

**CITY OF FOLEY
PLANNING COMMISSION**

**WORK SESSION
April 12, 2023
City Hall
Council Chambers
At 5:30 p.m.**

&

**MEETING
April 19, 2023
City Hall
Council Chambers
At 5:30 p.m.**

**PLANNING COMMISSION
WORK SESSION AGENDA APRIL 12, 2023
&
MEETING AGENDA APRIL 19, 2023
(Council Chambers of City Hall) 5:30 P.M.**

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The City of Foley Planning Commission will hold a work session on April 12, 2023 at 5:30 p.m. and a meeting on April 19, 2023 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

MINUTES:

Approval of the March 8, 2023 and March 15, 2023 meeting minutes.

AGENDA ITEMS:

1. William Crosby Duplex- Site Plan Review

The City of Foley Planning Commission has received a request for a site plan review for a duplex. Property is located W. of S. Juniper St. and S. of E. Michigan Ave. Applicant is William Crosby.

Planning Commission Action:

2. Crosby Properties Duplex- Site Plan Review

The City of Foley Planning Commission has received a request for a site plan review for a duplex. Property is located W. of S. Juniper St. and S. of E. Michigan Ave. Applicant is Crosby Properties LLC.

Planning Commission Action:

3. CGHC LLC (Lot 22) Duplex- Site Plan Review

The City of Foley Planning Commission has received a request for a site plan review for a duplex. Property is located W. of S. Elm St. and S. of W. Laurel Ave. Applicant is CGHC LLC.

Planning Commission Action:

4. CGHC LLC (Lot 23) Duplex- Site Plan Review

The City of Foley Planning Commission has received a request for a site plan review for a duplex. Property is located W. of S. Elm St. and S. of W. Laurel Ave. Applicant is CGHC LLC.

Planning Commission Action:

5. Goodwill- Site Plan Review

The City of Foley Planning Commission has received a request for a site plan review for Goodwill. Property is located S. of E. Azalea Ave. and E. of S. McKenzie St. Applicant is Piedmont Companies for Goodwill Gulf Coast.

Planning Commission Action:

Note: *Denotes property located in the Planning Jurisdiction

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6. Cobblestone Hotel & Suites- Site Plan Review

The City of Foley Planning Commission has received a request for a site plan review for Cobblestone Hotel & Suites. Property is located at the NE corner of Mifflin Rd. and Koniar Way. Applicant is Excel.

Planning Commission Action:**7. City of Foley Public Works- Site Plan Review**

The City of Foley Planning Commission has received a request for a site plan review for the City of Foley Public Works. Property is located at the SE corner of N. Poplar St. and E. Section Ave. Applicant is the City of Foley.

Planning Commission Action:**8. Resub of Lots 1-10 of Magnolia Land Co Addition to Foley- Request for Exempt/Minor Subdivision**

The City of Foley Planning Commission has received a request for approval of the Resub of Lots 1-10 of Magnolia Land Co Addition to Foley, an exempt/minor subdivision which consists of .72 +/- acres and 2 lots. Property is located at 307 S. McKenzie St. Applicant is Engineering Design Group.

Planning Commission Action:**9. Resubdivision of Lot 1B Old Time Pottery- Request for Minor Subdivision**

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 1B Old Time Pottery, a minor subdivision which consist of 1.55 +/- acres and 2 lots. Property is located E. of State Hwy. 59 and S. of Keller Rd. Applicant is Broco Foley LLC.

Public Hearing:**Planning Commission Action:****10. Last Resort- Request for Preliminary**

The City of Foley Planning Commission has received a request for preliminary approval of Last Resort which consists of 5.74 +/- acres and 38 lots. Property is located S. of County Rd. 20 and E. of James Rd. Applicant is Next to Last, LLC.

Public Hearing:**Planning Commission Action:**

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11. Young Properties- Request for Minor

The City of Foley Planning Commission has received a request for approval of Young Properties, a minor subdivision which consist of 6.54 +/- acres and 2 lots. Property is located W. of State Hwy. 59 and S. of County Rd. 20 S. Applicant is Charles Rosser.

Public Hearing:

Planning Commission Action:

12. Turf Properties LLC- Request for Rezoning

The City of Foley Planning Commission has received a request for to recommend to the Mayor and Council the rezoning of 619 +/- acres. Proposed zoning is PID (Planned Industrial District). Property is located S. of County Rd. 26 and W. of County Rd. 65. Applicant is Turf Properties LLC.

