (80 FOOT RIGHT-OF-WAY) OF BALDWIN COUNTY ROAD NO. 12; THENCE RUN NORTH 89°49'19" EAST, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1,507.78 FEET TO A POINT; SAID POINT BEING THE POINT OF BEGINNING OF THE REALTY HEREIN DESCRIBED; THENCE RUN NORTH 00°02'43" EAST A DISTANCE OF 416.90 FEET TO A POINT; THENCE RUN NORTH 89°40'24" EAST A DISTANCE OF 208.72 FEET TO A POINT; THENCE RUN SOUTH 00°02'42" WEST A DISTANCE OF 417.44 FEET TO A POINT ON THE SAID NORTH RIGHT-OF-WAY LINE OF BALDWIN COUNTY ROAD NO. 12; THENCE RUN SOUTH 89°49'19" WEST A DISTANCE OF 208.72 FEET TO THE POINT OF BEGINNING.

GENERAL SURVEY NOTES:

1. THIS IS A BOUNDARY SURVEY.
2. THE FIELD SURVEY WAS PERFORMED ON 2021-11-02 AND RECORDED IN FIELD BOOK 281, PAGE 57.
3. MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
4. THE SURVEY DATUM SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) AND WERE DERIVED UTILIZING A GLOBAL POSITIONING SYSTEM (GPS) TOPCON HIPER V GEODECTIC DUAL FREQUENCY RECEIVER. THE RECEIVER WAS UTILIZED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK.
5. NO TITLE SEARCH, TITLE OPINION, OR ABSTRACT WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS, WHICH COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.
6. IMPROVEMENTS ARE AS SHOWN HEREON.
7. THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
8. UTILITIES OTHER THAN SHOWN WERE NOT FIELD LOCATED.
9. THIS SURVEY DOES NOT REPRESENT OR GUARANTEE OWNERSHIP.
10. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

LEGEND:

- F FIELD
- D DEED
- ROW RIGHT OF WAY
- OHU OVERHEAD UTILITY

SURVEYORS CERTIFICATE
I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

FRANK J. FABRE, P.S.M., P.E.
PROFESSIONAL ALABAMA SURVEYOR, LICENSE NO. 10977
UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF AN ALABAMA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

DECEMBER 6, 2021
DATE

FABRE ENGINEERING & SURVEYING
ENGINEERS ♦ PLANNERS ♦ SURVEYORS
21530 PROFESSIONAL DRIVE, SUITE B-105, ROBERTSDALE, AL 36562 PH:251-945-1937
1119 GREGORY SQUARE, PENSACOLA, FL 32502 PH:850-433-6438
AL LIC# CA-487415, CA-1638-E FL LIC# S.L.B. 0006679, E.B. 0007215

BOUNDARY SURVEY
PREPARED FOR:
FOR PROPERTIES, INC.
THIS DRAWING IS THE PROPERTY OF FABRE ENGINEERING & SURVEYING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FABRE ENGINEERING & SURVEYING, INC.

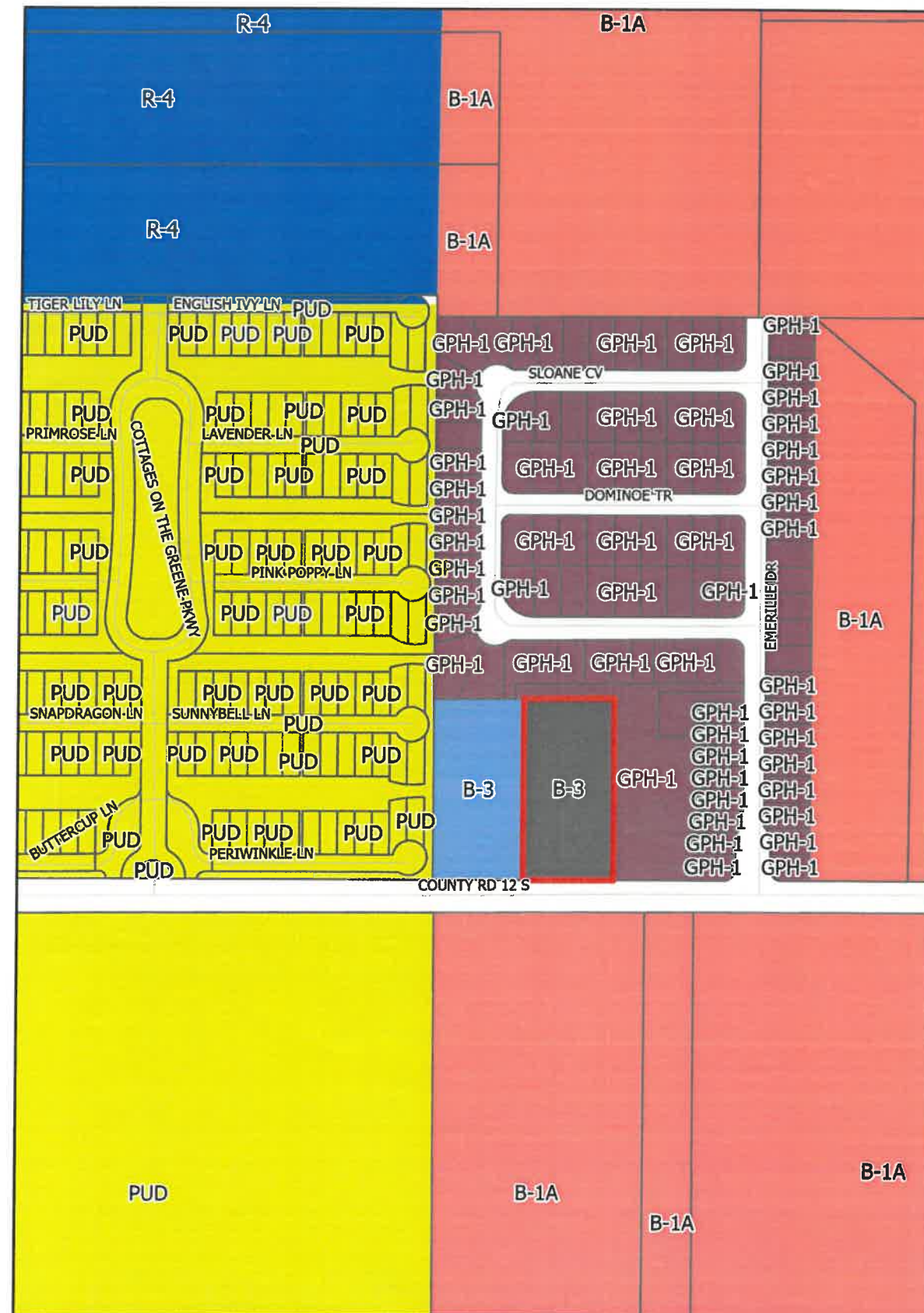
21311 CR 12S, FOLEY, ALABAMA
BEING IN SECTION 10
TOWNSHIP 8 SOUTH, RANGE 4 EAST
BALDWIN COUNTY, ALABAMA

NO.	DATE	REVISIONS	DESCRIPTION

DRAWING SCALE	1"=30'
DRAWN BY	RJS
CHECKED BY	JLJ
DATE	12/06/21
JOB NUMBER	210086
FILE NAME	2100869bnd.dwg
SHEET	1
OF	1

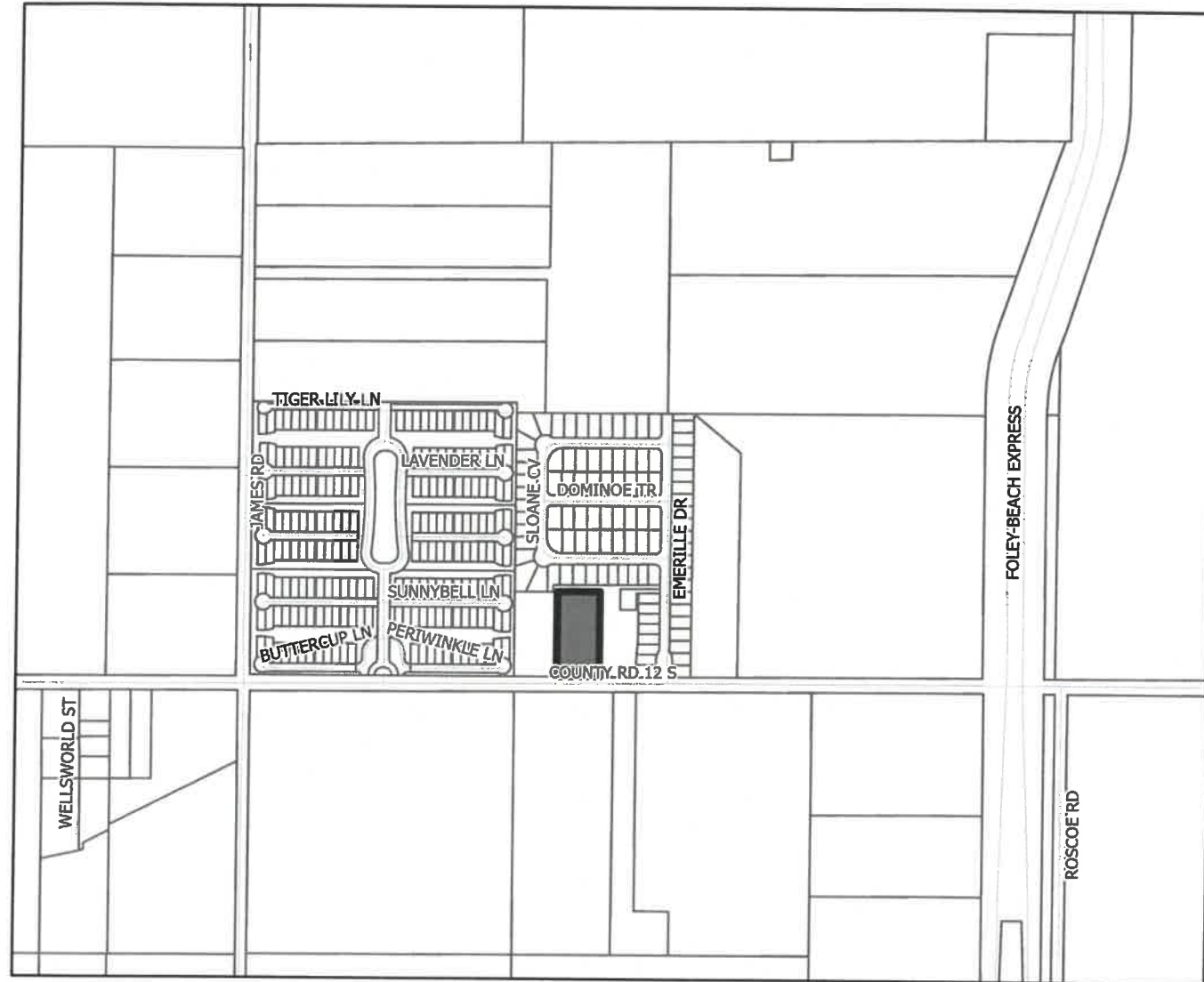
received
1-11-22

N
40





PUBLIC NOTICE



The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 1.97 +/- acres. Property is currently zoned B-3 (Local Business District). Proposed zoning is R-1A (Residential Single Family). Property is located at 21311 County Rd. 12 S. Applicant is FDR Properties, LLC.

Anyone interested in this rezoning request maybe heard at a public hearing scheduled for February 16, 2022 in the Council Chambers of City Hall located at 407 W. Laurel Ave. at 5:30 p.m. or may respond in writing to 120 S. McKenzie St., Foley, AL 36535.

Wes Abrams
Planning Commission Chairman



New #4
Business

42

**CITY OF FOLEY, ALABAMA
APPLICATION FOR A MINOR SUBDIVISION**

Date 1/20/2022

City Limits ☒ ETJ ☐

1. Name of Subdivision CAROLYN L. MULLIS
2. Name of Applicant/Owner CAROLYN L. MULLIS BY RANDY MCKINNEY Agent
Phone 251-269-2798 Email RANDY.MCKINNEY@REALTYEXECUTIVES.COM
Address P.O. Box 2999 Gulf Shores AL 36547
(Street Number and Name) (City) (State) (Zip Code)
3. Engineer Rowe Engineering + Surveying
Phone 251-666-2766 Email ZEKE@LOWRENGINEERING.COM
Address 3502 LAUGHLIN DRIVE Suite B MOBILE AL 36682
(Street Number and Name) (City) (State) (Zip Code)
4. Location of Subdivision W line Hwy 59 south of City Road 2 (Abby Lane)
5. Total Acreage 7.9 ± Number of Lots 3
6. Parcel Pin # 215096
7. I RANDY MCKINNEY, hereby depose and say that all the above statements and the statements contained in the papers submitted here within are true.

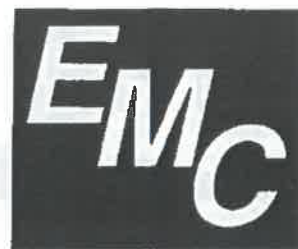
Signature/Title Randy McK (AGENT)

Mailing Address P.O. Box 2999

Gulf Shores, AL 36547

Phone 251-269-2798

Email RANDY.MCKINNEY@REALTYEXECUTIVES.COM



BALDWIN EMC

Your Touchstone Energy® Cooperative



P.O. Box 220
Summerdale, AL
36580-0220
(251) 989-6247
www.baldwinemc.com

43

February 1, 2022

Lindsey Mooney
Rowe Engineering & Surveying
3502 Laughlin Drive, Suite B
Mobile, Alabama 36693

Re: Carolyn L Mullis Subdivision, PPIN Number 215096, Hwy 59 Foley, AL

Dear Lindsey Mooney:

This letter is to confirm that Baldwin EMC can provide reasonable power to the above referenced location. Single-phase or three-phase power may be provided at the member's expense.

Baldwin EMC is willing to service the development if the necessary easements are granted and all other appropriate documents and fees are finalized in advance. Baldwin EMC must be given proper notice and planning time with respect to required system upgrades. Any plat approvals will require a lead time of 7-10 business days.

Please contact me to discuss necessary easements and fees. If you have any questions or need further assistance, please contact me at 251-989-0134.

Sincerely,

Ken Pimperl
System Engineer

KP/yb



RIVIERA UTILITIES

413 E Laurel Avenue, P.O. Drawer 2050, Foley, AL 36536
Phone (251) 943-5001 Fax (251) 970-4181

44

2/1/2022

Lindsey Mooney
Rowe Engineering & Surveying
3502 Laughlin Dr, Suite B
Mobile, AL 36693

RE: Carolyn L. Mills Subdivision

This letter is to confirm that Riviera Utilities is currently able to provide gas, water, wastewater and telecommunication services to Carolyn L. Mills Subdivision in Foley, AL.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

Name	Department	Email
Danny Scott	Gas	dscott@rivierautilities.com
Tony Schachle	Water	tschachle@rivierautilities.com
Jason Thompson	Telecommunications	jthompson@rivierautilities.com

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

James Wallace



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

45

To: CDD Staff

cc: City of Foley Planning Commission

From: Chad P. Christian, P.E.

Date: 2-2-22

Re: Carolyn L. Mullis Minor Subdivision

Engineering recommends approval of this Minor Subdivision.

Chad P. Christian, P.E.
City Engineer

46

Planning Commission Report
By Miriam Boutwell
February 2022
Request for Minor SD

Name: Carolyn L Mullis SD

Applicant: Randy McKinney as Agent

Location: West of State Hwy 59, adjacent to Abbey Lane

Existing Zoning: B1A – Extended Business District

Acreage: 7.9+/- Acres

Lots: 3 Lots

Flood Zone: X
(Unconfirmed)

Comments: The lots meet zoning.

At one time, there had been discussion of right-of-way donation on the western portion of the property to connect north to CR 20. Is that still being considered?



120 West Verbena Avenue
Foley, Alabama 36535
(251) 943-1266
Fax (251) 943-7432
www.cityoffoley.org

47

January 28, 2022

City of Foley Planning Commission
407 East Laurel Avenue
Foley, Alabama 36535

Re: Carolyn L. Mullis Sudivision
Carolyn L. Mullis
Application for Minor Subdivision

Fire has reviewed this Application for Minor Subdivision and has found no issues.

Sincerely,

Brad Hall
Fire Inspector
City of Foley
bhall@cityoffoley.org

cc: City of Foley Planning and Zoning

LEGEND

- R/W RIGHT-OF-WAY
(REC) RECORD
(ACT) ACTUAL
--- RIGHT-OF-WAY-LINE
--- CENTER LINE
--- OVERHEAD POWER LINE
--- POWER POLE
--- SIGN
--- TELEPHONE PEDESTAL
--- LIGHT POLE
--- PAD MOUNTED TRANSFORMER
--- FIBER OPTIC BOX



SITE



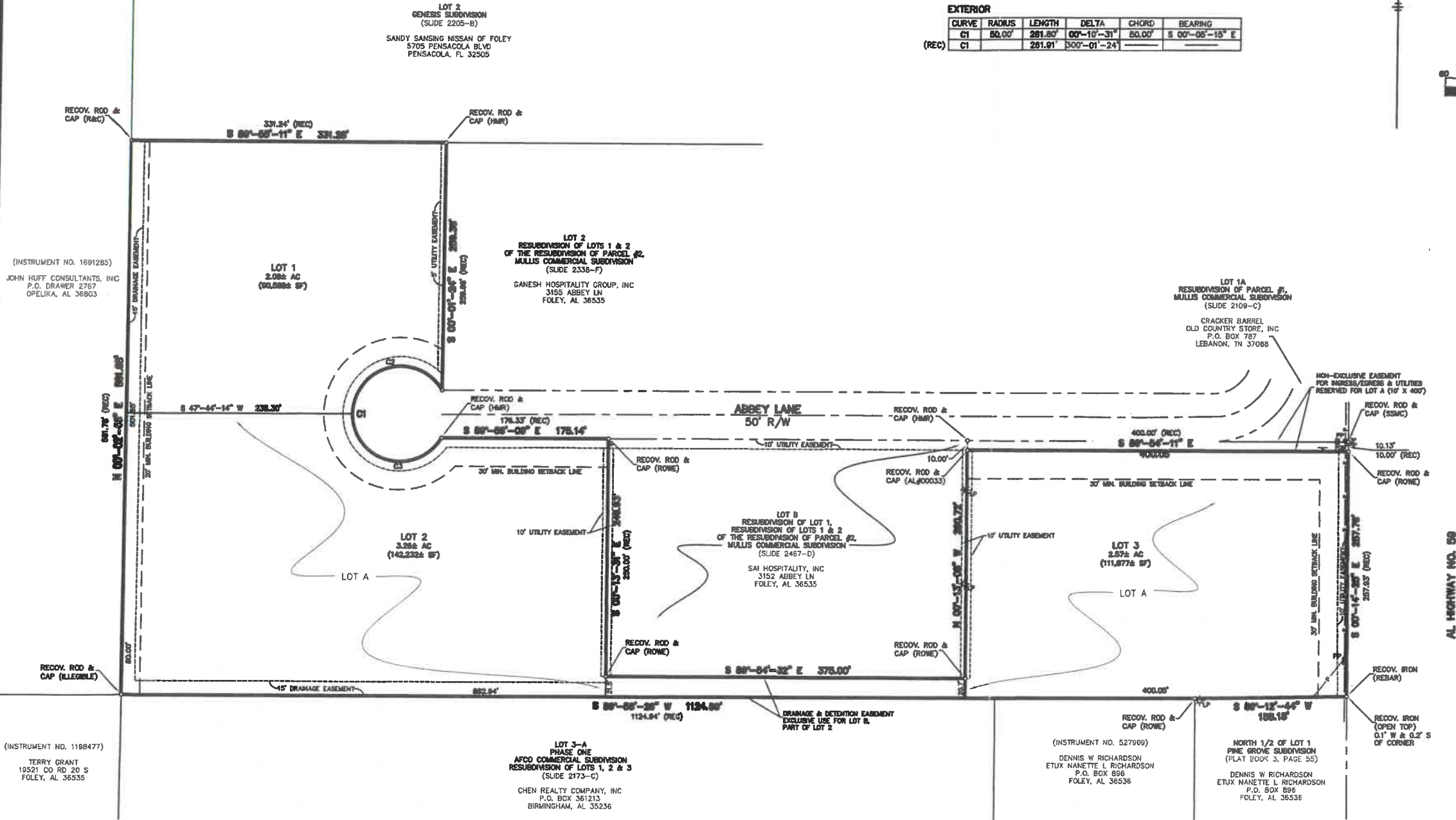
VICINITY MAP

EXTERIOR

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	50.00'	281.80'	00°-10'-31"	50.00'	S 00°-05'-15" E
C1		281.91'	00°-01'-24"		

(INSTRUMENT NO. 1691285)
JOHN HUFF CONSULTANTS, INC.
P.O. DRAWER 2787
OPELKA, AL 36863

(INSTRUMENT NO. 1188477)
TERRY GRANT
19521 CO RD 20 S
FOLEY, AL 36535



NOTES:

- Standards of Practice for Land Surveying in Alabama require that "the horizontal position of physical features must be plotted to 1/200th inch of final map scale". Dimensions "snapped" from the electronic version of this map should be considered to be no more accurate than 1/200th of the map scale noted. Critical clearance dimensions must be field checked.
- Type of Survey: Subdivision.
- Field Date(s): January 10, 2022.
- Bearing Basis: Referenced to Alabama State Plane Coordinate System West Zone (102) NAD 83(2011) established by RTK GPS utilizing ALDOT Net as a continuously operating reference station.
- All corners are set rod & cap (R&C) unless noted otherwise.
- Setback lines shown on this plat (if any) are taken from the recorded plat of the subdivision. Setback lines established by statute, ordinance or restrictive covenants are not shown.
- This drawing does not reflect an easement or title search by the surveyor. Easements or claims of easements may exist.
- Interior Improvements (if any) not located.
- Site Data: Total Acreage: 7.9± AC (344,897± SF)
Number of Lots: 3
Smallest Lot Size: 2.57± AC (111,877± SF)
- Property Owner: Carolyn L. Mullis
P.O. Box 1158
Orange Beach, AL 36561

LEGAL DESCRIPTION

STATE OF ALABAMA)
COUNTY OF BALDWIN)

I, Cecil T. Hudson, a Licensed Surveyor of Baldwin County, Alabama, hereby certify that I have surveyed the property situated in Baldwin County, Alabama and described as follows:

Lot A, Resubdivision of Lot 1, Resubdivision of Lots 1 & 2 of the Resubdivision of Parcel #2, Mullis Commercial Subdivision, as recorded on Slide 2467-B, Probate Court Records, Baldwin County, Alabama.