Public Hearing:

Planning Commission Action:

13. Zoning Ordinance- Amendments

The City of Foley Planning Commission has received a request to recommend Zoning Ordinance Amendments to the Mayor and Council.

Public Hearing:

Planning Commission Action:

WORK SESSION ONLY:

14. Zoning Ordinance- Amendments

Discussion only

ADJOURN:

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**PLANNING COMMISSION
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The City of Foley Planning Commission held a work session on March 8, 2023 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Larry Engel, Ralph Hellmich, Wes Abrams, Calvin Hare, Bill Swanson and Tommy Gebhart. Absent members were: Vera Quaites, Deborah Mixon and Phillip Hinesley. Staff present were: Miriam Boone, City Planner; Chad Christian, City Engineer; Angie Eckman, Environmental Manager; Eden Lapham, Planner 1; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

AGENDA ITEMS:

1. Southwood at Arborwalk Phase 1- Request for 2 year Preliminary Extension

The City of Foley Planning Commission has received a 2 year preliminary extension request for Southwood at Arborwalk Phase 1. Property is located N. of County Rd. 12 & S. of Hickory St. Applicant is Dewberry Engineers Inc.

Mrs. Miriam Boone explained agenda items 1, 2, 3 are extension requests for different phases of Southwood at Arborwalk. She stated this is the first preliminary extension request for the subdivision.

Commissioner Hellmich stated the Commission would like to approve a one year extension and if the phases are not complete at that time another request can be made.

Mr. Allister Finley with Dewberry Engineers stated a one year extension would be sufficient for phases 1 & 2. He explained he is unsure of the expected start date at this time for phase 3.

Commissioners agreed to a one year extension for agenda items 1, 2 and 3.

2. Southwood at Arborwalk Phase 2- Request for 2 year Preliminary Extension

The City of Foley Planning Commission has received a 2 year preliminary extension request for Southwood at Arborwalk Phase 2. Property is located N. of County Rd. 12 & S. of Hickory St. Applicant is Dewberry Engineers Inc.

Item was discussed with agenda item 1.

3. Southwood at Arborwalk Phase 3- Request for 2 year Preliminary Extension

The City of Foley Planning Commission has received a 2 year preliminary extension request for Southwood at Arborwalk Phase 3. Property is located N. of County Rd. 12 & S. of Hickory St. Applicant is Dewberry Engineers Inc.

Item was discussed with agenda item 1.

4. Roberts Cove- Request for 4 year Preliminary Extension

The City of Foley Planning Commission has received a 4 year preliminary extension request for the remaining phases of Roberts Cove. Property is located at the SE corner of County Rd. 12 and the Foley Beach Express. Applicant is Engineering Design Group Inc.

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Mr. David Diciara with Engineering Design Group stated phase 1 has been completed and phase 2 will begin in the next few months. He explained due to the size of the project it will be approximately 4 years before all phases are completed. He stated the developers are requesting the 4 year extension to provide them some level of comfort in the completion of the project.

Commissioner Hellmich stated extensions are normally granted in one year increments. He explained that allows the Commissioners to review the request and consider if any changes have been made to the regulations.

Mr. Diciara stated the project has been designed and a Land Disturbance Permit has been issued for the entire subdivision. He explained the dilemma is they are working to build out the entire. He stated they were honest and did advise the Commission all phases would take approximately 5 years for completion. He explained they are ahead of schedule. He stated the one year extension makes it hard knowing there could potentially be some changes required that they may not be able to meet by the time they get to the last phase.

Commissioner Hellmich explained he would prefer to maintain consistency and have them come back after a year and provide the Commission with a status report with the next extension request. He stated he understands the concern but no one knows what the future holds.

5. *Bailey Dillon Line Shift- Request for Minor/Exempt Subdivision

The City of Foley Planning Commission has received a request for approval of the Bailey Dillon Line Shift, a minor/exempt subdivision that consists of 22.71 +/- acres and 2 lots. Property is located E. of County Rd. 65 and S. of County Rd. 26 and is located in the City of Foley Planning Jurisdiction. Applicant is Michele Bailey.

Mrs. Boone explained the property is located in Baldwin County unzoned District 34. She stated staff's only comment was requesting the septic tanks and lines to be shown on the plat.