I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

This is to state that I have consulted the Federal Insurance Administration Flood Hazard Boundary Map No. 01003C0631 M, and dated April 19, 2016, and found that the above described property now is located in Flood Hazard Area "X-Unshaded" as determined by graphic scaling.

WITNESS my hand this the ____ day of _____, 2022.

Cecil T. Hudson, PLS
Alabama Licensed Professional
Land Surveyor No. 29863-S
Prints not valid unless
they bear an original seal

THIS PLAT REPRESENTS A RESUBDIVISION OF LOTS 1 & 2 OF LOT A, RESUBDIVISION OF LOT 1, RESUBDIVISION OF LOTS 1 & 2 OF THE RESUBDIVISION OF PARCEL #2, MULLIS COMMERCIAL SUBDIVISION

Carolyn L. Mullis
SUBDIVISION



ROWE
ENGINEERING & SURVEYING
CONSULTING ENGINEERS

3606 LAURELWAY DR • SUITE B • MOBILE, AL 36688
PHONE 951-906-8706 • FAX 951-680-1040

REVISIONS:

ANALYST: 61904.dwg
DRAWN BY: BRL
CHECKED BY: BRL
DATE: 01-10-2022

FILE: 01004
PR: 001/04
DATE: 01-10-2022

PLAT DATE: January 11, 2022
SCALE: 1" = 60'

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER:

The undersigned, as the City Engineer of the City of Foley, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

City Engineer

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION:

The within plat of the _____, Foley, Alabama, is hereby approved by the City of Foley Planning Commission, this the ____ day of _____, 2022.

City Planning Commission Chairman

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES:

(POWER, WATER, SEWER, CABLE, GAS)

The undersigned, as authorized by Rivera Utilities hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

Authorized Representative
of Rivera Utilities

OWNER(S) ACCEPTANCE:

The undersigned owner, Carolyn L. Mullis does hereby accept and approve this plat and subdivision.

STATE OF ALABAMA)
COUNTY OF _____)

I, _____, a Notary Public in and for said County and State, do hereby certify that Carolyn L. Mullis whose name is signed to the foregoing certificate and who is known to me, acknowledged before me on this day that, being informed of the contents of said certificate, she executed the same voluntarily on the day the same bears date.

NOTARY PUBLIC

My Commission Expires: _____

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Public Notice

The City of Foley Planning Commission has received a request for approval of the Carolyn L. Mullis Subdivision a minor subdivision which consists of 7.9 +/- acres and 3 lots. Property is located W. of State Hwy. 59 adjacent to Abbey Ln. Applicant is Carolyn L. Mullis.

Anyone interested in the approval may be heard at a public hearing scheduled for February 16, 2022 in City Hall Council Chambers (407 E. Laurel Ave.) at 5:30 p.m. or may respond in writing to 120 S. McKenzie St., Foley, AL 36535.

Wes Abrams
Planning Commission Chairman



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New #5
Business

**CITY OF FOLEY, ALABAMA
APPLICATION FOR A MINOR SUBDIVISION**

Date 1/24/2022

City Limits ETJ

1. Name of Subdivision Resubdivision of Lot 1 of Foley Crossroads
2. Name of Applicant/Owner Byrd Sons Residual Trust
Phone (251)259-7135 Email pj@idch.homes
Address 7241 BlueField Bay Minette AL 36507
(Street Number and Name) (City) (State) (Zip Code)
3. Engineer David Dichiaro (for Engineering Design Group, LLC)
Phone (251)943-8960 Email dichiaro@edgalabama.com
Address 1000 E Laurel Ave Foley AL 36535
(Street Number and Name) (City) (State) (Zip Code)
4. Location of Subdivision SW corner of the intersection of Co Rd 20 and Foley Beach Express
5. Total Acreage 138.68 acres Number of Lots 3 new, 5 total in subdivision
6. Parcel Pin # 12967
7. I David Dichiaro, hereby depose and say that all the above statements and the statements contained in the papers submitted here within are true.

Signature/Title Branch Manager

Mailing Address 1000 E Laurel Ave

Foley AL 36535

Phone (251)943-8960

Email dichiaro@edgalabama.com

Adde



RIVIERA UTILITIES
413 E Laurel Avenue, P.O. Drawer 2050, Foley, AL 36536
Phone (251) 943-5001 Fax (251) 970-4181

51

1/24/2022

David Dichiaro
Engineering Design Group, LLC
1000 E Laurel Ave
Foley, AL 36535

RE: Foley Crossroads Subdivision

This letter is to confirm that Riviera Utilities is currently able to provide gas, water, wastewater, and telecommunications service to the Foley Crossroads Subdivision project located in Foley, AL.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

Name	Department	Email
Danny Scott	Gas	dscott@rivierautilities.com
Tony Schachle	Water/Wastewater	tschachle@rivierautilities.com
Jason Thompson	Telecommunications	jthompson@rivierautilities.com

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

James Wallace



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

52

To: CDD Staff

cc: City of Foley Planning Commission

From: Chad P. Christian, P.E.

Date: 2-2-22

Re: Resub of Lot 1 Foley Crossroads Minor Subdivision

Engineering recommends approval of this Minor Subdivision.

Chad P. Christian, P.E.
City Engineer

Planning Commission Report
By Miriam Boutwell
February 2022
Request for Minor SD

Name: Resub of Lot 1 Foley Crossroads

Applicant: Byrd Sons Residual Trust

Location: Southwest corner of FBE & CR 20

Existing Zoning: PUD – Planned Unit Development

Acreage: 138.68+/- Acres

Lots: 3 Lots

Flood Zone: X
(Unconfirmed)

Comments: This request is for a 3 lot subdivision on 138.68 acres. The drive location meets the access plan. The lots & uses are meeting the PUD plan.



120 West Verbena Avenue
Foley, Alabama 36535
(251) 943-1266
Fax (251) 943-7432
www.cityoffoley.org

(54)

January 28, 2022

City of Foley Planning Commission
407 East Laurel Avenue
Foley, Alabama 36535

Re: Resubdivision of Lot 1 of Foley Crossroads
Byrd Sons Residual Trust
Application for Minor Subdivision

Fire has reviewed this Application for Minor Subdivision and has found no issues.

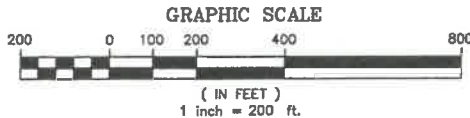
Sincerely,

Brad Hall
Fire Inspector
City of Foley
bhall@cityoffoley.org

cc: City of Foley Planning and Zoning

PRELIMINARY AND FINAL PLAT FOR
RESUBDIVISION OF
LOT 1
FOLEY CROSSROADS
SUBDIVISION

SITUATED IN SECTION 10, TOWNSHIP 8 SOUTH, RANGE 4 EAST,
BALDWIN COUNTY, ALABAMA



LEGEND

- CRF - CAPPED REBAR FOUND
- CRS - CAPPED REBAR SET (EDG)

- LOT 3 & LOT 4 ACCESS TO COUNTY ROAD 20 WILL BE VIA SHARED RIGHT IN / RIGHT OUT TURNOUT.
- DRAINAGE IMPROVEMENTS TO MEET CITY OF FOLEY, ALABAMA STORM ORDINANCE WILL BE MET ON EACH INDIVIDUAL LOT.

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

SIGNED THIS _____ DAY OF _____ 2021

CITY ENGINEER

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION

THE WITHIN PLAT RESUBDIVISION OF LOT 1 FOLEY CROSSROADS SUBDIVISION, FOLEY, ALABAMA IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION THIS THE _____ DAY OF _____ 2022

CITY PLANNING COMMISSION CHAIRMAN

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES (GAS)

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE _____ DAY OF _____ 2022

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES (WATER)

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE _____ DAY OF _____ 2022

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY BALDWIN ELECTRIC (ELECTRIC)

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN ELECTRIC, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE _____ DAY OF _____ 2022

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES (SEWER)

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE _____ DAY OF _____ 2022

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY CENTURYLINK COMMUNICATIONS

THE UNDERSIGNED, AS AUTHORIZED BY CENTURYLINK COMMUNICATIONS, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE _____ DAY OF _____ 2022

AUTHORIZED SIGNATURE

NOTES

- NO TITLE SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM AND LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAYS, RECORDED OR UNRECORDED. THE PARCEL SHOWN HEREON IS SUBJECT TO SETBACKS, EASEMENTS, ZONING, AND RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORD OF SAID COUNTY.
- ALL EASEMENTS AND RIGHT-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON.
- THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. HOWEVER, THERE MAY EXIST UNDERGROUND UTILITIES OR BURIED PIPES WHICH WERE NOT LOCATED OR OF WHICH THE SURVEYOR HAS NO KNOWLEDGE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED BECAUSE THE UNDERGROUND UTILITIES WERE NOT PHYSICALLY LOCATED.
- BEARINGS SHOWN HEREON ARE RELATIVE TO THE ALABAMA STATE PLANE COORDINATE SYSTEM GRID AZIMUTH (ALABAMA WEST ZONE) (NAD 83) AND WERE DETERMINED USING GPS OBSERVATION.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR ALABAMA (COMMUNITY PANEL 010030031M, EFFECTIVE DATE APRIL 19, 2019), THIS SITE LIES WITHIN ZONE X, DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
- SURVEY PREPARED FOR: MR BYRD.
- THIS SURVEY IS VALID ONLY WITH AN ORIGINAL SIGNATURE AND A LEGIBLE SEAL.

DESCRIPTION:

LOT 1, FOLEY CROSSROADS SUBDIVISION, PHASE 3 AS RECORDED ON SLIDE 2548-F IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

SURVEYOR:

B.C. JOHNSON DATE: January 20, 2022
ALABAMA LICENSE NO. 23004



BALDWIN COUNTY ROAD 20 (120' R.O.W.)

N 89°42'50" E 1909.20'(R)
S 89°43'07" W 1909.20'(M)

20' UTILITY EASEMENT (TYP)

05-61-02-10-0-000-004.008
CREEKSIDE RV SUBDIVISION
OWNERS ASSOCIATION
P.O. BOX 851
GULF SHORES, AL 36547
INSTRUMENT #1747371

05-61-02-10-0-000-002.002
CITY HOPE CHURCH
10063 ROCKWELL SCHOOL DRIVE
SPANISH FORT, AL 36527
INSTRUMENT #1585058

S 00°06'30" E 888.58'(R)
S 00°06'30" E 888.57'(M)

S 00°06'30" W 721.89'(R)
S 00°06'30" W 721.87'(M)

N 89°48'30" E 147.54'(R&M)

S 89°46'50" W 605.97'(R)
S 89°46'50" W 605.98'(M)

N 00°06'30" W 147.53'(R&M)

LOT 1

5431079 SF 124.68 AC
05-61-02-10-0-000-002.000
BYRD SONS RESIDUAL TRUST
7241 BLUEFIELD DRIVE
BAY MINETTE, AL 36507
INSTRUMENT #1585412

05-61-02-10-0-000-004.000
CALLAWAY, FLOSSIE
9730 JAMES RD
FOLEY, AL 36535
INSTRUMENT #1288758

N 00°06'30" W 171.334'(R)
N 00°06'30" W 171.336'(M)

10' UTILITY EASEMENT (TYP)

N 89°50'01" E 2252.42'(M)
N 89°49'53" E 2253.17'(R)

05-61-02-10-0-000-006.231
SMITH, JANET L.
P.O. BOX 1482
ORANGE BEACH, AL 36561
INSTRUMENT #0553101

05-61-02-10-0-000-006.230
SMITH, JANET L.
P.O. BOX 1482
ORANGE BEACH, AL 36561
INSTRUMENT #0553101

05-61-02-10-0-000-006.001
ORANGE BEACH
WATER, SEWER, & FIRE
PROTECTION AUTHORITY
ORANGE BEACH, AL 36561
REAL PROPERTY
8-0771 P-0000259

05-61-02-10-0-000-006.000
SMITH, JANET L.
P.O. BOX 1482
ORANGE BEACH, AL 36561
INSTRUMENT #0553101

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF ALABAMA
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT WE ARE THE OWNERS OF THE LAND SHOWN AND DESCRIBED IN THE PLAT THAT I (WE) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACE TO PUBLIC OR PRIVATE USE ADS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT

DATED THIS _____ DAY OF _____ 2022

BYRD SONS RESIDUAL TRUST
7241 BLUEFIELD DRIVE
BAY MINETTE, AL 36507

PRINTED NAME

CERTIFICATE OF APPROVAL BY NOTARY PUBLIC
STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____ (OWNERS NAME) WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL

THIS _____ DAY OF _____ 2022

SIGNATURE OF NOTARY PUBLIC

OWNER

BYRD SONS RESIDUAL TRUST
7241 BLUEFIELD DRIVE
BAYMINETTE, AL 36507

ZONING

PLANNED UNIT DEVELOPMENT (PUD)
CITY OF FOLEY, AL 36535

SITE DATA

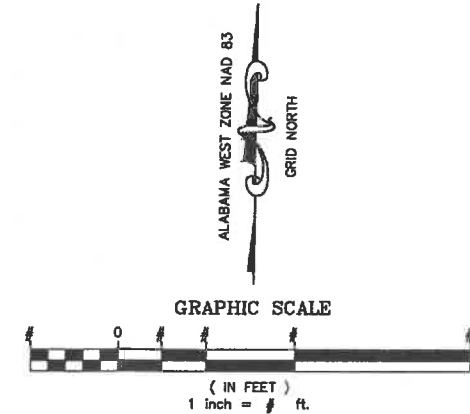
TOTAL ACREAGE = 138.68 AC.
NUMBER OF LOTS = 4

SURVEYOR

ENGINEERING DESIGN GROUP, LLC
1000 EAST LAUREL
FOLEY, AL 36535
(251) 943-8960
CONTACT: CRAIG JOHNSON, P.L.S.

BOUNDARY AND TOPOGRAPHIC SURVEY LOT 1 FOLEY CROSSROADS SUBDIVISION

SITUATED IN SECTION 10, TOWNSHIP 8 SOUTH, RANGE 4 EAST,
BALDWIN COUNTY, ALABAMA



DESCRIPTION:
LOT 1, FOLEY CROSSROADS SUBDIVISION, PHASE 3 AS RECORDED ON SLIDE 2527-F IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

- NOTES:
1. NO TITLE SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM AND LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAYS, RECORDED OR UNRECORDED. THE PARCEL SHOWN HEREON IS SUBJECT TO SETBACKS, EASEMENTS, ZONING, AND RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORD OF SAID COUNTY.
 2. ALL EASEMENTS AND RIGHT-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON.
 3. THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. HOWEVER, THERE MAY EXIST UNDERGROUND UTILITIES OR BURIED PIPES WHICH WERE NOT LOCATED OR OF WHICH THE SURVEYOR HAS NO KNOWLEDGE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED BECAUSE THE UNDERGROUND UTILITIES WERE NOT PHYSICALLY LOCATED.
 4. BEARINGS SHOWN HEREON ARE RELATIVE TO THE ALABAMA STATE PLANE COORDINATE SYSTEM GRID AZIMUTH (ALABAMA WEST ZONE) (NAD 83) AND WERE DETERMINED USING GPS OBSERVATION.
 5. ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR ALABAMA (COMMUNITY PANEL 010030031M, EFFECTIVE DATE APRIL 10, 2010), THIS SITE LIES WITHIN ZONE X, DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
 6. SURVEY PREPARED FOR: MR BYRD.
 7. THIS SURVEY IS VALID ONLY WITH AN ORIGINAL SIGNATURE AND A LEGIBLE SEAL.

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

SURVEYOR:

B. Craig Johnson
B.C. JOHNSON DATE: January 24, 2022
ALABAMA LICENSE NO. 23004



DATE	
REVISIONS	
DRAWN BY: DC	CHECKED BY: RKG
PROJECT No.: F-HOWA0020	DATE: January 24, 2022
SCALE: 1" = 150'	
PROJECT: LOT 1 OF FOLEY CROSSROADS SUBDIVISION	TITLE: BOUNDARY & TOPOGRAPHIC SURVEY
1000 E. LAUREL AVENUE Foley, AL 36535 251.943.8960	
EDG ENGINEERING DESIGN GROUP, LLC CIVIL ENGINEERING • LAND SURVEYING (205) 546-8880 (Foley)	
SHEET NO.	1 OF 1

57

Public Notice

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 1 of Foley Crossroads a minor subdivision which consists of 138.68 +/- acres and 3 lots. Property is located at the SW corner of the Foley Beach Express and County Rd. 20. Applicant is Byrd Sons Residual Trust.

Anyone interested in the approval may be heard at a public hearing scheduled for February 16, 2022 in City Hall Council Chambers (407 E. Laurel Ave.) at 5:30 p.m. or may respond in writing to 120 S. McKenzie St., Foley, AL 36535.

Wes Abrams
Planning Commission Chairman



58

New #6
Business

CITY OF FOLEY, ALABAMA
APPLICATION FOR A PRELIMINARY

Date 10-20-2021

City Limits ETJ Y

1. Name of Subdivision The Cove at Cotton Bayou PH 1
2. Name of Applicant/Owner RAM-Cotton Bayou Subdivision Partners, LLC
Phone 205-490-2832 Email rodney@retailspecialists.com
Address 2200 Magnolia Ave. South Ste. 100, Birmingham, AL 35205
(Street Number and Name) (City) (State) (Zip Code)
3. Engineer JADE Consulting, LLC (Perry C. "Trey" Jinright, III, PE
Phone 251-928-3443 Email sruth@jadengineers.com
Address 208 N. Greeno Rd., Ste. C, Fairhope, AL 36532
(Street Number and Name) (City) (State) (Zip Code)
4. Location of Subdivision CR65 & CR20 Foley, AL
5. Total Acreage Total 80.44 Ph1 35.27 Number of Lots 53
6. Parcel Pin # 066266, 201476, 201480, 214657
7. I Rodney Barstein

hereby depose and say that all the above statements and the
statements contained in the papers submitted here within are true.

Signature/Title Rodney Barstein Special Projects Manager
Mailing Address 2200 Magnolia Ave. South Ste. 100,
Birmingham, AL 35205
Phone 205-490-2832
Email rodney@retailspecialists.com

OCde



RIVIERA UTILITIES
413 E Laurel Avenue, P.O. Drawer 2050, Foley, AL 36536
Phone (251) 943-5001 Fax (251) 970-4181

59

10/7/2021

Sherry Ruth
JADE Consulting, LLC
208 N Greeno Road, Suite C
Fairhope, AL 36532

RE: Co Rd 65 and Co Rd 20

This letter is to confirm that Riviera Utilities is currently able to provide electric, water, gas, and telecommunication services to the proposed project located at CO RD 65 and Co RD 20, in Foley, AL. Sewer service is available by extension. The gas main is located on the west side of CO RD 65 and is a 2 7/8" high pressure steel gas main, depth may vary.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

Name	Department	Email
Tony Schachle	Water/Wastewater	tschachle@rivierautilities.com
Danny Scott	Gas	dscott@rivierautilities.com
Scott Sligh	Electric	ssligh@rivierautilities.com
Jason Thompson	Telecommunications	jthompson@rivierautilities.com

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

James Wallace

1 2 3 4 5 6 7 8 9 10 11 12

1 2 3 4 5 6 7 8 9 10 11 12

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CONCLUSIONS

The following are the findings and recommendations from the traffic analysis:

Findings

- Under existing conditions, all approaches at the study area unsignalized intersections are projected to operate at LOS D, or better, in both the AM and PM peak hours.
- Without the project, in Year 2023 and Year 2026, all approaches at the study area unsignalized intersections are projected to operate at LOS D, or better, in both the AM and PM peak hours.
- The proposed Cove at Cotton Bayou is projected to generate 2,039 daily trips, 160 AM peak hour trips and 214 PM peak hour trips at full site buildout. Of the 160 trips during the AM peak hour, 41 are inbound trips and 119 are outbound trips. Of the 214 trips during the PM peak hour, 134 are inbound trips and 80 are outbound trips.
- With the project, in Year 2023 and Year 2026, all approaches at the study area unsignalized intersections are projected to operate at LOS D, or better, in both the AM and PM peak hours.
- Based on the 2026 Build traffic volumes, no left or right-turn lanes are recommended at the site access driveway intersections.

Recommendations

Based on the traffic analysis documented in this report, no left or right-turn lanes are recommended at the site access driveway intersections. No other off-site mitigation is recommended for the proposed The Cove at Cotton Bayou.



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

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01/20/2022

To: Community Development Department
cc: City of Foley Planning Commission

From: Taylor Davis, PE

Re: The Cove at Cotton Bayou Phase 1 LDP

The Land Disturbance Permit submittal for phase 1 has been reviewed by the Engineering Department and all comments have been addressed for this phase. The submittal is considered "ready to issue" per Section 4.3 of the Subdivision Regulations.

Engineering recommends that the future left turn lane be constructed with phase 2 of the subdivision. In addition, phase 2 will require an updated traffic impact study to determine the potential need for a right turn lane, due to the above-normal growth for the County Road 65 corridor.

As this proposed subdivision is located in the City of Foley ETJ, Baldwin County Planning and Zoning Department will perform their internal review of the construction submittal once approval is received from the City of Foley Planning Commission, per their policy. If comments from Baldwin County P&Z require plan modifications, these will be addressed prior to issuance of Land Disturbance Permit for construction.