Mr. Christian stated the comments regarding septic tanks and lines have been addressed.

6. Pedro Subdivision- Request for Minor/Exempt Subdivision

The City of Foley Planning Commission has received a request for approval of Pedro Subdivision, a minor/exempt subdivision that consists of 10 +/- acres and 2 lots. Property is located S. of Breckner Rd. and E. of Bodenhamer Rd. Applicant is Weygand Wilson Surveying Inc.

Commissioner Hellmich asked if a response was received regarding staff comments concerning the sewer service.

Staff stated the applicant was sent a copy of the staff report and a response has not been received from the applicant.

Mrs. Boone stated staff will follow up with the applicant regarding the sewer service.

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7. *HossCat's Place- Request for Minor Subdivision

The City of Foley Planning Commission has received a request for approval of HossCat's Place, a minor subdivision that consists of 8.8 +/- acres and 2 lots. Property is located at the SW corner of Charolais Rd. and County Rd. 65 and is located in the City of Foley Planning Jurisdiction. Applicant is Daniel Scott Johnston.

Mrs. Boone explained the property is located in unzoned Baldwin County and staff is recommending approval.

Commissioner Hellmich stated the staff report commented structures are already in existence on the proposed lot 2. He asked what type of structures are located on the lot.

Commissioner Gebhart stated lot 2 contains boat and rv storage.

8. Lot 1A, 1B & 7 of the Resubdivision of Lot 1 of the Replat of Woerner's Two Lots- Request for Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Lot 1A, 1B & 7 of the Resubdivision of Lot 1 of the Replat of Woerner's Two Lots, a minor subdivision which consists of 60.14 +/- acres and 3 lots. Property is located E. of S. McKenzie St. and S. of County Rd. 20. Applicant is Woerner Land, LLC.

Mrs. Boone explained the property is zoned B-1A and is located S. of the Juniper Street extension.

Commissioner Hellmich asked if the detention will be located in the common area.

Ms. Amanda Thompson with Goodwyn Mills and Caywood stated the common area is existing and the detention will have to be handled on the site.

Mrs. Boone explained they are in the process of naming the streets.

Commissioner Hellmich stated the city would ultimately like to take over the maintenance of the spine road due to it providing access to County Rd. 20.

9. Grand Riviera Phase 1 a Resubdivision of Lot 5 Little Woerner Subdivision- Request for Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Grand Riviera Phase 1 a Resubdivision of Lot 5 Little Woerner Subdivision, a minor subdivision which consists of 25.29 +/- acres and 2 lots. Property is located S. of County Rd. 20 and W. of James Rd. Applicant is Weygand Wilson Surveying LLC.

Mrs. Boone explained her comment on the staff report regarding the naming convention has been addressed since this was a request for a minor subdivision and not a PUD modification.

Mr. Chad Christian stated his comments were also addressed and revisions were received by staff.

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10. Darby Subdivision/City of Foley- Request for Minor

The City of Foley Planning Commission has received a request for approval of Darby Subdivision, a minor subdivision which consists of 23 +/- acres and 2 lots. Property is located E. of the Foley Beach Express and S. of Industrial Parkway. Applicant is The City of Foley.

Mrs. Boone stated the access road will need to be named for addressing purposes but can be done at a later date.

11. Riverside at Arborwalk Phase 3- Request for Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 1.26 +/- acres. Current zoning is M-1 (Light Industrial District). Proposed zoning is R-1D (Residential Single Family). Property is located E. of County Rd. 65 and S. of Pencarro Blvd. Applicant is Dewberry Engineers, Inc.

Mrs. Boone stated a portion of the property located within the subdivision is zoned M-1. She explained the original applicant was told at the time of the preliminary approval a rezoning would need to be done. She stated individuals are no longer with the original firm and the current applicant was unaware of the required rezoning. She explained the requested R-1D zoning will match the existing zoning in the subdivision. She explained the rezoning will need to be in place before the final plat approval is issued.

12. *Foley Crossings- Request for Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Foley Crossings which consists of 66.18 +/- acres and 18 lots. Property is located at the NE corner of County Rd. 65 and County Rd. 26 and is located in the City of Foley Planning Jurisdiction. Applicant is Smith Clark and Associates, LLC.

Mrs. Boone explained the property is located in Baldwin County District 34 and staff is recommending approval.

13. Wolf Ridge- Request for Prezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the prezoning of 43.44 +/- acres. Proposed zoning is PUD (Planned Unit Development). Property is located N. of County Rd. 12 and E. and W. of Clarke Ridge Rd. Applicant is Creek Ridge LLC.

Mrs. Boone stated the applicant has filed a petition for annexation. She explained the development has 23.37% open space which is slightly less than the required 25%. She stated the development will include walking trails and a boat and RV storage space.

Chairman Abrams asked about the location for the access to the lot being used for the RV and Boat storage.

Mr. Green stated the access will be on the eastern side of the lot.

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Mrs. Boone stated in the staff report the Floodplain manager has requested that the plat show the flood zone area separate from the buildable area.

Mr. Green explained there are three lots which contain flood and the area is indicated on the plat. He stated he has been working with the sewer providers and has correspondences regarding availability.

Mr. Christian stated the sewer provider will have to be determined before the preliminary plat can be approved.

Commissioner Swanson asked about the design of the storage area.

Mr. Green stated there will be a landscaped buffer around the storage area. He explained they have not determined if the area will be open or enclosed. He stated the type of storage will be determined by the demand.

ADJOURN:

Meeting adjourned at 6:11 p.m.

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The City of Foley Planning Commission held a meeting on March 15, 2023 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Deborah Mixon, Ralph Hellmich, Wes Abrams, Calvin Hare and Tommy Gebhart. Absent members were: Bill Swanson, Larry Engel, Vera Quaites and Phillip Hinesley. Staff present were: Miriam Boone, City Planner; Chad Christian, City Engineer; Angie Eckman, Environmental Manager; Eden Lapham, Planner 1; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

Chairman Wes Abrams called the meeting to order at 5:30p.m.

MINUTES:

Approval of the February 8, 2023 and February 15, 2023 meeting minutes.

Commissioner Gebhart made a motion to approve the February 8, 2023 and February 15, 2023 meeting minutes. Commissioner Hare seconded the motion. All Commissioners voted aye.

Motion to approve the February 8, 2023 and February 15, 2023 meeting minute's passes.

AGENDA ITEMS:

1. Southwood at Arborwalk Phase 1- Request for 2 year Preliminary Extension

The City of Foley Planning Commission has received a 2 year preliminary extension request for Southwood at Arborwalk Phase 1. Property is located N. of County Rd. 12 & S. of Hickory St. Applicant is Dewberry Engineers Inc.

Planning Commission Action:

Chairman Abrams stated agenda items 1, 2 and 3 will be combined due to them being all within the same subdivision.

2. Southwood at Arborwalk Phase 2- Request for 2 year Preliminary Extension

The City of Foley Planning Commission has received a 2 year preliminary extension request for Southwood at Arborwalk Phase 2. Property is located N. of County Rd. 12 & S. of Hickory St. Applicant is Dewberry Engineers Inc.

Planning Commission Action:

Agenda items 1, 2 and 3 were combined.

3. Southwood at Arborwalk Phase 3- Request for 2 year Preliminary Extension

The City of Foley Planning Commission has received a 2 year preliminary extension request for Southwood at Arborwalk Phase 3. Property is located N. of County Rd. 12 & S. of Hickory St. Applicant is Dewberry Engineers Inc.

Planning Commission Action:

Commissioner Hellmich made a motion to approve a one year preliminary extension for Phases 1, 2 and 3. Commissioner Hare seconded the motion.

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Chairman Abrams stated the length of one year is consistent with previous approvals issued by the Commission.

Motion to approve a one year preliminary extension for Phases 1, 2 and 3 passes.

4. Roberts Cove- Request for 4 year Preliminary Extension

The City of Foley Planning Commission has received a 4 year preliminary extension request for the remaining phases of Roberts Cove. Property is located at the SE corner of County Rd. 12 and the Foley Beach Express. Applicant is Engineering Design Group Inc.

Planning Commission Action:

Commissioner Hellmich made a motion to approve a one year preliminary extension. Commissioner Gebhart seconded the motion.

Commissioner Hellmich stated the Commissioners recognize that the subdivision will take more than a year to complete and that it will be taken into consideration on future extension requests.

Mr. Craig Johnson with Engineering Design Group asked for clarification on the maximum number of extensions that can be granted.

Mrs. Miriam Boone explained the amount of extensions is at the discretion of the Planning Commission.

All Commissioners voted aye.

Motion to approve a one year preliminary extension passes.