Sincerely,

Taylor L. Davis, PE
Deputy City Engineer – City of Foley

01/20/2022
Alade

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Planning Commission Report
By Miriam Boutwell
February 2022
Request for Preliminary

Name: The Cove at Cotton Bayou PI

Applicant: RAM-Cotton Bayou SD Partners, LLC

Location: East of CR 65, north of Arbor Walk SD

Existing Zoning: Unzoned Baldwin County District 27

Acreage: 80.44+/- Total Acres – 35.27 Phase I

Lots: 53 Lots

Flood Zone: Yes – see Floodplain Administrator
(Unconfirmed)

Comments: This request is for a 53 lot subdivision on 35.27 acres in unzoned Baldwin County.



ENVIRONMENTAL DEPARTMENT

23030 WOLF BAY DRIVE

Foley, Alabama 36535

(251) 923-4267

www.cityoffoley.org

December 27, 2021

Rodney Barstein

RAM- Cotton Bayou Subdivision Partners, LLC

2200 Magnolia Ave. South Ste. 100

Birmingham, AL 35205

Re: The Cove at Cotton Bayou Phase 1

The environmental department has reviewed and approved the Phase 1 environmental permit application for the Cove at Cotton Bayou Subdivision, which is located at County Highways 65 & 20 in Foley, Alabama. All minimum requirements indicated in the City of Foley Ordinance NO.15-1003, Environmental Permits Related to Land Disturbance will be met upon submitting a copy of the site's ADEM NPDES approval letter.

Should you have any questions please call 251-923-4267.

Sincerely,

Angie Eckman

Environmental Programs Manager

City of Foley

MAYOR: Ralph G. Hellmich

CITY ADMINISTRATOR: Michael L. Thompson

CITY CLERK: Kathryn Taylor

COUNCIL MEMBERS: J. Wayne Trawick; Vera Quaites; Richard Dayton; Cecil R. Blackwell; Charles Ebert III

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120 West Verbena Avenue
Foley, Alabama 36535
(251) 943-1266
Fax (251) 943-7432
www.cityoffoley.org

January 28, 2022

City of Foley Planning Commission
407 East Laurel Avenue
Foley, Alabama 36535

Re: The Cove at Cotton Bayou, Phase 1
RAM-Cotton Bayou Subdivision Partners, LLC
Application for Preliminary Subdivision

Fire has reviewed this application for a Preliminary Subdivision and found that in addition to the boulevard entrance, a secondary fire access will need to be provided to the south of County Road 65; or, show how the southern connection of Reeves Street in Phase 4 on the site plan will provide additional fire access.

Sincerely,

Brad Hall
Fire Inspector
City of Foley
bhall@cityoffoley.org

cc: City of Foley Planning and Zoning

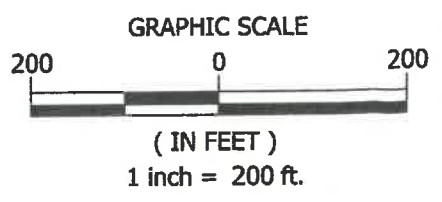
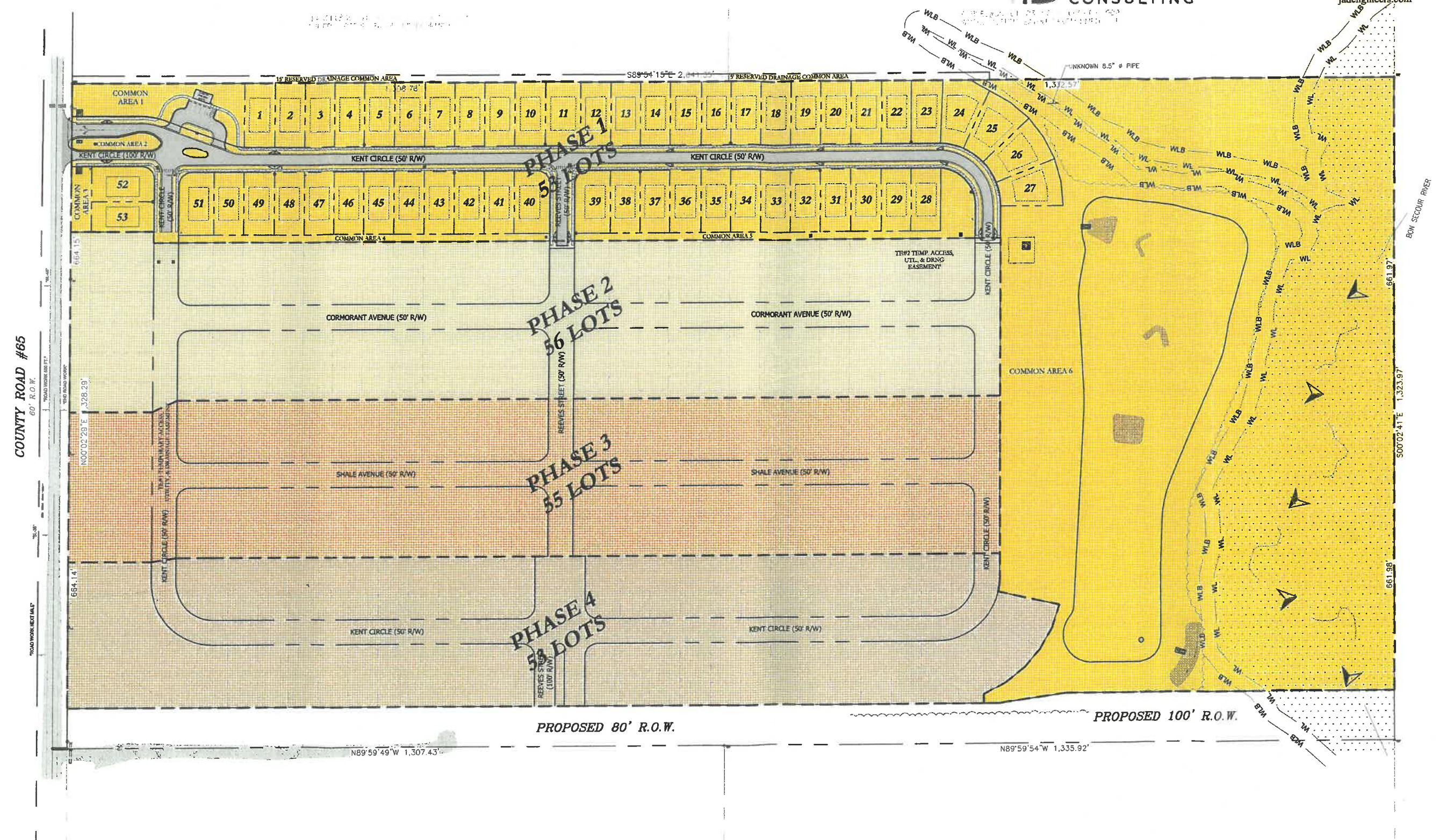
Handwritten notes: "Cotton Bayou" and "CR 65"



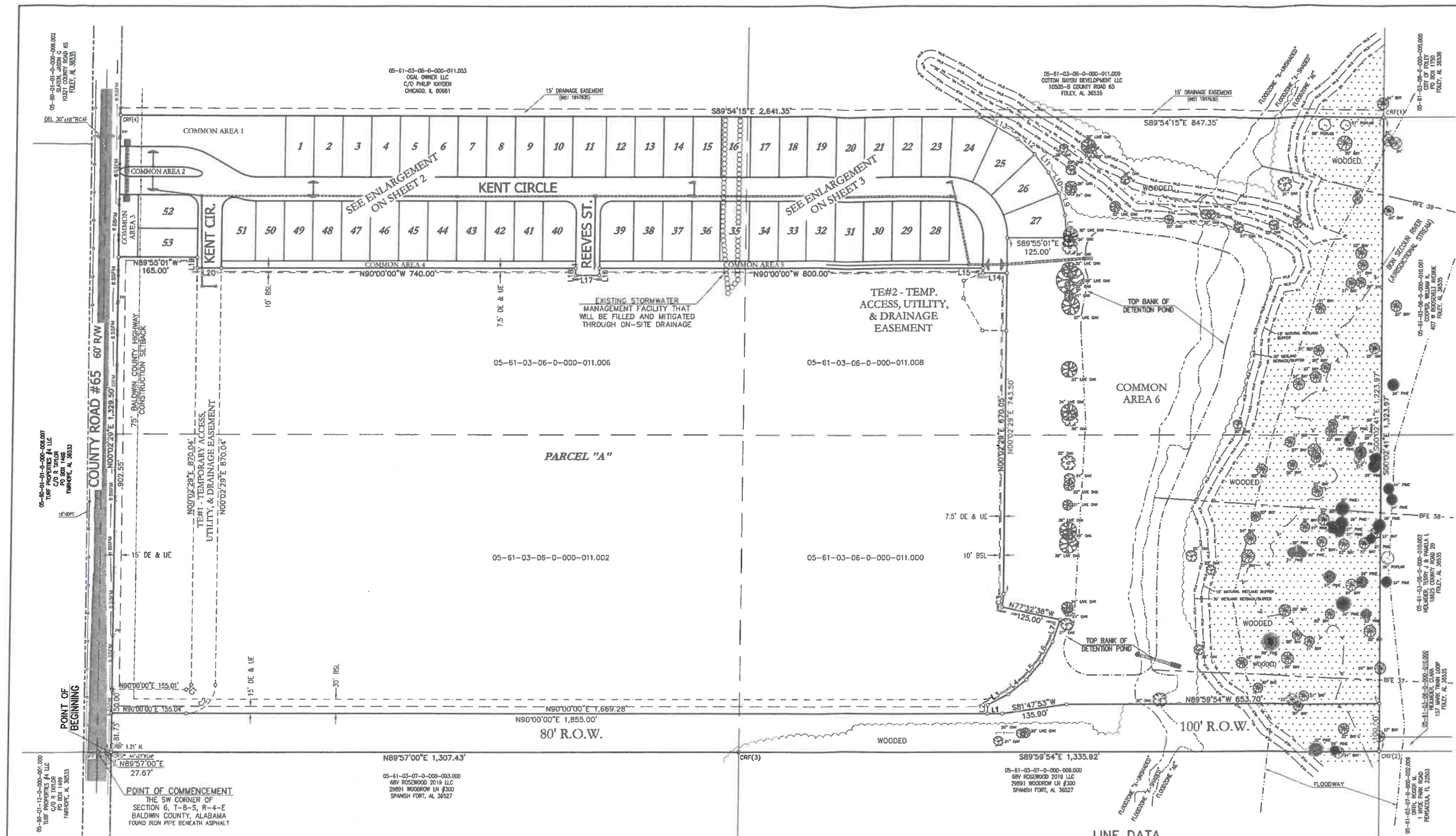
JINRIGHT & ASSOCIATES DEVELOPMENT ENGINEERS
208 Greeno Road N., Ste. C Fairhope, Alabama 36532
P.O. Box 1929 Fairhope, Alabama 36533
Phone: (251) 928-3443 Fax: (251) 928-3665
jadengineers.com

DATE: 11/16/2021

Handwritten circled number: 65



PHASING PLAN
THE COVE AT COTTON BAYOU
A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT
CR 65 AND CR 20
FOLEY, AL

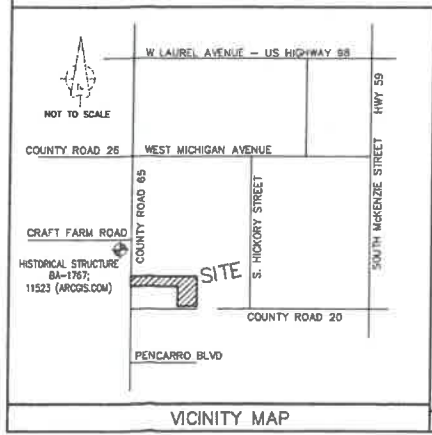


LOT & COMMON AREA DATA

LOT 1	7,628 SF	0.175 AC
LOT 2	7,622 SF	0.175 AC
LOT 3	7,616 SF	0.175 AC
LOT 4	7,610 SF	0.175 AC
LOT 5	7,604 SF	0.175 AC
LOT 6	7,598 SF	0.174 AC
LOT 7	7,592 SF	0.174 AC
LOT 8	7,586 SF	0.174 AC
LOT 9	7,580 SF	0.174 AC
LOT 10	7,574 SF	0.174 AC
LOT 11	8,828 SF	0.203 AC
LOT 12	7,561 SF	0.174 AC
LOT 13	7,555 SF	0.173 AC
LOT 14	7,549 SF	0.173 AC
LOT 15	7,543 SF	0.173 AC
LOT 16	7,537 SF	0.173 AC
LOT 17	7,531 SF	0.173 AC
LOT 18	7,525 SF	0.173 AC
LOT 19	7,518 SF	0.173 AC
LOT 20	7,512 SF	0.172 AC
LOT 21	7,506 SF	0.172 AC
LOT 22	7,500 SF	0.172 AC
LOT 23	7,494 SF	0.172 AC
LOT 24	9,372 SF	0.215 AC
LOT 25	8,997 SF	0.207 AC
LOT 26	8,997 SF	0.207 AC
LOT 27	8,997 SF	0.206 AC
LOT 28	7,500 SF	0.172 AC
LOT 29	7,500 SF	0.172 AC
LOT 30	7,500 SF	0.172 AC
LOT 31	7,500 SF	0.172 AC
LOT 32	7,500 SF	0.172 AC
LOT 33	7,500 SF	0.172 AC
LOT 34	7,500 SF	0.172 AC
LOT 35	7,500 SF	0.172 AC
LOT 36	7,500 SF	0.172 AC
LOT 37	7,500 SF	0.172 AC
LOT 38	7,500 SF	0.172 AC
LOT 39	8,616 SF	0.198 AC
LOT 40	8,616 SF	0.198 AC
LOT 41	7,500 SF	0.172 AC
LOT 42	7,500 SF	0.172 AC
LOT 43	7,500 SF	0.172 AC
LOT 44	7,500 SF	0.172 AC
LOT 45	7,500 SF	0.172 AC
LOT 46	7,500 SF	0.172 AC
LOT 47	7,500 SF	0.172 AC
LOT 48	7,500 SF	0.172 AC
LOT 49	7,500 SF	0.172 AC
LOT 50	7,500 SF	0.172 AC
LOT 51	8,962 SF	0.206 AC
LOT 52	8,616 SF	0.198 AC
LOT 53	7,500 SF	0.172 AC
PARCEL "A"	1,740,760 SF	39.92W AC
C.A. 1	30,787 SF	0.707 AC
C.A. 2	3,189 SF	0.073 AC
C.A. 3	5,201 SF	0.119 AC
C.A. 4	11,100 SF	0.255 AC
C.A. 5	19,541 SF	0.449 AC
C.A. 6	934,124 SF	21.445 AC

LEGEND

- CRF(1) CAPPED REBAR FOUND (EDS)
- CRF(2) CAPPED REBAR FOUND (FW RABER)
- CRF(3) CAPPED REBAR FOUND (HWR)
- CRF(4) CAPPED REBAR FOUND (WATTER)
- RBF 1/2" REBAR FOUND
- IPF IRON PIPE FOUND UNDER ASPHALT ROADWAY
- CRS CAPPED REBAR SET
- CRS CAPPED REBAR SET UNLESS OTHERWISE NOTED
- DE DRAINAGE EASEMENT
- UE UTILITY EASEMENT
- BSL BUILDING SETBACK LINE
- BFE BASE FLOOD ELEVATION
- UTILITY POLE W/ANCHOR
- SANITARY SEWER MARKER
- OVERHEAD UTILITIES
- W WATER LINE
- SSFM SANITARY SEWER FORCE MAIN
- NATURAL GAS LINE
- STORM DRAIN PIPE
- WIRE FENCE
- WETLAND BOUNDARY LINE
- WETLAND BUFFER
- BON SECOUR RIVER FLOWLINE
- TREE LINE
- SIGN
- LIVE OAK TREE
- OAK TREE
- PINE TREE
- POPLAR TREE
- UNKNOWN TREE



SITE DATA
TOTAL PARENT TRACT ACREAGE: 80.46 AC±
DEDICATED ROW AREA: 8.01 AC±
LINEAR FEET OF STREETS: 2,288 LF
NUMBER OF LOTS: 54
SMALLEST LOT SIZE: 7,500 SF
AVERAGE LOT SIZE: 38,849 SF
COMMON AREAS: 1,003,344 SF
TOTAL AREA: 3,504,903 SF
ZONING CLASSIFICATION: UNZONED AND PLANNING DISTRICT 34
SIDEWALK WIDTH = 5'

LOT DRAINAGE/UTILITY EASEMENTS
FRONT & REAR: 15'
SIDE: 15' (7.5' EACH SIDE OF LOT LINE)

REQUIRED SETBACKS
FRONT: 30'
REAR: 30'
SIDE: 10'
CORNER LOT SIDE: 20'

UTILITIES
WATER, SEWER, GAS, ELECTRIC & TELECOMMUNICATION SERVICES:
RIVERA UTILITIES - (251) 943-5001
413 E. LAUREL AVE; FOLEY, AL 36536

PARENT PARCELS (PPIN):
05-61-03-06-0-000-011.000 (66286)
05-61-03-06-0-000-011.002 (201476)
251-928-3443
05-61-03-06-0-000-011.006 (201480)
05-61-03-06-0-000-011.008 (214657)

FLOOD CERTIFICATE:
THE PROPERTY DESCRIBED HEREON IS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NO. S. 01003C0927 M, DATED 04/19/2019, AND IS SHOWN TO BE IN FLOOD ZONES "X-UNSHADED", "X-SHADED" & "AE".

ENGINEER:
JADE CONSULTING, LLC.
P.O. BOX 1929
FAIRHOPE, AL 36533
PERRY C. JINRIGHT, III, PE

SURVEYOR:
WATTER SURVEYING, INC.
4318 DOWNTOWN LOOP N., SUITE H
MOBILE, AL 36609
251-342-2640
MARK A. WATTER, PLS

DEVELOPER/OWNER:
RAM - COTTON BAYOU SUBDIVISION PARTNERS, LLC
RODNEY BARSTEIN - SPECIAL PURPOSE MANAGER
2200 MAGNOLIA AVE SOUTH, STE. 100
BIRMINGHAM, AL 35205

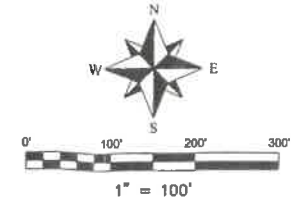
LINE DATA

LINE	BEARING	DISTANCE
L1	N89°00'00"W	30.68
L2	N00°00'00"W	18.44
L3	N62°20'01"E	48.31
L4	N51°14'39"E	48.31
L5	N40°09'16"E	48.31
L6	N29°03'54"E	48.31
L7	N17°56'32"E	48.31
L8	N05°02'12"W	47.38
L9	N16°00'45"W	48.31
L10	N27°06'08"W	48.31
L11	N38°11'30"W	48.31
L12	N49°16'52"W	48.31
L13	N60°22'15"W	91.84
L14	N89°57'31"W	50.00
L15	N00°02'29"E	10.00
L16	S00°02'29"W	15.00
L17	N90°00'00"W	50.00
L18	N00°02'29"E	15.00
L19	N00°02'29"E	22.27
L20	N89°57'31"W	50.00

CURVE DATA

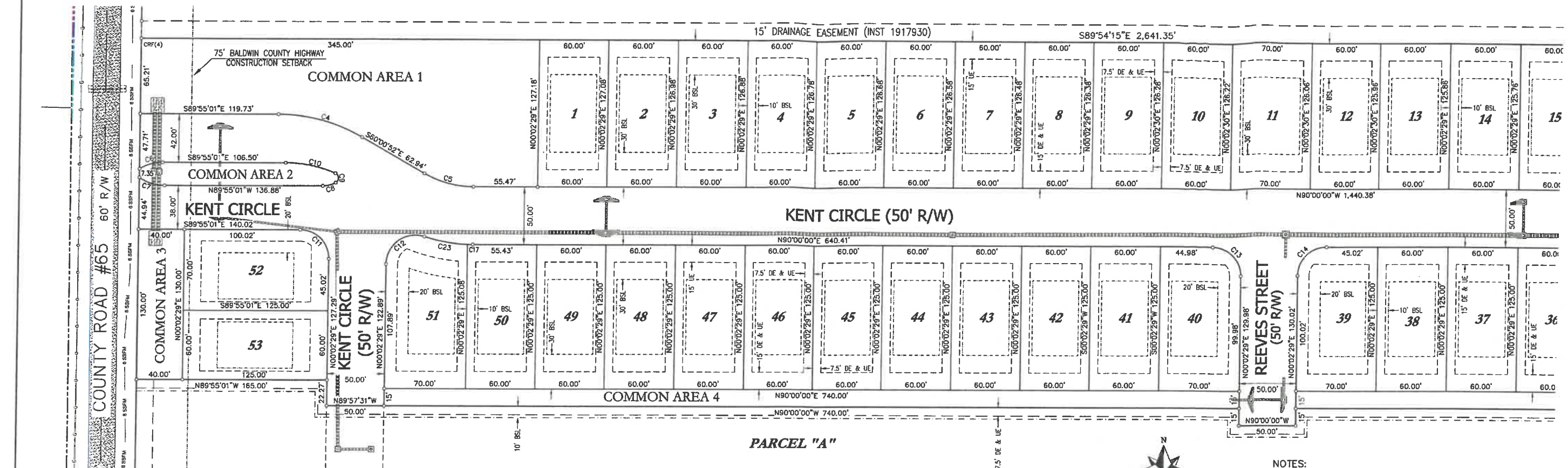
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	089°57'31"	10.00'	15.70'	S45°01'14"W	14.14'
C2	089°57'31"	60.00'	94.20'	N45°01'15"E	84.87'
C3	012°21'49"	125.00'	26.97'	N06°13'24"E	26.92'

COVE AT COTTON BAYOU
PHASE ONE
PRELIMINARY PLAT



WATTER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 DOWNTOWN LOOP N., SUITE H
MOBILE, ALABAMA 36609
251-342-2640

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SURVEYORS CERTIFICATE

STATE OF ALABAMA
COUNTY OF BALDWIN

I, MARK A. WATTIER, A LICENSED SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF RAM - COTTON BAYOU SUBDIVISION PARTNERS, LLC SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON PIPE BENEATH ASPHALT AT THE SOUTHWEST CORNER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN NORTH 89°-57'-00" EAST A DISTANCE OF 27.67 FEET TO A CAPPED REBAR (WATTIER) ON THE EAST RIGHT-OF-WAY LINE OF COUNTY ROAD 65 (60' R/W) AND THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE RUN NORTH 00°-02'-29" EAST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 1,329.50 FEET TO A CAPPED REBAR (WATTIER) ON THE NORTH LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE RUN SOUTH 89°-54'-15" EAST ALONG SAID NORTH LINE AND ALONG THE NORTH LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6 A DISTANCE OF 2,641.35 FEET TO CAPPED REBAR (EDS) AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE RUN SOUTH 00°-02'-41" EAST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6 A DISTANCE OF 1,323.97 FEET TO A CAPPED REBAR (FW RABER) AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE RUN NORTH 89°-59'-54" WEST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6 A DISTANCE OF 1,335.92 FEET TO A CAPPED REBAR (HMR); THENCE RUN SOUTH 89°-57'-00" EAST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6 A DISTANCE OF 1,307.43 FEET TO THE POINT OF BEGINNING. THE DESCRIBED PARCEL CONTAINS 80.46 ACRES, MORE OR LESS.

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER, AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS, AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS. SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THIS [] AS HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20____.

SURVEYOR _____
ALABAMA LICENSE #20364

LINE DATA

LINE	BEARING	DISTANCE
L1	N90°00'00"W	30.68
L2	N00°00'00"W	18.40
L3	N62°20'01"E	48.31
L4	N51°14'39"E	48.31
L5	N40°09'16"E	48.31
L6	N28°03'15"E	48.31
L7	N17°58'32"E	48.31
L8	N05°02'12"W	47.38
L9	N16°00'46"W	48.31
L10	N27°06'08"W	48.31
L11	N38°11'30"W	48.31
L12	N49°16'52"W	48.31
L13	N60°22'15"W	91.84
L14	N89°57'31"W	50.00
L15	N00°02'29"E	10.00
L16	S00°02'29"W	15.00
L17	N90°00'00"W	50.00
L18	N00°02'29"E	15.00
L19	N00°02'29"E	22.27
L20	N89°57'31"W	50.00
L21	N00°02'29"E	1.50

CURVE DATA

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	89°57'31"	10.00	15.70	S45°01'14"W	14.14
C2	89°57'31"	60.00	94.20	N45°01'15"E	84.82
C3	12°21'49"	125.00	26.97	N06°13'24"E	26.92
C4	29°54'09"	146.00	76.20	S74°57'57"E	75.34
C5	29°59'08"	85.00	44.48	S75°00'26"E	43.98
C6	31°35'24"	38.50	21.23	N74°17'17"E	20.96
C7	34°56'01"	38.50	23.47	S72°27'00"E	23.11
C8	28°48'48"	23.50	11.80	N75°41'38"E	11.68
C9	127°37'55"	4.50	10.02	N02°30'45"W	8.08
C10	23°35'09"	108.00	44.46	S78°07'17"E	44.15
C11	89°57'31"	25.00	39.25	S44°56'16"E	35.34
C12	108°00'36"	25.00	47.13	N45°02'48"E	40.45
C13	90°02'29"	25.00	39.29	S44°58'45"E	35.37
C14	89°57'31"	25.00	36.25	N45°01'15"E	35.34
C15	03°51'51"	75.00	5.06	S89°04'05"E	5.06
C16	86°10'39"	75.00	112.81	S43°02'50"E	102.47
C17	01°56'20"	135.00	4.57	N89°01'50"W	4.57
C18	21°37'29"	125.00	47.18	N10°46'15"W	46.90
C19	22°10'44"	125.00	48.39	N32°40'22"W	48.09
C20	22°10'44"	125.00	48.39	N54°51'05"W	48.09
C21	22°10'44"	125.00	48.39	N77°01'51"W	48.09
C22	01°52'47"	125.00	4.10	N89°03'36"W	4.10
C23	16°06'46"	135.00	37.96	S80°00'17"E	37.84

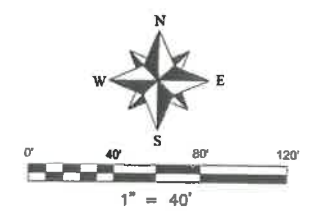
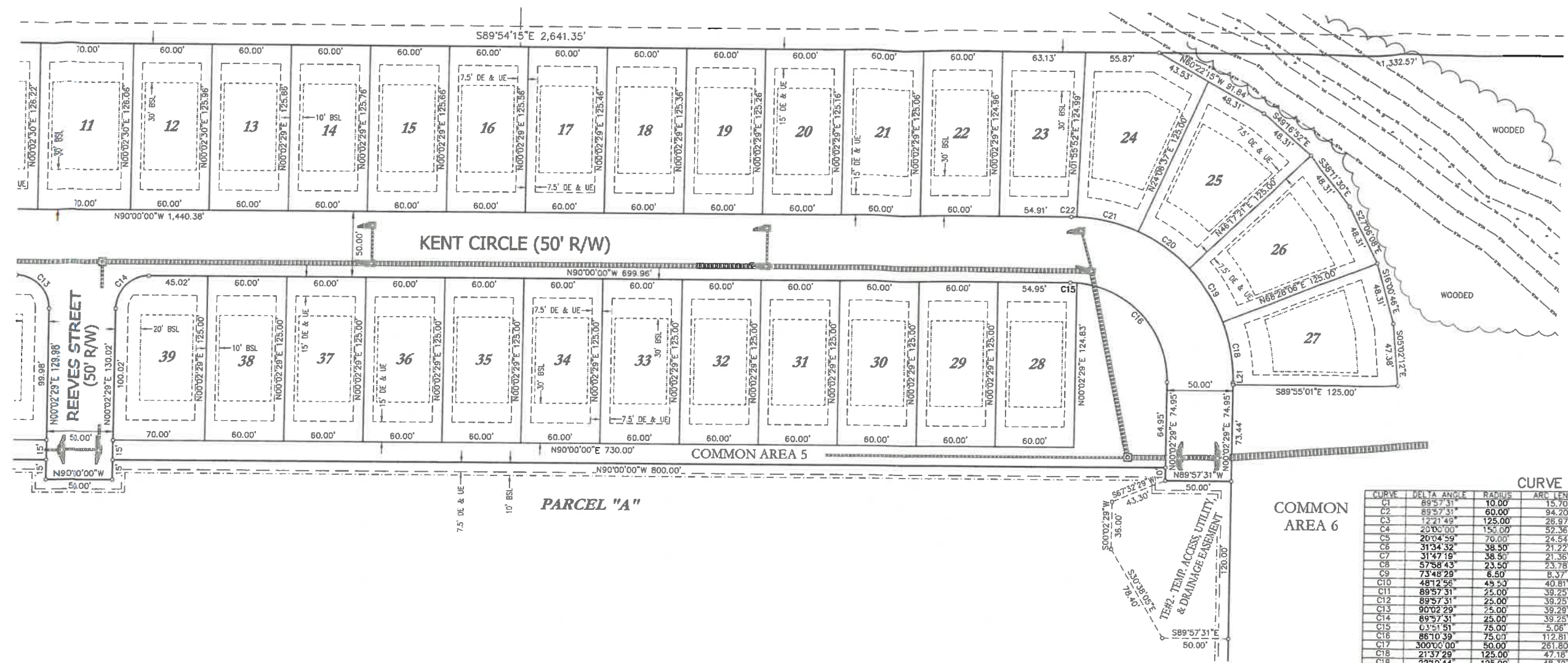
NOTES:

1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
2. THERE IS A DEDICATED DRAINAGE, UTILITY, AND MAINTENANCE EASEMENT OVER THE ENTIRETY OF COMMON AREAS 1, 2, 3, 4, 5 & 6.
3. A HOME OWNERS ASSOCIATION (HOA) IS REQUIRED TO BE FORMED. THE HOA IS REQUIRED TO MAINTAIN ANY AND ALL STORM WATER FACILITIES AND STRUCTURES LOCATED OUTSIDE OF THE PUBLICLY ACCEPTED RIGHT-OF-WAY.
4. STORM WATER DETENTION AREAS AND OTHER WATER BODIES OR WATERCOURSES INCLUDING THE BON SECOURS RIVER ARE NOT THE RESPONSIBILITY OF BALDWIN COUNTY OR THE CITY OF FOLEY TO MAINTAIN.
5. THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE, IF APPLICABLE, AND ENERGY COSTS OF THE STREET LIGHTS.
6. THIS SURVEY DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN WHAT IS READILY VISIBLE ON THE SURFACE OR PROVIDED BY THE CLIENT.
7. BEARINGS SHOWN HEREON ARE STATE PLANE COORDINATE GRID BEARINGS AND ARE NOT GEODETIC BEARINGS. CONVERGENCE ANGLE FROM GRID NORTH TO GEODETIC NORTH IS -00° 06' 25".
8. CAPPED REBARS (WATTIER) HAVE BEEN SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
9. TEMPORARY ACCESS, UTILITY, & DRAINAGE EASEMENTS TE#1 & TE#2 ARE TO BE VACATED IN R.O.W. EXTENSION OF FUTURE PHASES.
10. PROJECT IS DEDICATING R.O.W. ALONG THE SOUTHERN BOUNDARY FOR EXTENSION OF CR 20 TO CR 65.
11. PROJECT PROVIDES FOR 75' HIGHWAY CONSTRUCTION SETBACK FROM CENTERLINE OF CR 65.
12. R.O.W. WITHIN THE DEVELOPMENT WILL BE PUBLIC R.O.W.
13. PROPOSED STREETS TO PROVIDE 10' LANES WITH 30" VALLEY GUTTER.
14. ALL LOTS HAVE 15' DRAINAGE AND UTILITY EASEMENTS, INTERIOR LOT LINES HAVE THE EASEMENT SPLIT 7.5' ON EACH SIDE.
15. PROJECT PROPOSES NO OVERHEAD UTILITIES.
16. SIDEWALKS WILL BE INSTALLED IN R.O.W. AND THE WIDTH WILL BE 5'.
17. ALL OR PART OF THE PROPERTY CONTAINED WITHIN THIS SUBDIVISION LIES IN A FLOODWAY OR FLOOD PRONE AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FEDERAL INSURANCE RATE MAP. PURCHASERS OF PROPERTY WITHIN THIS SUBDIVISION ARE ADVISED THAT THE CONSTRUCTION OF IMPROVEMENTS MAY BE SUBJECT TO ADDITIONAL INSURANCE REQUIREMENTS AND BUILDING REGULATIONS.

Acde
Reasion

COVE AT COTTON BAYOU
PHASE ONE
PRELIMINARY PLAT

68



LINE DATA		
LINE	BEARING	DISTANCE
L1	N90°00'00"W	30.68'
L2	N00°00'00"W	18.40'
L3	N62°20'01"E	48.31'
L4	N51°14'39"E	48.31'
L5	N40°09'16"E	48.31'
L6	N28°03'54"E	48.31'
L7	N17°58'32"E	48.31'
L8	N05°02'12"W	47.38'
L9	N16°00'46"W	48.31'
L10	N27°06'08"W	48.31'
L11	N38°11'30"W	48.31'
L12	N49°16'52"W	48.31'
L13	N60°22'15"W	91.84'
L14	N89°57'31"W	50.00'
L15	N00°02'29"E	10.00'
L16	S00°02'29"W	15.00'
L17	N90°00'00"W	50.00'
L18	N00°02'29"E	15.00'
L19	N00°02'29"E	22.27'
L20	N89°57'31"W	50.00'
L21	N00°02'29"E	1.50'
L22	S00°02'29"W	5.40'
L23	S00°02'29"W	5.44'

CURVE DATA					
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	89°57'31"	15.70'	15.70'	S45°01'14"W	14.14'
C2	89°57'31"	60.00'	94.20'	N45°01'15"W	84.82'
C3	12°21'49"	125.00'	26.97'	N06°13'24"E	26.92'
C4	20°00'00"	150.00'	52.36'	S79°55'01"E	52.09'
C5	20°04'59"	76.00'	24.54'	S79°57'31"E	24.41'
C6	31°34'32"	38.50'	21.22'	N74°22'48"E	20.85'
C7	31°47'19"	38.50'	21.36'	S75°00'39"E	21.09'
C8	57°58'43"	23.50'	23.78'	N61°05'45"E	22.78'
C9	7°48'29"	6.60'	6.37'	N04°47'51"W	7.81'
C10	48°12'56"	49.50'	40.81'	S65°48'33"E	39.62'
C11	89°57'31"	25.00'	39.25'	S44°56'16"E	35.34'
C12	89°57'31"	25.00'	39.25'	N45°01'15"E	35.34'
C13	90°02'29"	25.00'	39.29'	S44°56'45"E	35.37'
C14	89°57'31"	25.00'	39.25'	N45°01'15"E	35.34'
C15	0°35'15"	75.00'	5.06'	S88°04'05"E	5.06'
C16	86°10'39"	75.00'	112.61'	S43°02'50"E	102.47'
C17	300°00'00"	50.00'	261.80'	S89°59'24"W	50.00'
C18	21°37'29"	125.00'	47.18'	N10°48'15"W	46.90'
C19	22°10'44"	125.00'	48.39'	N32°40'22"W	48.09'
C20	22°10'44"	125.00'	48.39'	N54°51'06"W	48.09'
C21	22°10'44"	125.00'	48.39'	N77°01'51"W	48.09'
C22	01°52'47"	125.00'	4.10'	N89°03'36"W	4.10'

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION

THE WITHIN PLAT OF THE PAXTON FARMS SUBDIVISION, PHASE ONE, FOLEY, ALABAMA IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING AND ZONING COMMISSION, THIS THE _____ DAY OF _____, 20____.

CHAIRMAN, PLANNING COMMISSION

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

CITY ENGINEER

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES - POWER:

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES - WATER & SANITARY SEWER:

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES - GAS:

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES - TELECOMMUNICATIONS:

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 911:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY 911, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER

THE UNDERSIGNED, AS COUNTY ENGINEER OF THE COUNTY OF BALDWIN, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

COUNTY ENGINEER

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY PLANNING DIRECTOR:

THE UNDERSIGNED, AS DIRECTOR OF THE BALDWIN COUNTY PLANNING AND ZONING DEPARTMENT, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA THIS THE _____ DAY OF _____, 20____.

PLANNING DIRECTOR

CERTIFICATE OF APPROVAL BY THE FLOODPLAIN MANAGER:

THE UNDERSIGNED, AS BALDWIN COUNTY FLOODPLAIN MANAGER, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA THIS THE _____ DAY OF _____, 20____.

FLOODPLAIN MANAGER

CERTIFICATION OF OWNERSHIP AND DEDICATION

THIS IS TO CERTIFY THAT RAM - COTTON BAYOU SUBDIVISION PARTNERS, LLC, IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT THE SAME HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS _____ DAY OF _____, 20____.

OWNER: RAM - COTTON BAYOU SUBDIVISION PARTNERS, LLC
RODNEY BARSTEIN - SPECIAL PURPOSE MANAGER

CERTIFICATION BY NOTARY PUBLIC

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY THAT RODNEY BARSTEIN, WHOSE NAME AS SPECIAL PURPOSE MANAGER OF RAM - COTTON BAYOU SUBDIVISION PARTNERS, LLC, IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND AS SUCH OFFICER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

COVE AT COTTON BAYOU
PHASE ONE
PRELIMINARY PLAT

JANUARY 20, 2022

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 Downlamer Loop II, Suite H
Mobile, Alabama 36609 251-342-2640

Revised

69

Public Notice

The City of Foley Planning Commission has received a request for preliminary approval of The Cove at Cotton Bayou Phase 1 which consists of 35.27 +/- acres and 53 lots. Property is located E. of County Rd. 65 and N. of Arbor Walk Subdivision. Applicant is RAM-Cotton Bayou Subdivision Partners, LLC.

Anyone interested in the approval may be heard at a public hearing scheduled for February 16, 2022 in the Council Chambers of City Hall (407 E. Laurel Ave.) at 5:30 p.m. or may respond in writing to 120 S. McKenzie St., Foley, AL 36535.

Wes Abrams
Planning Commission Chairman



New
Business
#7 (70)

**CITY OF FOLEY, ALABAMA
APPLICATION FOR
ZONING OF PROPERTY**

1. LOCATION OF PROPERTY (ADDRESS, PIN #, LEGAL DESCRIPTION, MAP/SURVEY, DEED, AND CORPORATION OWNERSHIP INFORMATION):
-See attached -Bay Street, Foley, AL 36535 -PIN # 045320
2. ATTACH A SEPARATE LIST OF ADJACENT PROPERTY OWNERS:
-See attached
3. APPROXIMATE SIZE OF PROPERTY:
5.6 Acres
4. PRESENT ZONING OF PROPERTY:
PO
5. REQUESTED ZONING:
R3
6. BRIEF DESCRIPTION OF CURRENT USE AND STRUCTURES LOCATED ON THE PROPERTY:
Vacant Acreage
7. BRIEFLY DESCRIBE THE CONTEMPLATED USE OF THE PROPERTY IF REZONED (TYPE OF DEVELOPMENT, DENSITY, ETC.)
This parcel will be part of a master planned rental community consisting of 202 total unit, 62 townhomes and 140 apartments with amenity space.
8. PROCESSING FEE OF \$500.00 FOR 20 ACRES OR LESS, PLUS \$15.00 PER ADDITIONAL ACRE OVER 20.

I CERTIFY THAT I AM THE PROPERTY OWNER AND ATTEST THAT ALL FACTS AND INFORMATION SUBMITTED ARE TRUE AND CORRECT.

DATE: January 24, 2022

-Owner Authorization is provided within application

Austin V. Hynson Nick Wilmott

PROPERTY OWNER/APPLICANT
See Authorization Form

PROPERTY OWNER ADDRESS
251-604-0327 251-747-2418

PHONE NUMBER
ahynson@hotmail.com nwilmott@gmail.com

EMAIL ADDRESS

OCde



71

**CITY OF FOLEY, ALABAMA
APPLICATION FOR
ZONING OF PROPERTY**

1. LOCATION OF PROPERTY (ADDRESS, PIN #, LEGAL DESCRIPTION, MAP/SURVEY, DEED, AND CORPORATION OWNERSHIP INFORMATION):
-See attached Cypress Street South, Foley, AL PPIN: 201939
2. ATTACH A SEPARATE LIST OF ADJACENT PROPERTY OWNERS:
-See attached
3. APPROXIMATE SIZE OF PROPERTY:
5.6 Acres
4. PRESENT ZONING OF PROPERTY:
PO
5. REQUESTED ZONING:
R3
6. BRIEF DESCRIPTION OF CURRENT USE AND STRUCTURES LOCATED ON THE PROPERTY:
Vacant Acreage
7. BRIEFLY DESCRIBE THE CONTEMPLATED USE OF THE PROPERTY IF REZONED (TYPE OF DEVELOPMENT, DENSITY, ETC.)
This parcel will be part of a master planned rental community consisting of 202 total unit, 62 townhomes and 140 apartments with amenity space.
8. PROCESSING FEE OF \$500.00 FOR 20 ACRES OR LESS, PLUS \$15.00 PER ADDITIONAL ACRE OVER 20.

I CERTIFY THAT I AM THE PROPERTY OWNER AND ATTEST THAT ALL FACTS AND INFORMATION SUBMITTED ARE TRUE AND CORRECT.

DATE: January 24, 2022

-Owner Authorization is provided within application

Austin V. Hynson Nick Wilmott

PROPERTY OWNER/APPLICANT

See Authorization Form

PROPERTY OWNER ADDRESS

251-604-0327 251-747-2418

PHONE NUMBER

ahynson@hotmail.com nwilmott@gmail.com

EMAIL ADDRESS

acde



72

CITY OF FOLEY, ALABAMA
APPLICATION FOR
ZONING OF PROPERTY

1. LOCATION OF PROPERTY (ADDRESS, PIN #, LEGAL DESCRIPTION, MAP/SURVEY, DEED, AND CORPORATION OWNERSHIP INFORMATION):
-See Attached East Lawson Ave, Foley, AL PPIN: 201938
2. ATTACH A SEPARATE LIST OF ADJACENT PROPERTY OWNERS:
-See Attached
3. APPROXIMATE SIZE OF PROPERTY:
5.2 Acres
4. PRESENT ZONING OF PROPERTY:
AO
5. REQUESTED ZONING:
R3
6. BRIEF DESCRIPTION OF CURRENT USE AND STRUCTURES LOCATED ON THE PROPERTY:
Vacant Acreage
7. BRIEFLY DESCRIBE THE CONTEMPLATED USE OF THE PROPERTY IF REZONED (TYPE OF DEVELOPMENT, DENSITY, ETC.)
This parcel will be part of a master planned rental community consisting of 202 total units, 62 townhomes and 140 apartments with amenity space.
8. PROCESSING FEE OF \$500.00 FOR 20 ACRES OR LESS, PLUS \$15.00 PER ADDITIONAL ACRE OVER 20.

I CERTIFY THAT I AM THE PROPERTY OWNER AND ATTEST THAT ALL FACTS AND INFORMATION SUBMITTED ARE TRUE AND CORRECT.