5. *Bailey Dillon Line Shift- Request for Minor/Exempt Subdivision

The City of Foley Planning Commission has received a request for approval of the Bailey Dillon Line Shift a minor/exempt subdivision that consists of 22.71 +/- acres and 2 lots. Property is located E. of County Rd. 65 and S. of County Rd. 26 and is located in the City of Foley Planning Jurisdiction. Applicant is Michele Bailey.

Planning Commission Action:

Mrs. Boone explained Chad Christian stated at the last meeting the comment regarding septic and disposal lines needing to be shown on the plat had been addressed.

Commissioner Hare made a motion to approve the requested minor/exempt subdivision. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to approve the requested minor/exempt subdivision passes.

6. Pedro Subdivision- Request for Minor/Exempt Subdivision

The City of Foley Planning Commission has received a request for approval of Pedro Subdivision, a minor/exempt subdivision that consists of 10 +/- acres and 2 lots. Property is located S. of Breckner Rd. and E. of Bodenhamer Rd. Applicant is Weygand Wilson Surveying Inc.

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Planning Commission Action:

Chairman Abrams stated the applicant requested the item to be withdrawn from the agenda.

7. *HossCat's Place- Request for Minor Subdivision

The City of Foley Planning Commission has received a request for approval of HossCat's Place, a minor subdivision that consists of 8.8 +/- acres and 2 lots. Property is located at the SW corner of Charolais Rd. and County Rd. 65 and is located in the City of Foley Planning Jurisdiction. Applicant is Daniel Scott Johnston.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

Planning Commission Action:

Commissioner Hellmich made a motion to approve the requested minor subdivision based on staff's recommendation. Commissioner Gebhart seconded the motion. All members voted aye.

Motion to approve the requested minor subdivision based on staff's recommendation passes.

8. Lot 1A, 1B & 7 of the Resubdivision of Lot 1 of the Replat of Woerner's Two Lots- Request for Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Lot 1A, 1B & 7 of the Resubdivision of Lot 1 of the Replat of Woerner's Two Lots, a minor subdivision which consists of 60.14 +/- acres and 3 lots. Property is located E. of S. McKenzie St. and S. of County Rd. 20. Applicant is Woerner Land, LLC.

Public Hearing:

Mrs. Boone explained a revised plat was received showing the street names.

Commissioner Abrams asked if there were any members of the public to speak on the item. There were none.

Planning Commission Action:

Commissioner Hellmich made a motion to approve the requested minor subdivision. Commissioner Hare seconded the motion.

Commissioner Hellmich stated he would highly recommend connecting the proposed road to S. Juniper St. which will benefit future tenants. He explained at some point the City may take over the maintenance of the proposed road.

Mrs. Amanda Thomson with Goodwyn Mills Caywood stated they have signed the contract for the road construction. She explained the driveway for lot 7 is coming off a part of the road that is already built.

All Commissioners voted aye.

Motion to approve the requested minor subdivision passes.

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9. Grand Riviera Phase 1 a Resubdivision of Lot 5 Little Woerner Subdivision- Request for Minor Subdivision

The City of Foley Planning Commission has received a request for approval of Grand Riviera Phase 1 a Resubdivision of Lot 5 Little Woerner Subdivision, a minor subdivision which consists of 25.29 +/- acres and 2 lots. Property is located S. of County Rd. 20 and W. of James Rd. Applicant is Weygand Wilson Surveying LLC.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

Planning Commission Action:

Commissioner Gebhart made a motion to approve the requested minor subdivision. Commissioner Hare seconded the motion. All Commissioners voted aye.

Motion to approve the requested minor subdivision passes.

10. Darby Subdivision/City of Foley- Request for Minor

The City of Foley Planning Commission has received a request for approval of Darby Subdivision, a minor subdivision which consists of 23 +/- acres and 2 lots. Property is located E. of the Foley Beach Express and S. of Industrial Parkway. Applicant is The City of Foley.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

Planning Commission Action:

Commissioner Hellmich made a motion to approve the requested minor subdivision. Commissioner Mixon seconded the motion. All members voted aye.

Motion to approve the requested minor subdivision passes.

11. Riverside at Arborwalk Phase 3- Request for Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 1.26 +/- acres. Current zoning is M-1 (Light Industrial District). Proposed zoning is R-1D (Residential Single Family). Property is located E. of County Rd. 65 and S. of Pencarro Blvd. Applicant is Dewberry Engineers, Inc.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

Planning Commission Action:

Commissioner Hare made a motion to recommend the requested rezoning to the Mayor and Council. Commissioner Hellmich seconded the motion. All Commissioners voted aye.