DATE: January 24, 2022

-Owner Authorization is provided within application

Austin V. Hynson Nick Wilmott

PROPERTY OWNER/APPLICANT
See Authorization Form

PROPERTY OWNER ADDRESS
251-604-0327 251-747-2418

PHONE NUMBER
ahynson@hotmail.com nwilmott@gmail.com

EMAIL ADDRESS

acate



**CITY OF FOLEY, ALABAMA
APPLICATION FOR
ZONING OF PROPERTY**

1. LOCATION OF PROPERTY (ADDRESS, PIN #, LEGAL DESCRIPTION, MAP/SURVEY, DEED, AND CORPORATION OWNERSHIP INFORMATION):
-See Attached -220 E Michigan Ave, Foley, AL 36535 PIN # 045327
2. ATTACH A SEPARATE LIST OF ADJACENT PROPERTY OWNERS:
-See Attached
3. APPROXIMATE SIZE OF PROPERTY:
100 X 200
4. PRESENT ZONING OF PROPERTY:
R2
5. REQUESTED ZONING:
R3
6. BRIEF DESCRIPTION OF CURRENT USE AND STRUCTURES LOCATED ON THE PROPERTY:
Residential House
7. BRIEFLY DESCRIBE THE CONTEMPLATED USE OF THE PROPERTY IF REZONED (TYPE OF DEVELOPMENT, DENSITY, ETC.)
This parcel will be part of a master planned rental community consisting of 202 total units, 62 townhomes and 140 apartments with amenity space.
8. PROCESSING FEE OF \$500.00 FOR 20 ACRES OR LESS, PLUS \$15.00 PER ADDITIONAL ACRE OVER 20.

I CERTIFY THAT I AM THE PROPERTY OWNER AND ATTEST THAT ALL FACTS AND INFORMATION SUBMITTED ARE TRUE AND CORRECT.

DATE: January 24, 2022
-Owner Authorization is provided within application

Austin V. Hynson Nick Wilcott

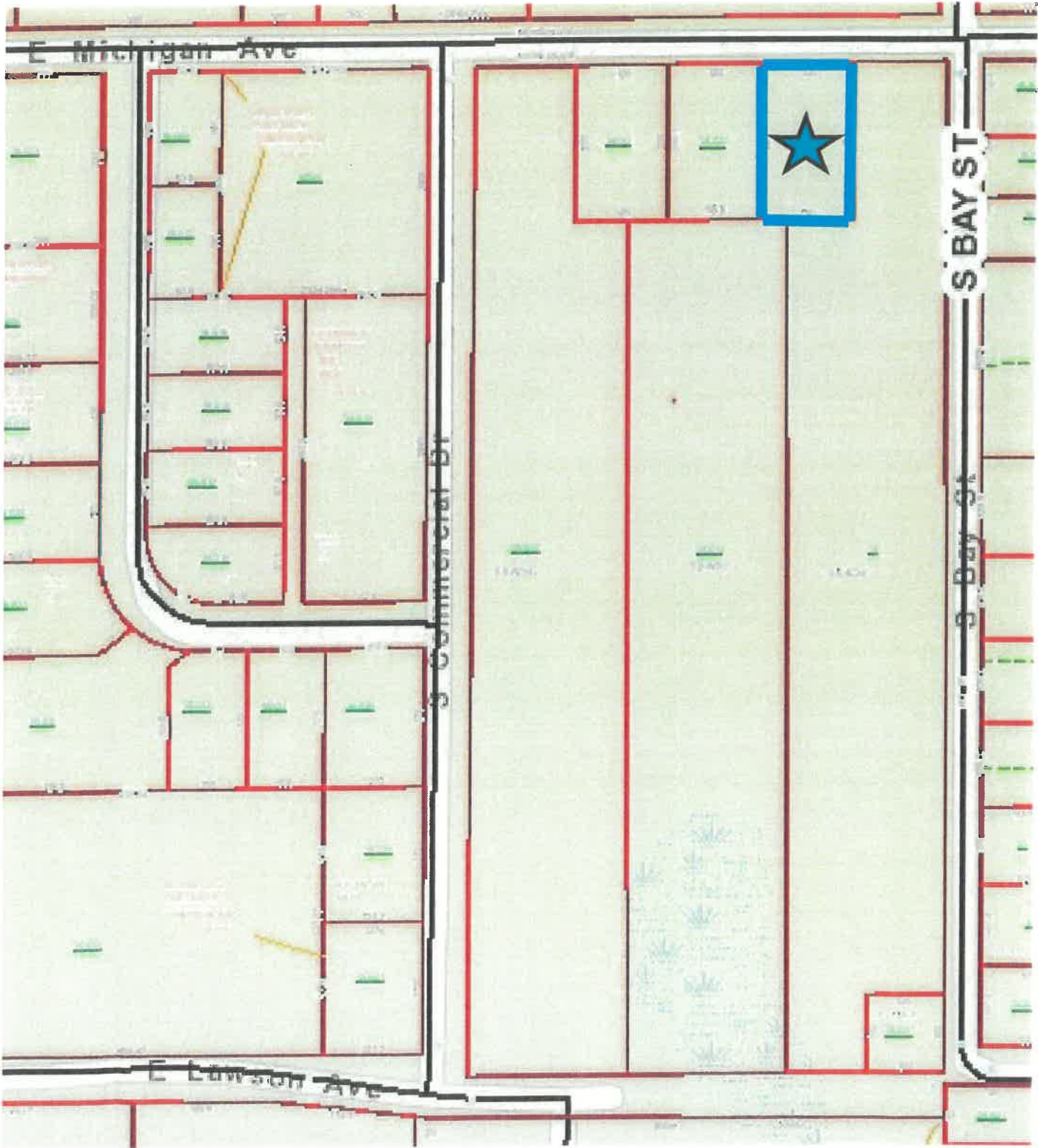
PROPERTY OWNER/APPLICANT
See Authorization Form
PROPERTY OWNER ADDRESS
251-604-0327 251-747-2418
PHONE NUMBER
ahynson@hotmail.com nwilmott@gmail.com
EMAIL ADDRESS

AlCole

74

Baldwin County Parcel # 54-08-33-3-000-017

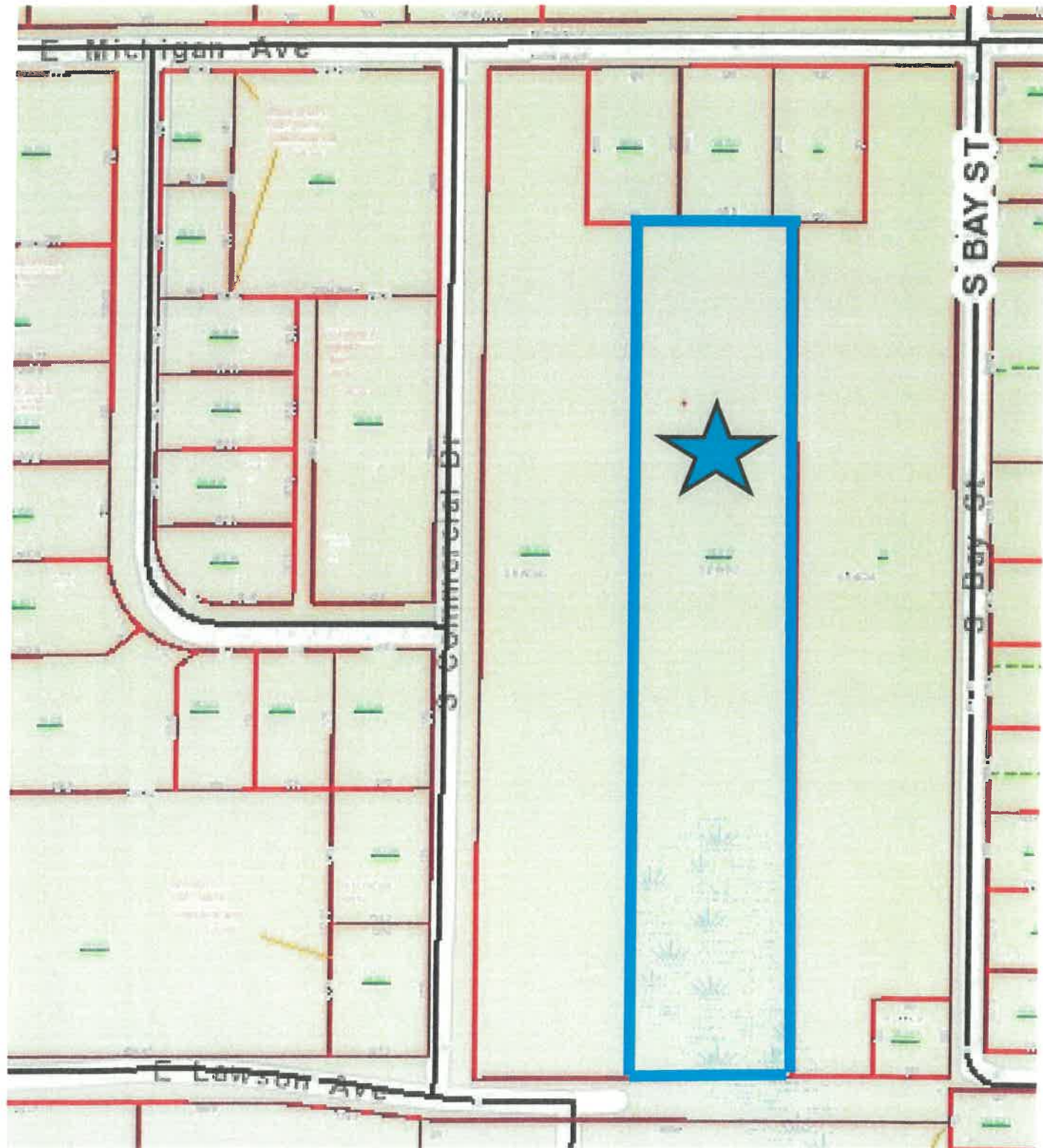
PPIN: 45327



Baldwin County Parcel # 54-08-33-3-000-018.012

PPIN: 201938

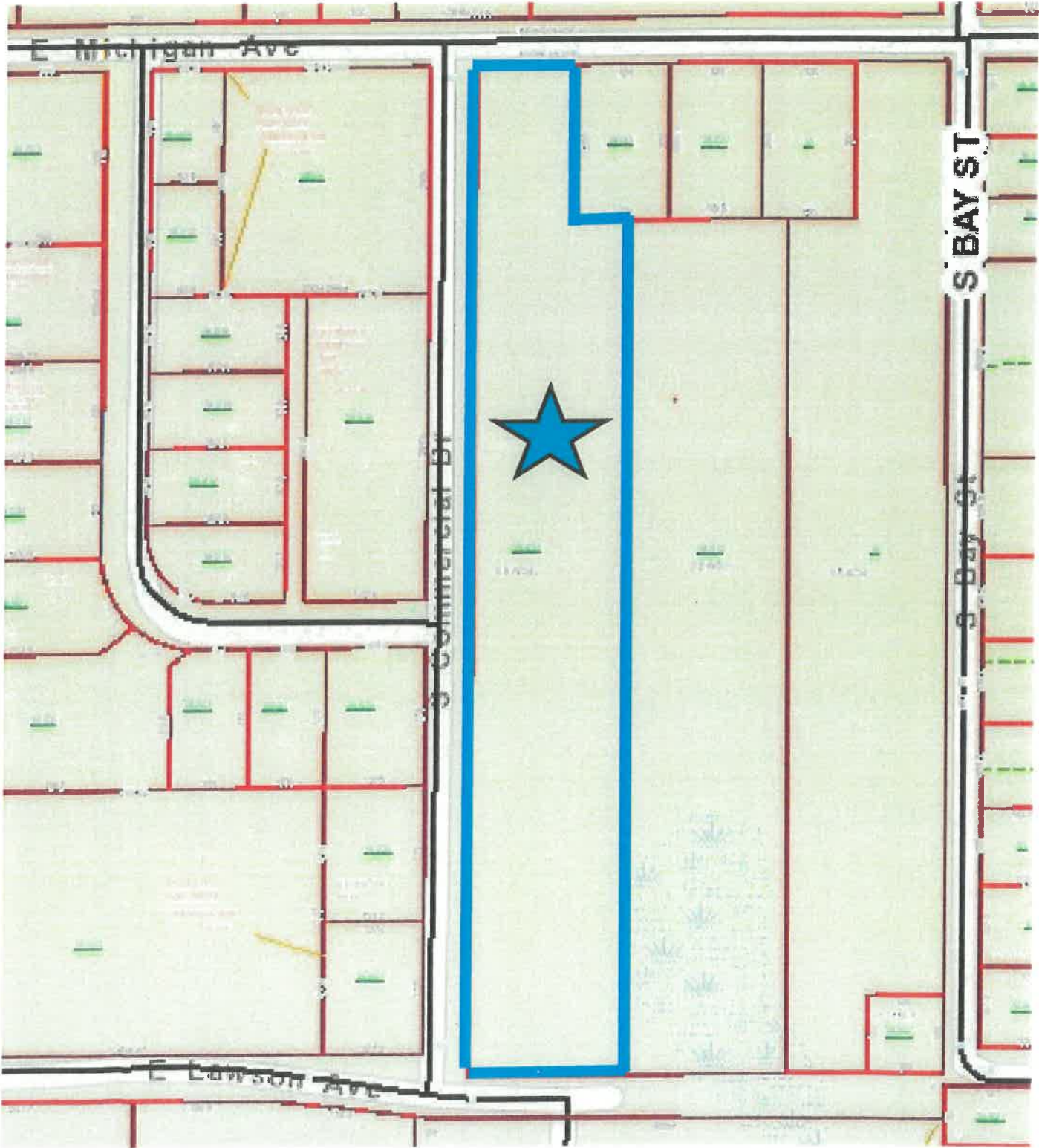
75



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Baldwin County Parcel # 54-08-33-3-000-018.013

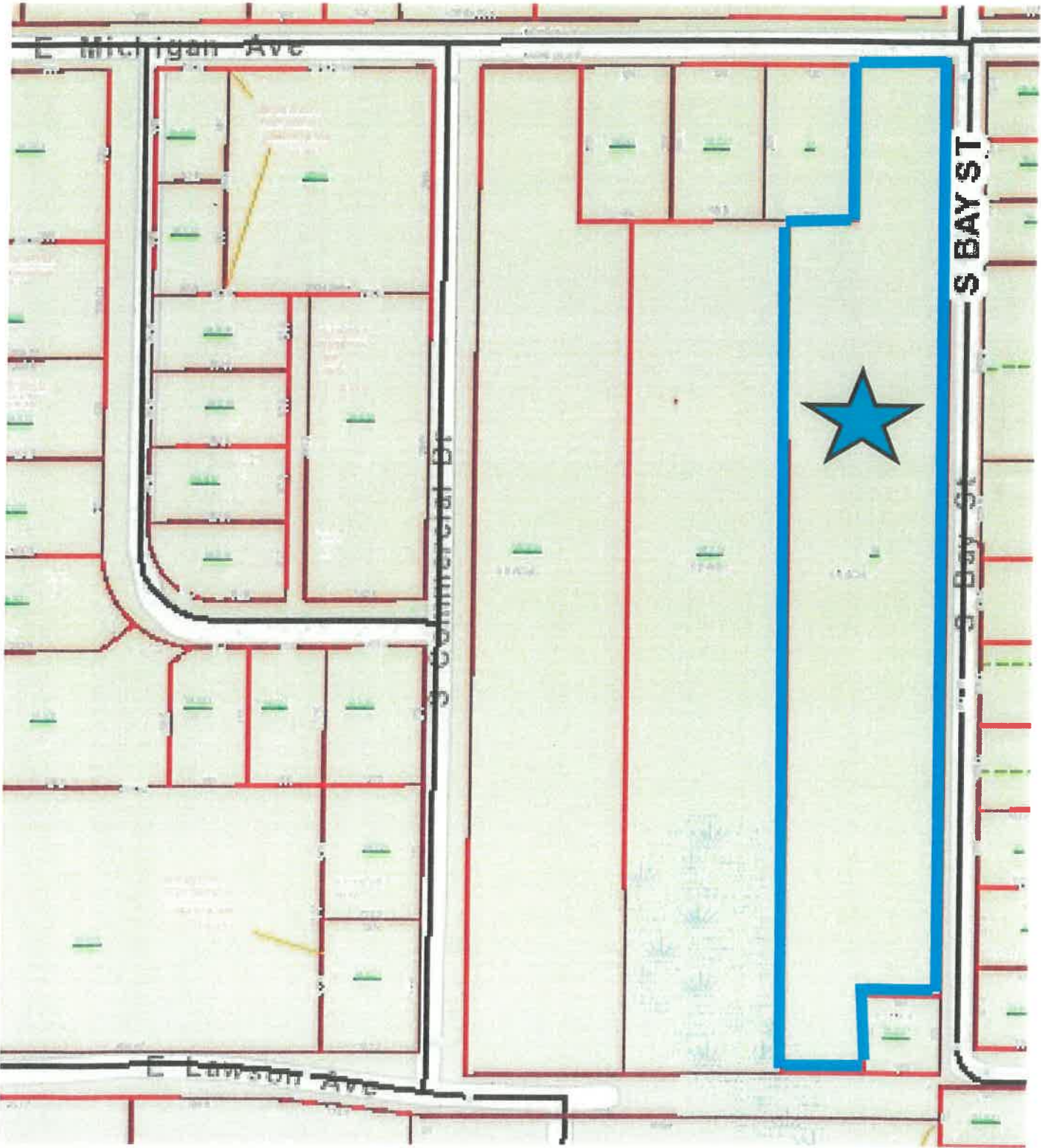
PPIN: 201939



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Baldwin County Parcel # 54-08-33-3-000-018.000

PPIN: 045320



CDD Report for Planning Commission

By: Miriam Boone

Prelim Meeting Date: __/__/__

Site Plan Review

Project Name: Cypress Street Multifamily Master Plan
Applicant: Hynson Wilmott
Location: South of Michigan Ave between Cypress & Bay Streets
PPIN(s): 201939 201938 45320 45327
Existing Zoning: B1A AO PO R2
Flood Zone: (Unconfirmed)

Comments: Development consists of Townhomes & Apartments

Zone: R-3 Multi Fam/Apts

	Allowed	Initial ProposalRcvd __/__/__
Total Dwelling Units	203.0	202.0
Max Density/Acre	12.0	
Min Lot Area s/f	1 acre	16.91 Acres
Min Lot Width@BL	200	200'+
Min FY Depth	40	40'
Min RY Depth	30*	40'
Min ea SY Width	25*	40'
Min SY Depth@St	40	40'
Max Bldg Area	40%	20%
Min Open Space	25% (not including Storm)	29%
Max Bldg Height	50	40'
Max Bldg Stories	4	3.0
Parking per Unit	2	427.0

Onsite Amenities? Pickle Ball, Playground, Pool, Clubhouse, Dog Park
Offsite Amenities? ?
Sale or Lease? Initially Lease - THs may be sold in the future if for sale, need SD plan showing lots
Overlay Districts? NA
Stormwater Plan?
Required Buffers?
Major/Collector Rd?
Dumpsters? Bulk? Dumpsters in apartments with chutes, TH's will have cans
Need to know: Utility Letters, Traffic Analysis, Site Plan review w/PC , LDP, Impact Fees, Sign Permit

* Where multi-family is located adjacent to single family, min RY & SY are 50 ft.
Also, structures over 2 stories add 1ft setback for each ft over 35 high, max 50ft.



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

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To: CDD Staff

cc: City of Foley Planning Commission

From: Chad P. Christian, P.E.

Date: 2-2-22

Re: Wilson/Crimson Land Development Rezoning

Engineering is not opposed to the requested Rezoning.

Chad P. Christian, P.E.
City Engineer



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

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To: CDD Staff

cc: City of Foley Planning Commission

From: Chad P. Christian, P.E.

Date: 2-2-22

Re: Wenzel/Crimson Land Development Rezoning

Engineering is not opposed to the requested Rezoning.

Chad P. Christian, P.E.
City Engineer



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org

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To: CDD Staff

cc: City of Foley Planning Commission

From: Chad P. Christian, P.E.

Date: 2-2-22

Re: Wenzel/Britain/Crimson Land Development Rezoning

Engineering is not opposed to the requested Rezoning.

Chad P. Christian, P.E.
City Engineer



120 West Verbena Avenue
Foley, Alabama 36535
(251) 943-1266
Fax (251) 943-7432
www.cityoffoley.org

82

January 28, 2022

City of Foley Planning Commission
407 East Laurel Avenue
Foley, Alabama 36535

Re: Cypress Street Multifamily
Austin Hynson and Nick Wilmott
Application for Rezoning

Fire has reviewed this Application for Rezoning and has found no issues.