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Motion to recommend the requested rezoning to the Mayor and Council passes.

12. *Foley Crossings- Request for Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Foley Crossings which consists of 66.18 +/- acres and 18 lots. Property is located at the NE corner of County Rd. 65 and County Rd. 26 and is located in the City of Foley Planning Jurisdiction. Applicant is Smith Clark and Associates, LLC.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item.

Ms. Lynn Lantis resident of 11651 County Rd. 65 stated she lives across the street from the property and would like to know what will be built on the proposed lots.

Mr. Hunter Smith a representative with Smith Clark & Associates stated the plan is for residential homes to be constructed on the lots. He stated a modification will be made to include common areas for the purpose of retention along the west line and lot 13, and between lots 16, 17 and 18.

Mrs. Boone stated the area is located in unzoned Baldwin County.

Planning Commission Action:

Commissioner Gebhart made a motion to approve the requested preliminary. Commissioner Hare seconded the motion.

Commissioner Hellmich explained the property is located in unzoned Baldwin County. He stated the only control the city has over the property is to ensure they are meeting the City's subdivision criteria.

All Commissioners voted aye.

Motion to approve the requested preliminary passes.

13. Wolf Ridge- Request for Prezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the prezoning of 43.44 +/- acres. Proposed zoning is PUD (Planned Unit Development). Property is located N. of County Rd. 12 and E. and W. of Clarke Ridge Rd. Applicant is Creek Ridge LLC.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item.

Ms. Orlinda McKinley resident of 9011 Clarke Ridge Rd. stated there is currently a drainage problem in the area. She explained she has concerns the subdivision being built will cause more issues. She stated Baldwin County has cleaned out the culverts but they are still having problems.

Mr. Chaudoin resident of 9094 Albatross Dr. asked who would be the builder of the homes.

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Mr. David Green stated the lots will be individually sold and built on by the owners.

Ms. Maria Foster resident of 9065 Clarke Ridge Rd. asked if there would be an access added from Glenlakes to Clarke Ridge Rd. and the size of the proposed lots.

Mr. Green answered no there will not be an access from Glenlakes. He stated the lots are larger in order to blend with the area. He explained some of the lots had to be reduced in size due to required drainage areas. He stated there are areas between some of the lots that will be left open for drainage purposes.

Ms. Foster asked if the sizes of the lots could change in the future.

Chairman Abrams stated the property is being zoned to a PUD. He explained if there are changes in the lot sizes they would have to come before the Commission for approval.

Commissioner Hellmich stated a PUD allows us to see a design and negotiate items within the design. He explained the property is being annexed into the City. He stated the residents may want to speak with Baldwin County regarding the current drainage problems on Clarke Ridge Rd.

Mr. Wayne Dyess stated in a previous meeting it was requested that the development be considered a rural subdivision in order for sidewalks not be required and to allow open ditches. He suggested adding verbiage in the motion regarding the sidewalks, open ditches and rural subdivision.

Commissioner Hellmich explained the engineering design will come at a later date which may help address some issues in the area. He stated he has no objections to the request to not install sidewalks due to there currently being no sidewalks in the area to connect into.

Chairman Abrams stated the requested plan blends well with the area.

Commissioner Hellmich asked Chad Christian to speak with Baldwin County in regards to the issues residents are currently having along Clarke Ridge Rd. in regards to drainage.

Planning Commission Action:

Commissioner Hellmich made a motion to recommend the requested pre-zoning and to consider the design of a rural subdivision in order to allow for open ditches and no required sidewalks to the Mayor and Council. Commissioner Mixon seconded the motion. All members voted aye.

Motion to recommend the requested pre-zoning to the Mayor and Council passes.

ADJOURN:

Chairman Abrams adjourned the meeting at 6:12 p.m.