Sincerely,

Brad Hall
Fire Inspector
City of Foley
bhall@cityoffoley.org

cc: City of Foley Planning and Zoning



SITE DATA				
ITEM	EXISTING	ALLOWED	REQUIRED	PROPOSED
TOTAL SITE AREA:	736,700 SF (16.91 AC.)			
ZONING:	B-1A			R-3
LAND USE:	VACANT			RESIDENTIAL
TOTAL UNITS:		202 UNITS		202 UNITS
TOWNHOUSE:				82 UNITS
APARTMENT:				140 UNITS
DENSITY:		12 DU/AC		12 DU/AC
YARD DEPTH REQUIREMENTS:				
FRONT YARD			40' MIN.	40'
REAR YARD			30' MIN. (OR 50')	NA
SIDE YARD			25' MIN. (OR 50')	50'
SIDE YARD ABUTS STREET			40' MIN.	40'
BUILDING AREA		40% OF GROSS LOT AREA, MAX.		3.4 AC. OR 28%
OPEN SPACE			25% MIN.	4.9 AC. OR 28%
BUILDING HEIGHT		30' MAX.		< 30' HT.
TOTAL PARKING SPACES (2/UNIT)(a):			404 SPACES	427 SPACES
TOWNHOUSE (b):			124 SPACES	124 SPACES
APARTMENT:			280 SPACES	280 SPACES
ADJUTANT AREA PARKING:				13 SPACES

(a) PARKING SPACES ARE SIZED AT 10'x20'. (b) ONE GARAGE PARKING SPACE PER UNIT, AND ONE PARKING SPACE IN THE DRIVEWAY, STACKED CONFIGURATION.

landscape and interior
land planning
landscape architects

Foley, Alabama
P. 251.548.7881
P. 251.548.7882
P. 251.548.7883
P. 251.548.7884
P. 251.548.7885
P. 251.548.7886
P. 251.548.7887
P. 251.548.7888
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NOT FOR CONSTRUCTION

THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Cypress St. Master Plan
Foley, Alabama

Revisions	Revisions / Submissions
No. Date	
01.23.22	FOR REZONING APPLICATION

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BH Drawn	Registration
DM Project Manager	STATE OF ALABAMA
LCW Principal	213305-002
Project No.	09.20.21
Date	

Sheet 12a

CONCEPTUAL MASTER PLAN

Sheet No. **MP100**

Cypress St. Rezoning Adjacent Zones



PUBLIC NOTICE



The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 17 +/- acres. Property is currently zoned B-1A (Extended Business District), PO (Preferred Office District), AO (Agricultural Open Space) and R-2 (Residential Single Family and Duplex). Proposed zoning is R-3 (Residential Multi-Family). Property is located S. of Michigan Ave. between Cypress and Bay St. Applicant is Crimson Land Development LLC.

Anyone interested in this rezoning request maybe heard at a public hearing scheduled for February 16, 2022 in the Council Chambers of City Hall located at 407 W. Laurel Ave. at 5:30 p.m. or may respond in writing to 120 S. McKenzie St., Foley, AL 36535.

Wes Abrams
Planning Commission Chairman



(86)
New
Business #8

**CITY OF FOLEY, ALABAMA
APPLICATION FOR
ZONING OF PROPERTY**

1. LOCATION OF PROPERTY (ADDRESS, PIN #, LEGAL DESCRIPTION, MAP/SURVEY, DEED, AND CORPORATION OWNERSHIP INFORMATION):

Response: Hickory St., PPIN #380216, Owner Magnolia Landing LLC,

2. ATTACH A SEPARATE LIST OF ADJACENT PROPERTY OWNERS:

Response: Please see attached list of property owners.

3. APPROXIMATE SIZE OF PROPERTY:

Response: The proposed PUD request will rezone the entire 19.42 acre parcel.

4. PRESENT ZONING OF PROPERTY:

Response: The property is currently zoned R-1D and B-2.

5. REQUESTED ZONING:

Response: Planned Unit Development (PUD).

6. BRIEF DESCRIPTION OF CURRENT USE AND STRUCTURES LOCATED ON THE PROPERTY:

Response: The property has remained vacant and has not been proposed for development.

7. BRIEFLY DESCRIBE THE CONTEMPLATED USE OF THE PROPERTY IF REZONED (TYPE OF DEVELOPMENT, DENSITY, ETC.)

The proposed PUD will allow for a multi-family project on the 19.42-acre parent tract. The proposed multi-family development would be phase 3 of the existing Magnolia Landing apartments and is proposing a density that will not exceed the 11 units/acre allowed in the City's Zoning Ordinance. All required parking, open space, utility and drainage improvements will be provided as required by the City of Foley's land development regulations.

8. PROCESSING FEE OF \$500.00 FOR 20 ACRES OR LESS, PLUS \$15.00 PER ADDITIONAL ACRE OVER 20.

Response: Total check amount is \$500

I CERTIFY THAT I AM THE PROPERTY OWNER AND ATTEST THAT ALL FACTS AND INFORMATION SUBMITTED ARE TRUE AND CORRECT.

DATE: November 12, 2021


PROPERTY OWNER/APPLICANT
208 N. Greeno Rd, Ste. C, Fairhope, AL 36532

PROPERTY OWNER ADDRESS
251-928-3443

PHONE NUMBER

tjinright@jadengineers.com / sruth@jadengineers.com

EMAIL ADDRESS

Planning Commission Report

By Miriam Boutwell

February 2022

Rezoning

Applicant:	Magnolia Landing
Location:	West of Hickory Street, north of CR 12 S
Size:	19.42+/- Acres
Current Zoning:	B2 - Neighborhood Business District & R1D – Residential Single Family
Requested Zoning:	PUD – Planned Unit Development
Future Land Use:	NC - Neighborhood Commercial & RM – Residential Medium Density
Flood Zone:	X
Unconfirmed	
Comments:	The owner would like to rezone to PUD to continue the multi-family use from the adjacent property. The applicants have modified the design & are working with the Crown Walk HOA as well.



Engineering Department
Post Office Box 1750
200 North Alston Street
Foley, Alabama 36536
Tel 251.970.1104
Fax 251.970.2398
www.cityoffoley.org



To: CDD Staff
cc: City of Foley Planning Commission
From: Chad P. Christian, P.E.
Date: 2-2-22
Re: Magnolia Landing Rezoning

Engineering is not opposed to the requested Rezoning. A revised traffic impact study may be required.

Chad P. Christian, P.E.
City Engineer



120 West Verbena Avenue
Foley, Alabama 36535
(251) 943-1266
Fax (251) 943-7432
www.cityoffoley.org

89

January 28, 2022

City of Foley Planning Commission
407 East Laurel Avenue
Foley, Alabama 36535

Re: Magnolia Landing
Jade Consulting
Application for Rezoning

Fire has reviewed this Application for Rezoning of the revised site plan and has found no issues.

Sincerely,

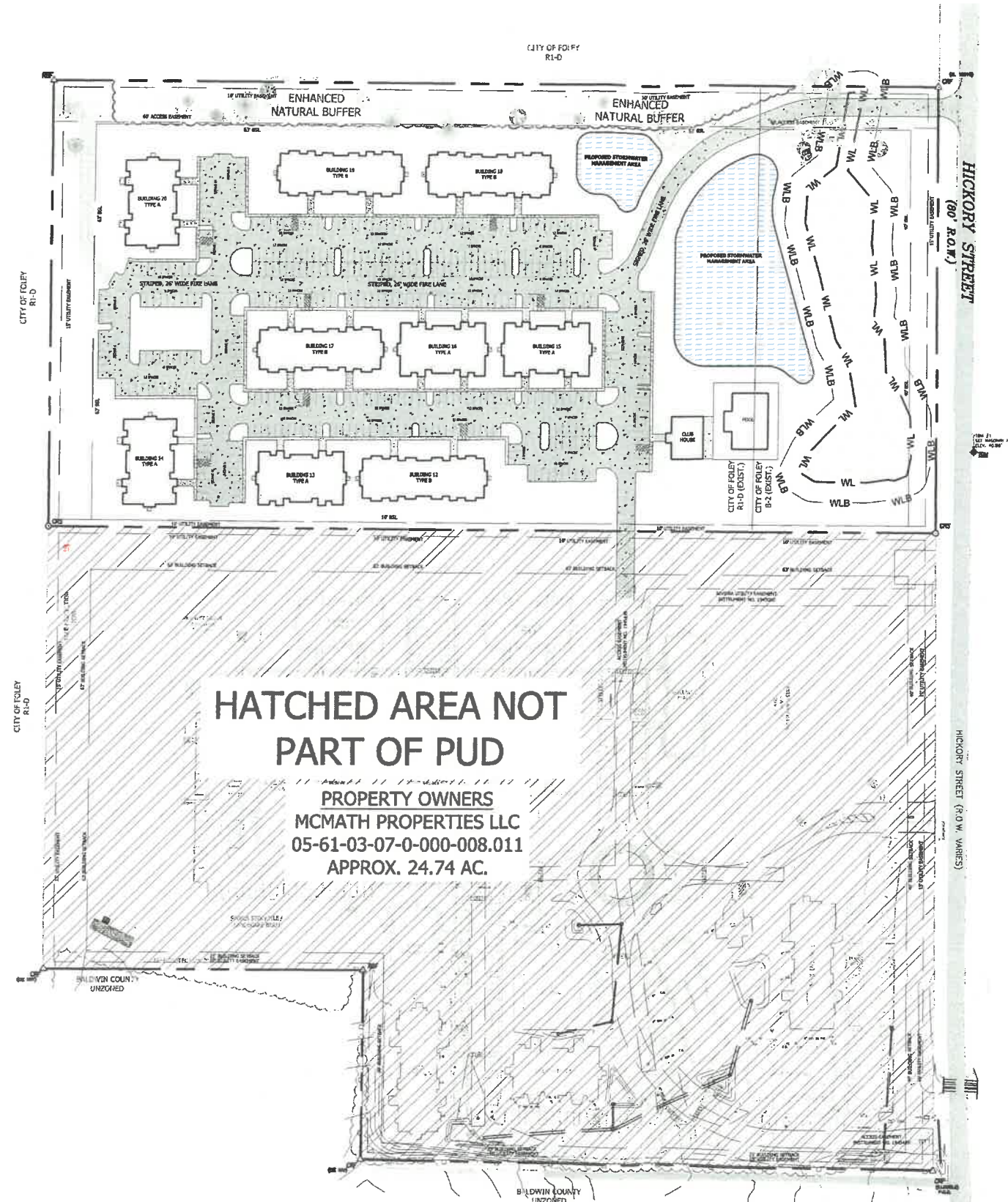
Brad Hall
Fire Inspector
City of Foley
bhall@cityoffoley.org

cc: City of Foley Planning and Zoning



JINRIGHT & ASSOCIATES DEVELOPMENT ENGINEERS
208 Greeno Road N., Ste. C Fairhope, Alabama 36532
P.O. Box 1929 Fairhope, Alabama 36533
Phone: (251) 928-3443 Fax: (251) 928-3665
jadengineers.com

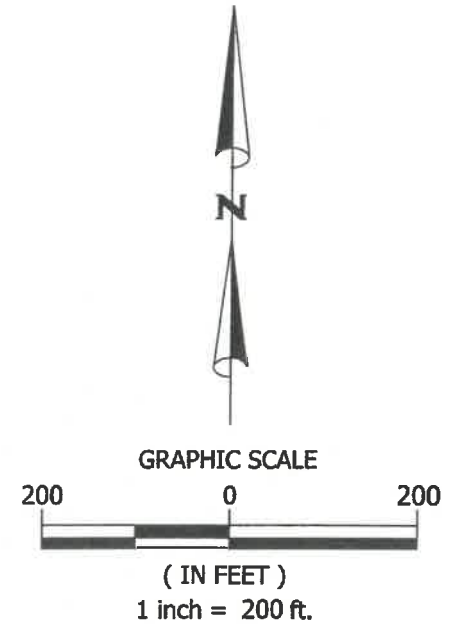
DATE: 1/20/2022



LEGAL DESCRIPTION

STATE OF ALABAMA
COUNTY OF BALDWIN

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 7, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA; THENCE NORTH 00°14'35" WEST A DISTANCE OF 397.45 FEET TO A POINT; THENCE NORTH 89°48'01" WEST A DISTANCE OF 40.00 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR) ON THE WEST MARGIN OF THE RIGHT OF WAY OF HICKORY STREET SOUTH, SAID POINT BEING THE SOUTHEAST CORNER OF LOT 1, MAGNOLIA LANDING, AS RECORDED ON SLIDE 2667-A IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA, THENCE ALONG THE EAST LINE OF SAID LOT 1 AND THE WEST MARGIN OF SAID HICKORY STREET, NORTH 00°14'35" WEST A DISTANCE OF 936.27 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR), SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 1 AND THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED; THENCE CONTINUE NORTH 00°14'35" WEST A DISTANCE OF 651.97 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE DEPARTING SAID WEST MARGIN NORTH 89°36'34" WEST A DISTANCE OF 1,296.92 FEET TO A POINT MARKED BY AN IRON ROD (REBAR); THENCE SOUTH 00°06'37" EAST A DISTANCE OF 651.65 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 89°35'46" EAST A DISTANCE OF 1,298.43 FEET TO THE POINT OF BEGINNING AND CONTAINING 845,792 SQUARE FEET, (19.42 ACRES), MORE OR LESS.



SITE DATA TABLE

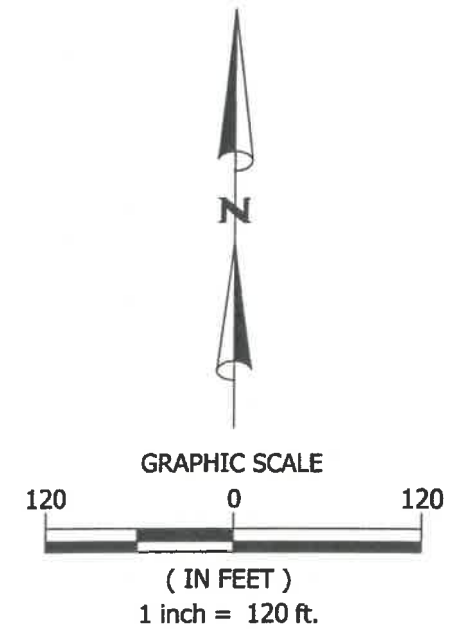
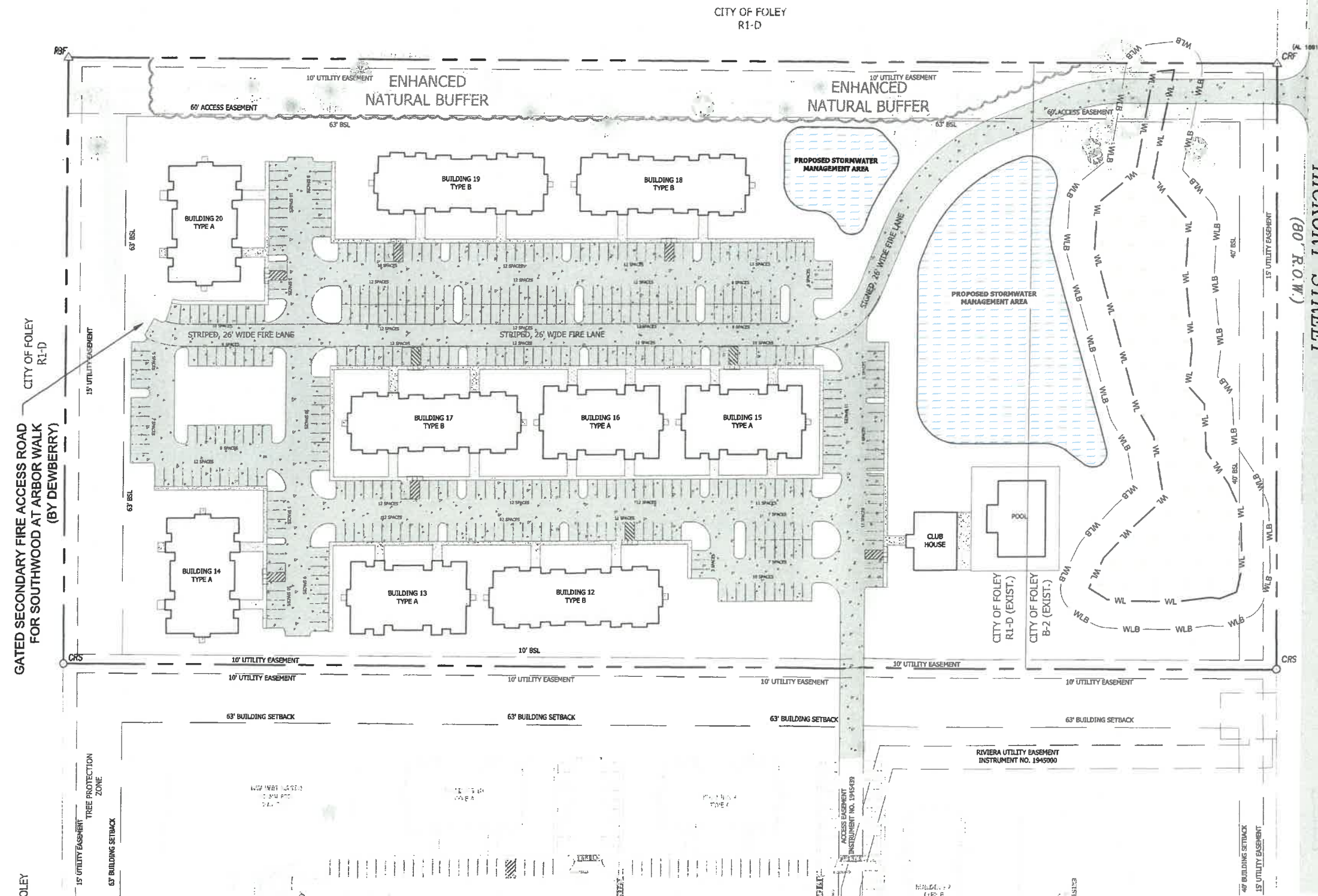
STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FOLEY		
TAX PARCEL ID:	05-61-03-07-0-000-008.004	
EXISTING ZONING:	R1-D (RESIDENTIAL SINGLE-FAMILY) B-2 (NEIGHBORHOOD BUSINESS DISTRICT)	
PROPOSED ZONING:	PUD (PLANNED UNIT DEVELOPMENT)	
TOTAL TRACT ACREAGE:	± 19.42 ACRES	
TOTAL PHASE ACREAGE:	± 19.42 ACRES	
BUILDING DATA:		
	REQUIRED:	PROVIDED:
DENSITY PER ACRE:	MAX. 11 UNITS/ACRE	213 UNITS/19.42 AC = 10.97 UNITS/AC
BUILDING AREA:	MAX. 50%	120,000 SF/845,793 SF = 14.2%
BUILDING HEIGHT:	MAX. 85'	49'-6"
NUMBER OF STORIES:	MAX. 6 STORIES	3 STORIES
PARKING REQUIREMENTS:		
MULTI-FAMILY RESIDENTIAL:	2 SPACES/UNIT 213 UNITS * 2 SPACES/UNIT = 426 SPACES REQUIRED	
PARKING PROVIDED:	435 SPACES (INC. 10 H/C SPACES)	
BUILDING SETBACKS:		
FRONT:	40'	
SIDE:	10' / 63' (ABUTS SINGLE-FAMILY RES.)	
REAR:	15' / 63' (ABUTS SINGLE-FAMILY RES.)	
WETLAND BUFFER:	30'	
COMMON AREA REQUIREMENTS:		
	REQUIRED:	PROVIDED:
TOTAL OPEN SPACE:	25%*19.42 AC=4.86 AC	9.57 ACRES
USEABLE OPEN SPACE:	15%*19.42 AC=2.91 AC	4.62 ACRES

OVERALL SITE PLAN
PROPOSED PLANNED UNIT DEVELOPMENT
MAGNOLIA LANDING APT PH 3
HICKORY ST
FOLEY, AL

2022
Jade
Revised



91

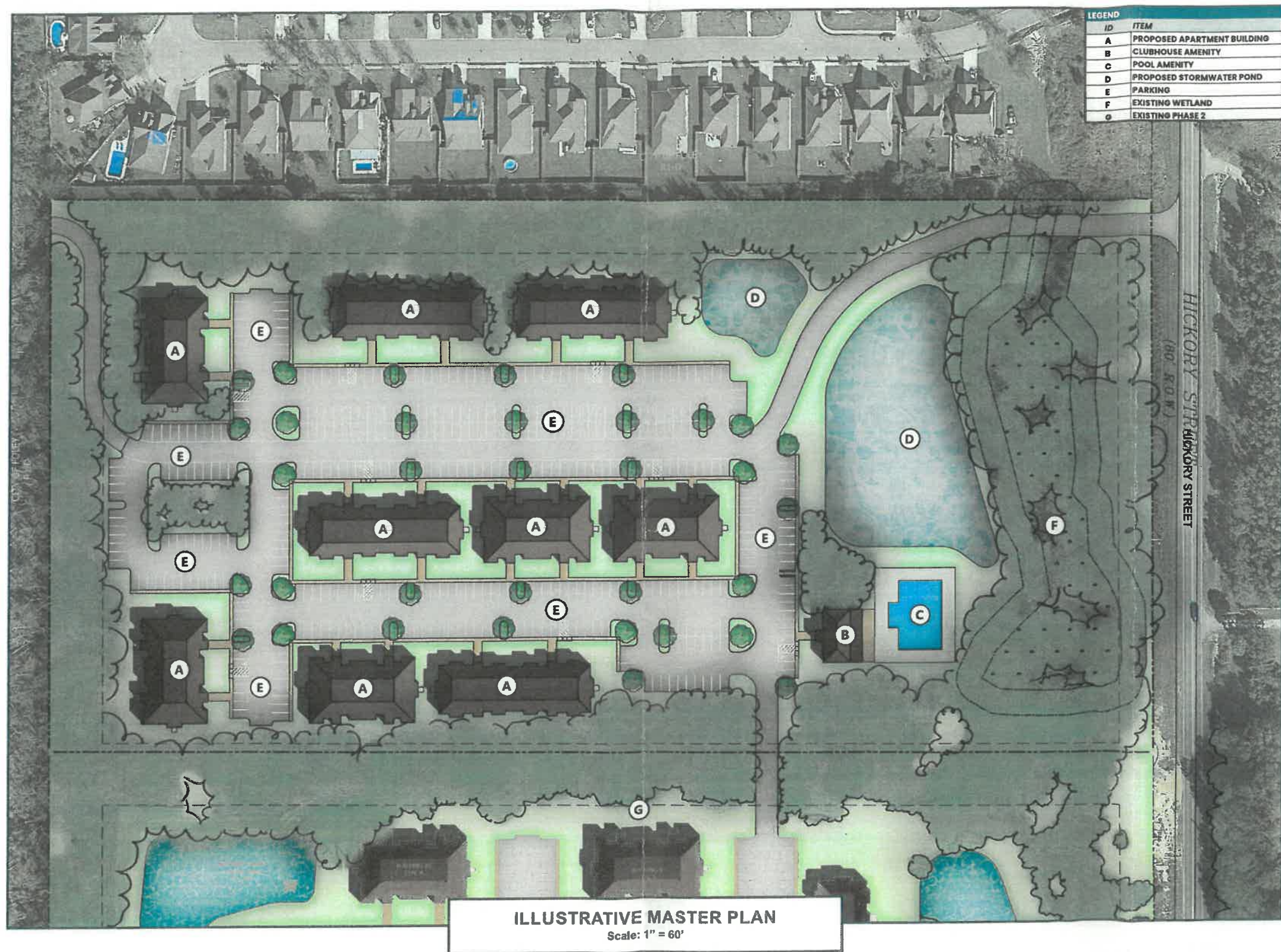


SITE DATA TABLE		
STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FOLEY		
TAX PARCEL ID:	05-61-03-07-0-000-008.084	
EXISTING ZONING:	R1-D (RESIDENTIAL SINGLE-FAMILY) B-2 (NEIGHBORHOOD BUSINESS DISTRICT)	
PROPOSED ZONING:	PUD (PLANNED UNIT DEVELOPMENT)	
TOTAL TRACT ACREAGE:	± 19.42 ACRES	
TOTAL PHASE ACREAGE:	± 19.42 ACRES	
BUILDING DATA:		
	REQUIRED:	PROVIDED:
DENSITY PER ACRE:	MAX. 11 UNITS/ACRE	213 UNITS/19.42 AC = 10.97 UNITS/AC
BUILDING AREA:	MAX. 50%	120,000 SF/845,793 SF = 14.2%
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SIDE:	10' / 63' (ABUTS SINGLE-FAMILY RES.)	
REAR:	15' / 63' (ABUTS SINGLE-FAMILY RES.)	
WETLAND BUFFER:	30'	
COMMON AREA REQUIREMENTS:		
	REQUIRED:	PROVIDED:
TOTAL OPEN SPACE:	25%*19.42 AC=4.86 AC	9.57 ACRES
USEABLE OPEN SPACE:	15%*19.42 AC=2.91 AC	4.62 ACRES

PUD EXHIBIT
PROPOSED PLANNED UNIT DEVELOPMENT
MAGNOLIA LANDING APT PH 3
HICKORY ST
FOLEY, AL

code revised

02



Magnolia Landing Phase 3 - Foley, Alabama

PERMITTING PHASE
01.24.22 | Page 1 of 1
Project Number: 212012-080

was
DESIGN
landscape architects

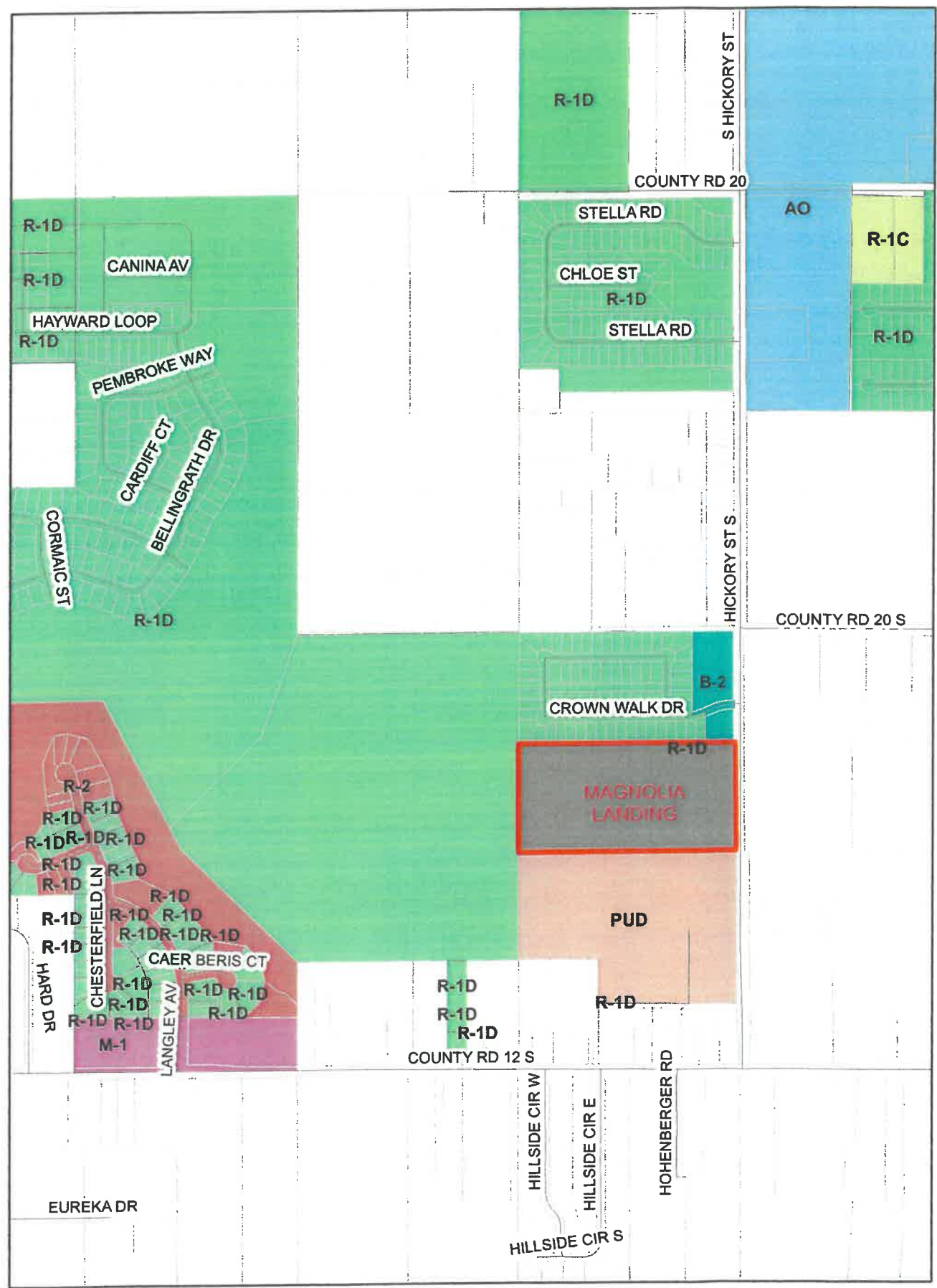
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Revised



Magnolia Landing Adjacents

(93)



PUBLIC NOTICE



The City of Foley Planning Commission has received a request to recommend to Mayor and Council the rezoning of 19 +/- acres. Property is currently zoned B-2 (Neighborhood Business District) and R-1D (Residential Single Family). Proposed zoning is PUD (Planned Unit Development). Property is located W. of Hickory St. and N. of County Rd. 12. Applicant is Jade Consulting.

Anyone interested in this rezoning request maybe heard at a public hearing scheduled for February 16, 2022 in the Council Chambers of City Hall located at 407 W. Laurel Ave. at 5:30 p.m. or may respond in writing to 120 S. McKenzie St., Foley, AL 36535.

Wes Abrams
Planning Commission Chairman

LEGEND	ITEM
A	BACK-IN RV LOTS (187 LOTS)
B	PULL-THRU LOTS (9 LOTS)
C	CLUBHOUSE (6,000 SF)
D	AMENITY POOL (+/- 2,600 SF)
E	ADMIN BUILDING (4,000 SF)
F	GATEWAY ELEMENT SIGNAGE, MAJOR
G	GUARD SHACK
H	BATH HOUSE
I	BUFFER
J	RETAIL SPACE (11,600 SF)
K	RETAIL PARKING (37 SPACES)
L	DUMPS TER
M	RECREATIONAL AMENITY
N	STORMWATER RETENTION
O	STORMWATER DETENTION

PREVIOUS - 02.22.21

RV SITE PUD MODIFICATION SITE DATA	
RV LOTS:	196
AVG RV LOT SIZE:	30' X 60'
MULTIFAMILY/APARTMENT UNITS:	N/A
PROPOSED DENSITY:	7.75 DU/AC
CLUBHOUSE SF:	6,000 SF
ADMIN SF:	4,000 SF
RETAIL SF:	11,600 SF
STORMWATER DETENTION:	177,159 SF (16%)

PUD NARRATIVE:
GRAND RIVIERA RV RESORT IS A PROPOSED RESORT/HOSPITALITY DEVELOPMENT INTENDED TO ACCOMMODATE THE CONTINUALLY GROWING RV MARKET IN OUR AREA. WITH ITS CLOSE PROXIMITY TO THE FOLEY SPORTS TOURISM COMPLEX AND OWA, THIS DEVELOPMENT WILL OFFER ANOTHER LODGING OPPORTUNITY FOR FOLEY'S GUESTS TO ENJOY OUR FINE CITY. BESIDES ITS PROXIMITY TO MANY LOCAL DESTINATIONS, GRAND RIVIERA WILL PROVIDE MANY ONSITE AMENITIES FOR ITS GUESTS, INCLUDING POOL AND RECREATION AMENITIES, WALKING TRAIL, LUSH LANDSCAPING, AND COZY SITES. THE RETAIL SITE WILL OFFER ANOTHER OPPORTUNITY FOR THE CR 20 CORRIDOR TO GROW AS A DESTINATION CORRIDOR IN OUR CITY. PROVIDE JOBS AND RETAIL/OFFICE SQUARE FOOTAGE, AND ADD SALES TAX REVENUE. BEING TUCKED AWAY FROM CR 20, THE GRAND RIVIERA RV RESORT WILL QUIETLY HOST ITS GUESTS ALONG A CORRIDOR THAT IS ALREADY BUILT TO ACCOMMODATE THIS AREA'S GROWTH. THE GRAND RIVIERA RV RESORT WILL FILL A GROWTH MARKET NEED, BE A GREAT COMPLEMENT TO THE SURROUNDING AREA AND FOLEY AS A WHOLE. ALONG WITH THE RV RESORT AS THE PRIMARY DEVELOPMENT, NEW OPPORTUNITIES FOR OUTPARCEL DEVELOPMENT ARE INCLUDED. THE INTENT OF THIS IS TO DIVERSIFY THE POTENTIAL FOR THIS PARCEL TO OPTIMALLY SERVE THE NEEDS OF THE GROWING FOLEY MARKET.

SPECIFIC TO THE ORDINANCE, ADDITIONAL INFORMATION IS ADDRESSED BELOW:

PUBLIC BENEFITS:

- JOB CREATION, DURING CONSTRUCTION AND OPERATION
- SALES AND BED TAX REVENUE
- ADDITIONAL RETAIL SPACE ALONG CR 20
- ATTRACTIVE SIGNAGE ALONG CR 20
- COMPLEMENTS CURRENT DEMAND AND SERVES FOLEY SPORTS TOURISM COMPLEX PATRONS/GUESTS/SPECTATORS
- PRIVATE STREETS, THUS LESSENING MAINTENANCE COSTS TO CITY VS OTHER DEVELOPMENT TYPES
- MULTIPLE EXIT POINTS FROM PROPERTY, THUS IMPROVING AREA TRAFFIC FLOW

PRIVATE BENEFITS:

- HIGH-QUALITY COMMON AMENITIES, SUCH AS POOL, CLUBHOUSE, BOCCIE BALL, HORSESHOES, ETC.
- MULTIMODAL CIRCULATION INCLUDING A WALKING TRAIL AND TRAIN RIDE, WHICH COULD BE CONNECTED TO A BROADER NETWORK WITH PARTNERSHIP(S)
- LUSH LANDSCAPING CREATING PERIMETER BUFFER AND COZY SITES
- PROXIMITY TO LOCAL DESTINATIONS
- PROXIMITY TO ONSITE RETAIL
- ATTRACTIVE CLUBHOUSE ARCHITECTURE AND OTHER LANDSCAPE ARCHITECTURE

SITE LOCATION AND SIZE WITH LEGAL DESCRIPTION:

SURVEY INCLUDED IN APPLICATION SET AS SHEET 3 OF 3.

OWNERSHIP INTERESTS:

DOCUMENTS INCLUDED IN APPLICATION SET.

SITE CONTEXT:

(THE RELATIONSHIP OF THE SITE TO EXISTING DEVELOPMENT IN THE AREA, INCLUDING STREETS, UTILITIES, RESIDENTIAL AND COMMERCIAL DEVELOPMENT, AND PHYSICAL FEATURES OF THE LAND INCLUDING PERTINENT ECOLOGICAL FEATURES) SITE CONTEXT MAP FROM CITY GIS IS INCLUDED AS SHEET 2 OF 3 IN APPLICATION SET.

SITE DATA TABLE:

(THE DENSITY OR INTENSITY OF LAND USE TO BE ALLOCATED TO ALL PARTS OF THE SITE TO BE DEVELOPED TOGETHER WITH TABULATIONS BY ACREAGE AND PERCENTAGES THEREOF.) SEE GRAPHIC AT LEFT.

COMMON INTERESTS:

(THE LOCATION, SIZE AND CHARACTER OF ANY COMMON OPEN SPACE, COMMON OWNED FACILITIES AND THE FORM OF ORGANIZATION PROPOSED TO OWN AND MAINTAIN ANY COMMON OPEN SPACE AND COMMON OWNED FACILITIES.) THE RV RESORT'S LOTS WILL BE SOLD FEE-SIMPLE, THEN MANAGED BY AN ON-SITE RENTAL COMPANY WHICH WILL EXECUTE A RESORT MANAGEMENT TYPE BUSINESS PLAN ON BEHALF OF THE LOT OWNERS. THE COMMON AREAS WILL BE OWNED BY THE PROPERTY OWNERS' ASSOCIATION AND MAINTAINED ON THE POA'S BEHALF BY THE MANAGEMENT COMPANY. THE OTHER PARCELS WILL BE AVAILABLE AND CONVEYED APPROPRIATELY PER MARKET DEMAND.

BUILDINGS:

(THE USE AND TYPE OF BUILDINGS, I.E., SINGLE-FAMILY DETACHED, TOWNHOUSES, OR GARDEN APARTMENTS, PROPOSED FOR EACH PORTION OF THE AREA INCLUDED WITHIN THE OUTLINE DEVELOPMENT PLAN.) THE PROPOSED BUILDINGS ON SITE ARE NOTED ON THE PLAN AND NAMED DESCRIPTIVELY.

FUTURE DEVELOPMENT LOT USES:

THE PROPOSED FUTURE DEVELOPMENT LOTS MAY INCLUDE THE FOLLOWING USES.

- COUNTY ROAD 20 FRONTAGE LOTS: MULTI-FAMILY RESIDENTIAL, NEIGHBORHOOD COMMERCIAL, HOSPITALITY, MIXED-USE, CIVIC & INSTITUTIONAL, **PLACES OF ATTRACTION / AMUSEMENT**
- JAMES ROAD FRONTAGE LOT 4B ALLOWED USES: **LODGING, COMMERCIAL**
- JAMES ROAD FRONTAGE LOTS 6 & 7: PROFESSIONAL OFFICE, MIXED-USE, CIVIC & INSTITUTIONAL

ENGINEERING FEASIBILITY:

(THE ENGINEERING FEASIBILITY AND PROPOSED METHOD OF PROVIDING REQUIRED IMPROVEMENTS SUCH AS STREETS, WATER SUPPLY, AND STORM DRAINAGE AND SEWAGE COLLECTION.) THE PROPOSED DEVELOPMENT WILL BE CONNECTED TO ON EITHER CR20 OR JAMES ROAD. STORM DRAINAGE TO BE HANDLED TO SATISFY CURRENT JURISDICTIONAL REQUIREMENTS.

COVENANTS, ETC.:

(THE SUBSTANCE OF COVENANTS, GRANTS OR EASEMENTS OR OTHER RESTRICTIONS PROPOSED TO BE IMPOSED UPON THE USE OF THE LAND, BUILDINGS AND STRUCTURES INCLUDING PROPOSED EASEMENTS FOR PUBLIC UTILITIES.) GIVEN THE RELATIVE SIMPLICITY OF THE PROJECT, THERE ARE NO MAJOR COVENANTS OR RESTRICTIONS. THE BUSINESSES WILL OPERATE PER STANDARD PRACTICE.

PARKING/PEDESTRIAN ACCOMMODATIONS:

(THE PROVISIONS FOR PARKING VEHICLES AND THE FUNCTION AND LOCATION OF VEHICULAR AND PEDESTRIAN SYSTEM FACILITIES.)

THE RV RESORT PROVIDES AMPLE PAD PARKING, GUEST PARKING ON THE PADS, AND PARKING AT THE AMENITY AREA. PEDESTRIANS WILL WALK ALONG THE WIDE STREETS, PER COMMON PRACTICE PER THIS DEVELOPMENT TYPE. PEDESTRIANS ALSO WILL HAVE A TRAIL SYSTEM THAT WILL CONNECT TO CR20 SIDEWALKS, AND THE ADJACENT MINI-GOLF SITE. THE RETAIL SITE PROVIDES AMPLE PARKING SPACES PER CITY REQUIREMENTS.

OPEN SPACE:

(THE PROVISIONS FOR THE DISPOSITION OF OPEN SPACE INCLUDING ITS DEVELOPMENT OR NON-DEVELOPMENT CHARACTER AND FUNCTION.) OPEN SPACE IS SHOWN GRAPHICALLY ON PLAN FOR THE RV RESORT. % CALCULATIONS ARE INDICATED IN THE SITE DATA TABLE. MINIMUM OPEN SPACE SHALL BE 25% OF THE OVERALL PUD NOT INCLUDING AREAS RESERVED FOR DRAINAGE PURPOSES.

PHASE DEVELOPMENT:

(IN THE CASE OF PLANS WHICH CALL FOR DEVELOPMENT OVER A PERIOD OF YEARS, A SCHEDULE SHOWING THE PROPOSED TIMES WITHIN WHICH APPLICATION FOR FINAL APPROVAL OF ALL SECTIONS OF THE PLANNED UNIT DEVELOPMENT ARE INTENDED TO BE FILED.) THE RV RESORT PORTION OF THE PUD IS INTENDED TO BE BUILT IN ONE PHASE. OTHER PARCELS ARE TBD.

ADDITIONAL INFO:

(ANY ADDITIONAL DATA, PLANS OR SPECIFICATIONS AS THE APPLICANT OR THE CITY MAY BELIEVE ARE PERTINENT TO THE PROPOSED PLANNED UNIT DEVELOPMENT.) NOTHING AT THIS TIME

APPLICATION AND FEES:

INCLUDED AS SEPARATE DOCUMENTATION.

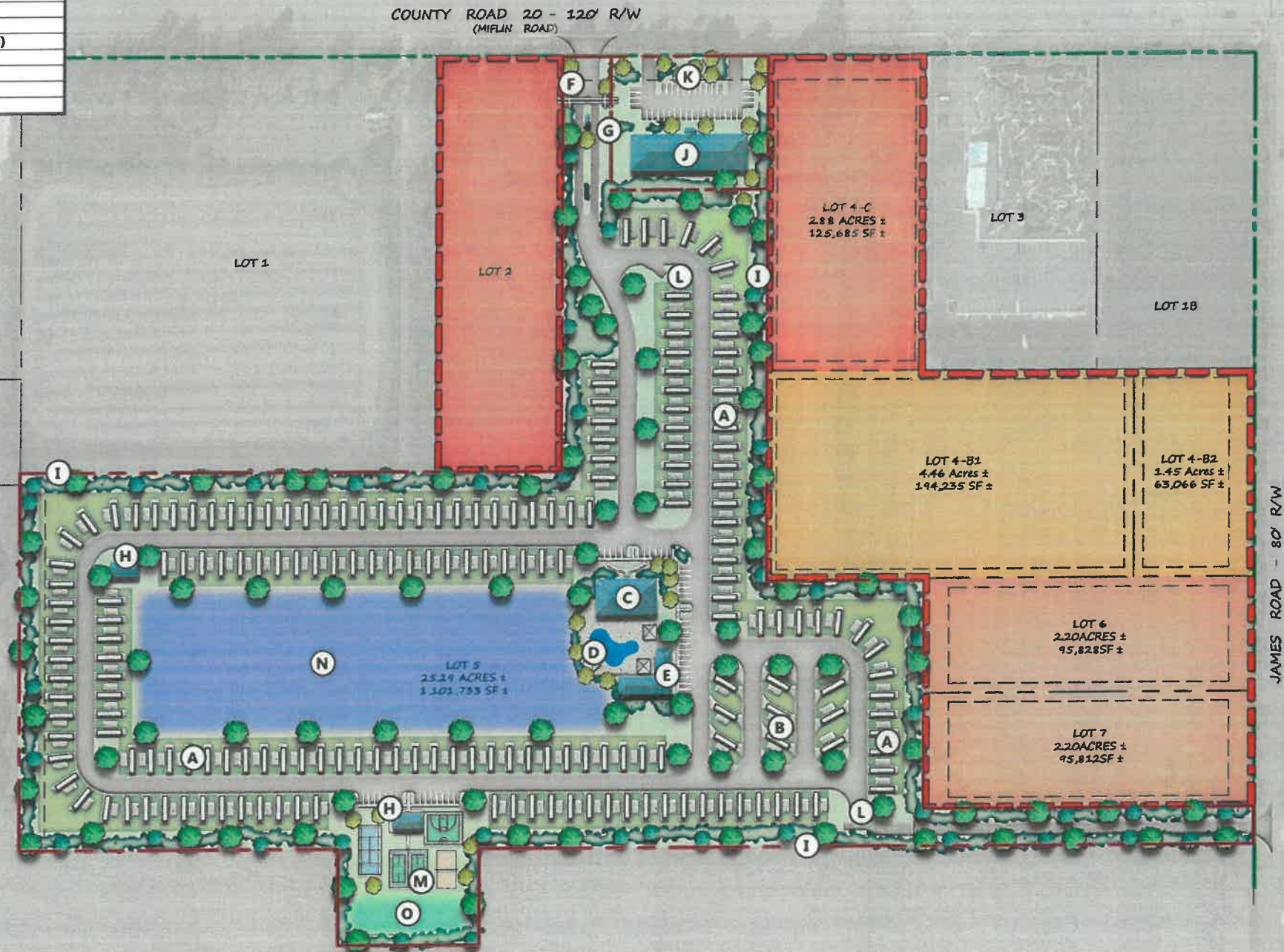
MASTER SIGNAGE PLAN:

(A MASTER SIGNAGE PLAN MEETING THE CRITERIA OF ARTICLE XXI, SECTION 21.7) IN LIEU OF A FULL SIGNAGE PLAN, THE LOCATIONS FOR SIGNAGE ARE NOTED ON THE PLAN.

THE REASON A PLANNED UNIT DEVELOPMENT WOULD BE CONSISTENT WITH THE CITY'S STATEMENT OF PURPOSE ON PLANNED UNIT DEVELOPMENT:

THE MAIN REASON IS THAT THIS IS A MIXED-USE DEVELOPMENT THAT DOES NOT FIT OTHER ZONING CLASSES BECAUSE OF THE RV USE. HOWEVER, WITH THE WEALTH OF OPEN SPACE THAT A DEVELOPMENT OF THIS TYPE PROVIDES, THAT ALSO FITS THE SPIRIT OF THE PUD ORDINANCE WELL.

*HIGHLIGHTED WORDING REPRESENTS CHANGES BASED ON PUD MODIFICATION



PREVIOUS - 02.22.21

Grand Riviera PUD Modification - Foley, Alabama

MASTER PLANNING

02.22.21 | Page 1 of 1

Project Number: 203318-004



LEGEND	
ID	ITEM
A	BACK-TIN RENTS (187 LOTS)
B	PULL-TIM RENTS (9 LOTS)
C	CLUBHOUSE (8,000 SF)
D	AMENITY POOL (+/- 2,800 SF)
E	ADMIN BUILDING (4,000 SF)
F	GATEWAY ELEMENT SIGNAGE, MAJOR
G	GUARD SHAK
H	BATHHOUSE
I	BUFFER
J	RETAIL SPACE (11,800 SF)
K	RETAIL PARKING (37 SPACES)
L	DUMPSITE
M	RECREATIONAL AMENITY
N	STORMWATER RETENTION
O	STORMWATER DETENTION

DRAFT - 01.21.22

PUD MODIFICATION SITE DATA	
RV LOTS:	196
AVG RV LOT SIZE:	30' X 60'
MULTIFAMILY/APARTMENT UNITS:	N/A
PROPOSED DENSITY:	7.75 DU/AC
CLUBHOUSE SF:	6,000 SF
ADMIN SF:	4,000 SF
RETAIL SF:	11,800 SF
STORMWATER DETENTION:	177,159 SF (18%)

PUD NARRATIVE:
GRAND RIVIERA RV RESORT IS A PROPOSED RESORT/HOSPITALITY DEVELOPMENT INTENDED TO ACCOMMODATE THE CONTINUALLY GROWING RV MARKET IN OUR AREA. WITH ITS CLOSE PROXIMITY TO THE FOLEY SPORTS TOURISM COMPLEX AND OWA, THIS DEVELOPMENT WILL OFFER ANOTHER LODGING OPPORTUNITY FOR FOLEY'S GUESTS TO ENJOY OUR FINE CITY. BESIDES ITS PROXIMITY TO MANY LOCAL DESTINATIONS, GRAND RIVIERA WILL PROVIDE MANY ONSITE AMENITIES FOR ITS GUESTS, INCLUDING POOL AND RECREATION AMENITIES, WALKING TRAIL, LUSH LANDSCAPING, AND COZY SITES. THE RETAIL SITE WILL OFFER ANOTHER OPPORTUNITY FOR THE CR 20 CORRIDOR TO GROW AS A DESTINATION CORRIDOR IN OUR CITY, PROVIDE JOBS AND RETAIL/OFFICE SQUARE FOOTAGE, AND ADD SALES TAX REVENUE. BEING TUCKED AWAY FROM CR 20, THE GRAND RIVIERA RV RESORT WILL QUIETLY HOST ITS GUESTS ALONG A CORRIDOR THAT IS ALREADY BUILT TO ACCOMMODATE THIS AREA'S GROWTH. THE GRAND RIVIERA RV RESORT WILL FILL A GROWTH MARKET NEED, BE A GREAT COMPLEMENT TO THE SURROUNDING AREA AND FOLEY AS A WHOLE, ALONG WITH THE RV RESORT AS THE PRIMARY DEVELOPMENT, NEW OPPORTUNITIES FOR OUTPARCEL DEVELOPMENT ARE INCLUDED. THE INTENT OF THIS IS TO DIVERSIFY THE POTENTIAL FOR THIS PARCEL TO OPTIMALLY SERVE THE NEEDS OF THE GROWING FOLEY MARKET.

SPECIFIC TO THE ORDINANCE, ADDITIONAL INFORMATION IS ADDRESSED BELOW:

PUBLIC BENEFITS:

- JOB CREATION, DURING CONSTRUCTION AND OPERATION
- SALES AND BED TAX REVENUE
- ADDITIONAL RETAIL SPACE ALONG CR 20
- ATTRACTIVE SIGNAGE ALONG CR 20
- COMPLEMENTS CURRENT DEMAND AND SERVES FOLEY SPORTS TOURISM COMPLEX PATRONS/GUESTS/SPECTATORS
- PROXIMITY TO LOCAL DESTINATIONS
- PRIVATE STREETS, THUS LESSENING MAINTENANCE COSTS TO CITY VS OTHER DEVELOPMENT TYPES
- MULTIPLE EXIT POINTS FROM PROPERTY, THUS IMPROVING AREA TRAFFIC FLOW

PRIVATE BENEFITS:

- HIGH-QUALITY COMMON AMENITIES, SUCH AS POOL, CLUBHOUSE, BOCCIE BALL, HORSESHOES, ETC.
- MULTI-MODAL CIRCULATION INCLUDING A WALKING TRAIL AND TRAIN RIDE, WHICH COULD BE CONNECTED TO A BROADER NETWORK WITH PARTNERSHIP(S)
- LUSH LANDSCAPING CREATING PERIMETER BUFFER AND COZY SITES
- PROXIMITY TO ONSITE RETAIL
- ATTRACTIVE CLUBHOUSE ARCHITECTURE AND OTHER LANDSCAPE ARCHITECTURE

SITE LOCATION AND SIZE WITH LEGAL DESCRIPTION:

SURVEY INCLUDED IN APPLICATION SET AS SHEET 3 OF 3.

OWNERSHIP INTERESTS:

DOCUMENTS INCLUDED IN APPLICATION SET.

SITE CONTEXT:

(THE RELATIONSHIP OF THE SITE TO EXISTING DEVELOPMENT IN THE AREA, INCLUDING STREETS, UTILITIES, RESIDENTIAL AND COMMERCIAL DEVELOPMENT, AND PHYSICAL FEATURES OF THE LAND INCLUDING PERTINENT ECOLOGICAL FEATURES)
SITE CONTEXT MAP FROM CITY GIS IS INCLUDED AS SHEET 2 OF 3 IN APPLICATION SET.

SITE DATA TABLE:

(THE DENSITY OR INTENSITY OF LAND USE TO BE ALLOCATED TO ALL PARTS OF THE SITE TO BE DEVELOPED TOGETHER WITH TABULATIONS BY ACREAGE AND PERCENTAGES THEREOF)
SEE GRAPHIC AT LEFT.

COMMON INTERESTS:

(THE LOCATION, SIZE AND CHARACTER OF ANY COMMON OPEN SPACE, COMMON OWNED FACILITIES AND THE FORM OF ORGANIZATION PROPOSED TO OWN AND MAINTAIN ANY COMMON OPEN SPACE AND COMMON OWNED FACILITIES.)
THE RV RESORT'S LOTS WILL BE SOLD FEE-SIMPLE, THEN MANAGED BY AN ON-SITE RENTAL COMPANY WHICH WILL EXECUTE A RESORT MANAGEMENT TYPE BUSINESS PLAN ON BEHALF OF THE LOT OWNERS. THE COMMON AREAS WILL BE OWNED BY THE PROPERTY OWNERS' ASSOCIATION AND MAINTAINED ON THE POA'S BEHALF BY THE MANAGEMENT COMPANY. THE OTHER PARCELS WILL BE AVAILABLE AND CONVEYED APPROPRIATELY PER MARKET DEMAND.

BUILDINGS:

(THE USE AND TYPE OF BUILDINGS, I.E., SINGLE-FAMILY DETACHED, TOWNHOUSES, OR GARDEN APARTMENTS, PROPOSED FOR EACH PORTION OF THE AREA INCLUDED WITHIN THE OUTLINE DEVELOPMENT PLAN.)
THE PROPOSED BUILDINGS ON SITE ARE NOTED ON THE PLAN AND NAMED DESCRIPTIVELY.

FUTURE DEVELOPMENT LOT USES:

THE PROPOSED FUTURE DEVELOPMENT LOTS MAY INCLUDE THE FOLLOWING USES.

- COUNTY ROAD 20 FRONTAGE LOTS: MULTI-FAMILY RESIDENTIAL, NEIGHBORHOOD COMMERCIAL, HOSPITALITY, MIXED-USE, CIVIC & INSTITUTIONAL, PLACES OF ATTRACTION / AMUSEMENT
- JAMES ROAD FRONTAGE LOT 4B ALLOWED USES: LODGING, COMMERCIAL
- JAMES ROAD FRONTAGE LOTS 6 & 7: PROFESSIONAL OFFICE, MIXED-USE, CIVIC & INSTITUTIONAL

ENGINEERING FEASIBILITY:

(THE ENGINEERING FEASIBILITY AND PROPOSED METHOD OF PROVIDING REQUIRED IMPROVEMENTS SUCH AS STREETS, WATER SUPPLY, AND STORM DRAINAGE AND SEWAGE COLLECTION.)
STREETS ARE TO BE PRIVATELY OWNED. WATER, SEWER AND ELECTRIC TO BE CONNECTED TO ON EITHER CR20 OR JAMES ROAD. STORM DRAINAGE TO BE HANDLED TO SATISFY CURRENT JURISDICTIONAL REQUIREMENTS.

COVENANTS, ETC.:

(THE SUBSTANCE OF COVENANTS, GRANTS OR EASEMENTS OR OTHER RESTRICTIONS PROPOSED TO BE IMPOSED UPON THE USE OF THE LAND, BUILDINGS AND STRUCTURES INCLUDING PROPOSED EASEMENTS FOR PUBLIC UTILITIES.)
GIVEN THE RELATIVE SIMPLICITY OF THE PROJECT, THERE ARE NO MAJOR COVENANTS OR RESTRICTIONS. THE BUSINESSES WILL OPERATE PER STANDARD PRACTICE.

PARKING/PEDESTRIAN ACCOMMODATIONS:

(THE PROVISIONS FOR PARKING VEHICLES AND THE FUNCTION AND LOCATION OF VEHICULAR AND PEDESTRIAN SYSTEM FACILITIES.)

THE RV RESORT PROVIDES AMPLE PAD PARKING, GUEST PARKING ON THE PADS, AND PARKING AT THE AMENITY AREA. PEDESTRIANS WILL WALK ALONG THE WIDE STREETS, PER COMMON PRACTICE PER THIS DEVELOPMENT TYPE. PEDESTRIANS ALSO WILL HAVE A TRAIL SYSTEM THAT WILL CONNECT TO CR20 SIDEWALKS, AND THE ADJACENT MINI-GOLF SITE. THE RETAIL SITE PROVIDES AMPLE PARKING SPACES PER CITY REQUIREMENTS.

OPEN SPACE:

(THE PROVISIONS FOR THE DISPOSITION OF OPEN SPACE INCLUDING ITS DEVELOPMENT OR NON-DEVELOPMENT CHARACTER AND FUNCTION.)

OPEN SPACE IS SHOWN GRAPHICALLY ON PLAN FOR THE RV RESORT. % CALCULATIONS ARE INDICATED IN THE SITE DATA TABLE. MINIMUM OPEN SPACE SHALL BE 25% OF THE OVERALL PUD NOT INCLUDING AREAS RESERVED FOR DRAINAGE PURPOSES.

PHASE DEVELOPMENT:

(IN THE CASE OF PLANS WHICH CALL FOR DEVELOPMENT OVER A PERIOD OF YEARS, A SCHEDULE SHOWING THE PROPOSED TIMES WITHIN WHICH APPLICATION FOR FINAL APPROVAL OF ALL SECTIONS OF THE PLANNED UNIT DEVELOPMENT ARE INTENDED TO BE FILED.)

THE RV RESORT PORTION OF THE PUD IS INTENDED TO BE BUILT IN ONE PHASE. OTHER PARCELS ARE TBD.

ADDITIONAL INFO:

(ANY ADDITIONAL DATA, PLANS OR SPECIFICATIONS AS THE APPLICANT OR THE CITY MAY BELIEVE ARE PERTINENT TO THE PROPOSED PLANNED UNIT DEVELOPMENT)
NOTHING AT THIS TIME

APPLICATION AND FEES:

INCLUDED AS SEPARATE DOCUMENTATION.

MASTER SIGNAGE PLAN:

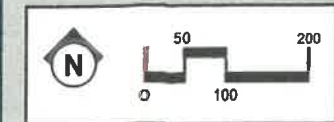
(A MASTER SIGNAGE PLAN MEETING THE CRITERIA OF ARTICLE XXI, SECTION 21.7)

IN LIEU OF A FULL SIGNAGE PLAN, THE LOCATIONS FOR SIGNAGE ARE NOTED ON THE PLAN.

THE REASON A PLANNED UNIT DEVELOPMENT WOULD BE CONSISTENT WITH THE CITY'S STATEMENT OF PURPOSE ON PLANNED UNIT DEVELOPMENT.

THE MAIN REASON IS THAT THIS IS A MIXED-USE DEVELOPMENT THAT DOES NOT FIT OTHER ZONING CLASSES BECAUSE OF THE RV USE. HOWEVER, WITH THE WEALTH OF OPEN SPACE THAT A DEVELOPMENT OF THIS TYPE PROVIDES, THAT ALSO FITS THE SPIRIT OF THE PUD ORDINANCE WELL.

***HIGHLIGHTED WORDING REPRESENTS CHANGES BASED ON PUD MODIFICATION**



PROPOSED MASTER PLAN UPDATE
SCALE: 1" = 100'

DRAFT - 01.21.22

Grand Riviera PUD Modification - Foley, Alabama

MASTER PLANNING

01.21.22 | Page 2 of 2

Project Number: 213211-018



DRAFT

A Townhouse Development
Las Colinas Apartments 100 Units

"2B"	100 each
	100 total
UNIT	2 Bdrm 3 Bath
GROSS SF - HEATED AND COOLED	1,188 sf
FRONT PORCH	78 sf
TOTAL:	1,266 sf
TOTAL GROSS H/C sf:	126,600 sf

PARKING REQUIRED:	2 / UNIT = 200 spaces
PARKING PROVIDED:	200 spaces
PARKING SPACES SIZE:	10' X 20'

Garages	2
AVERAGE ENCLOSED SPACE	sf
TOTAL:	sf

Carports	4
AVERAGE ENCLOSED SPACE	sf
TOTAL:	sf

ACRES:	8.7
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revision log:		
no.	date	remarks

Las Colinas
Active Living Townhomes
JAMES ROAD - FOLEY, ALABAMA

professional seal:



released for:	review	_____
	permitting	_____
	construction	_____

Architect

HRG
DESIGN
BUILD
SOLUTIONS
P.O. BOX 1436
FAIRHOPE, AL 36533
251.751.6383
jeffhudson@hrgdesignbuild.com

job number:

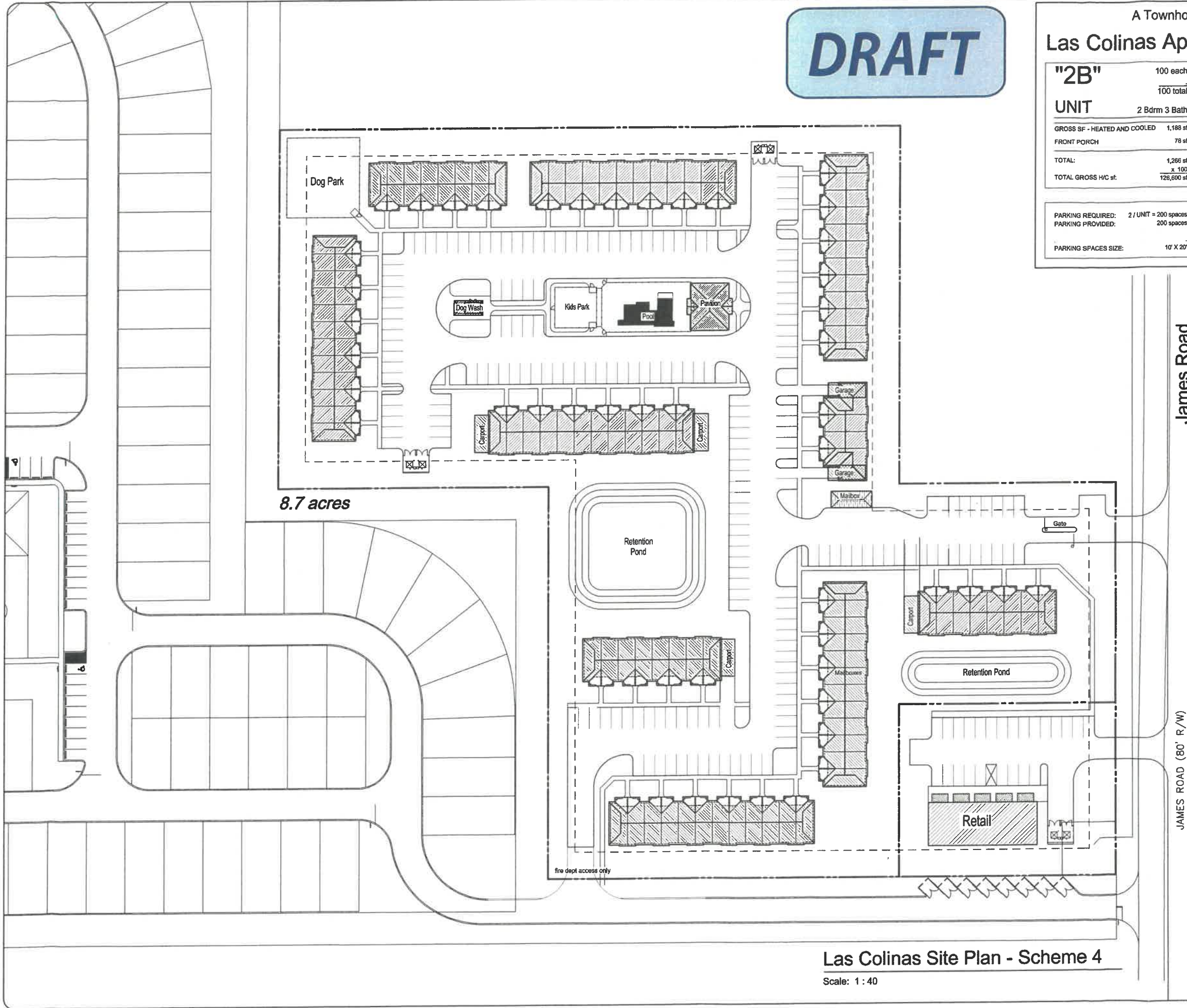
2126

date:

11 JAN 22

sheet title & no.

Sch4



Las Colinas Site Plan - Scheme 4
Scale: 1 : 40



(98)
New
Business
#9

**AMEND "SECTION 4.2 E. EXEMPTIONS FROM SUBDIVISION
REQUIREMENTS" TO READ AS FOLLOWS:**

"E. The division of land wherein the size of each and every resulting parcel of land equals or exceeds ten (10) acres and involves no street or other public improvements. Each parcel shall have frontage on a publically maintained right-of-way;"

99

PUBLIC NOTICE

The City of Foley Planning Commission will hold a Public Hearing on proposed amendments to the City of Foley Subdivision Regulations. The amendments are available for review at City Hall, Library and Community Development Department.

Anyone having interest in the approval of the changes may be heard at a public hearing scheduled for February 16, 2022 in the Council Chambers of City Hall (407 E. Laurel Ave.) at 5:30 p.m. or may respond in writing to 120 S. McKenzie St., Foley, AL 36535.

Wes Abrams
Planning Commission Chairman

RESOLUTION IMPOSING MORATORIUM ON
SUBDIVISION EXEMPTION APPROVALS

(100)
New
Business #10

WHEREAS, the Foley Subdivision Regulations provide for several different types of subdivisions to be approved by staff members as meeting one or more of the exemptions found in Section 4.2 of the Foley Subdivision Regulations; and

WHEREAS, the Planning Commission of the City of Foley desires to make various amendments to the subdivision exemptions currently found in Section 4.2; and

WHEREAS, the City of Foley Planning Commission does not want to see a flurry of applications for subdivision exemptions to be processed under the old rules while the new rules are being openly considered and debated; and

WHEREAS, applicants for subdivisions or what would previously be considered administratively as exempt subdivisions can still be processed through the formal, Planning Commission subdivision approval process;

NOW, THEREFORE, be it resolved by the Planning Commission of the City of Foley as follows:

1. That no subdivision exemptions under Section 4.2 of the Foley Subdivision Regulations shall be processed or approved until the Planning Commission has finished making changes to these subdivision exemptions and this moratorium is expressly lifted by the Foley Planning Commission. Applicants who might otherwise have applied for and received a subdivision exemption during the period of this moratorium may apply for subdivision approval through the formal Planning Commission channels, and they will be governed by the normal subdivision regulations (not the exemption terms); provided, however, that the application fee for the formal subdivision approval will be waived.

2. That this moratorium on the approval of subdivision exemptions is effective immediately and will last until it is expressly repealed by the Planning Commission following its review and adoption of new subdivision exemption regulations.

DONE THIS _____ DAY OF _____, 2022.

Chairman, Foley Planning Commission