Note: *Denotes property located in the Planning Jurisdiction



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

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STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: William Crosby Duplex

REQUEST: Site Plan Review

OWNER / APPLICANT:
William G. Crosby

ACREAGE:
27,141 sf (± 0.62 ac)

PIN#(s): 254415

LOCATION: West of S
Juniper St & S of East
Michigan Ave

PROJECT DESCRIPTION:
1781sf duplex

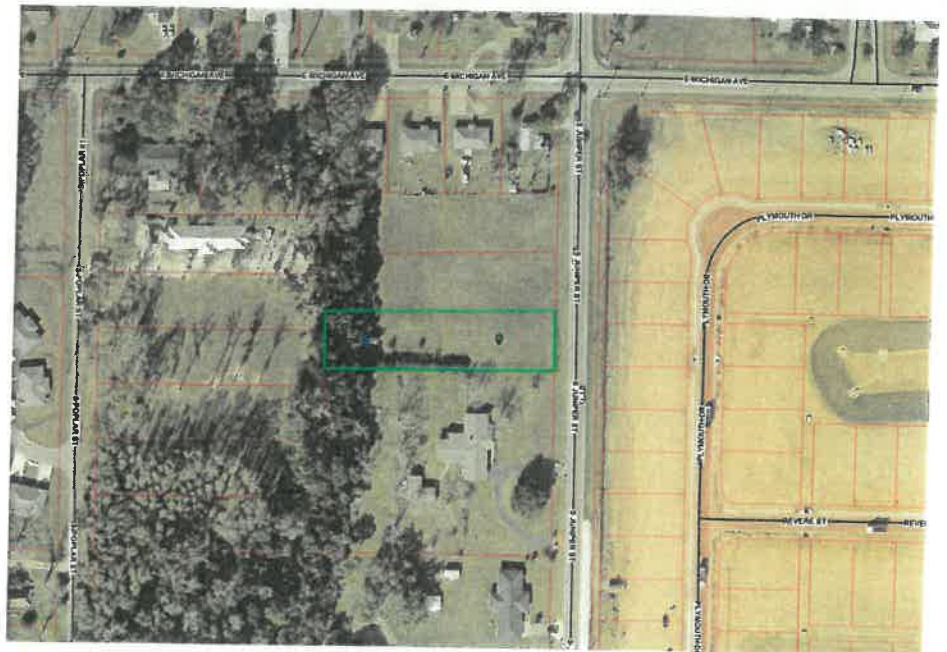
CURRENT ZONING: R-2
(Single & Two Family)

REQUESTED ZONING:
n/a

ADJACENT ZONING:
R-2 & R-1D

FUTURE LAND USE:
RM, Residential Med.
Density (4-7)

EXISTING LAND USE:
Vacant



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UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - This site plan appears to meet the zoning requirements.

ENGINEERING:

Engineering is ok with the site plan review.

ENVIRONMENTAL:

Angie Eckman - Not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed

17

March 23, 2023

From: Will Crosby

To: City of Foley Community Development and Planning Commission

Re: Duplex site plan approval

Please accept this letter as request for site plan approval for the attached referenced new construction duplex located on Juniper Street in Foley.

The proposed duplex lot is south of the intersection of Juniper St and E Michigan Ave located on the west side of Juniper St. PPIN 254415 (Request for 911 address has been made and site map is included.)

Based on City of Foley requirements the following information is provided for your review:

Survey

Site Plan

Duplex Occupancy

1781 Square feet heated and cooled living space

17'-4" Building Height

Setbacks – See attached drawing

3 Parking spaces per unit (total 6)

Total lot area 27,141

Front yard landscaping requirement 10% of total lot area =2,714 Sf

Proposed 2,716 sf landscaping in front yard.

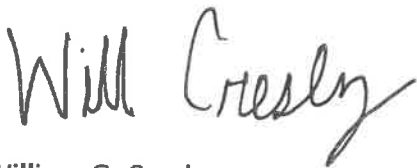
Architectural Detail – Building will have shutters

Building Façade – Front porch is recessed

Transparency – 34.18% of building width in front covered in windows exceeding the 20% requirement

Please let me know if any additional information is required.

Thank you,



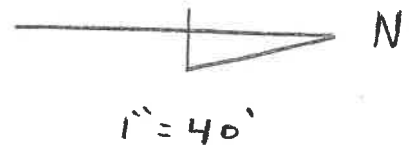
William G. Crosby



RECEIVED
3/23/23
AL

Lot 1
PIN 254415

326.51



16' 1781 S.F. 15'
Duplex 39-6

268 S.F.
Landgren, DE

76' Front Setback

1224 s.f.
Landscape

1224 s.f.
Landscape

84.03'

Juniper Street 60' R/W



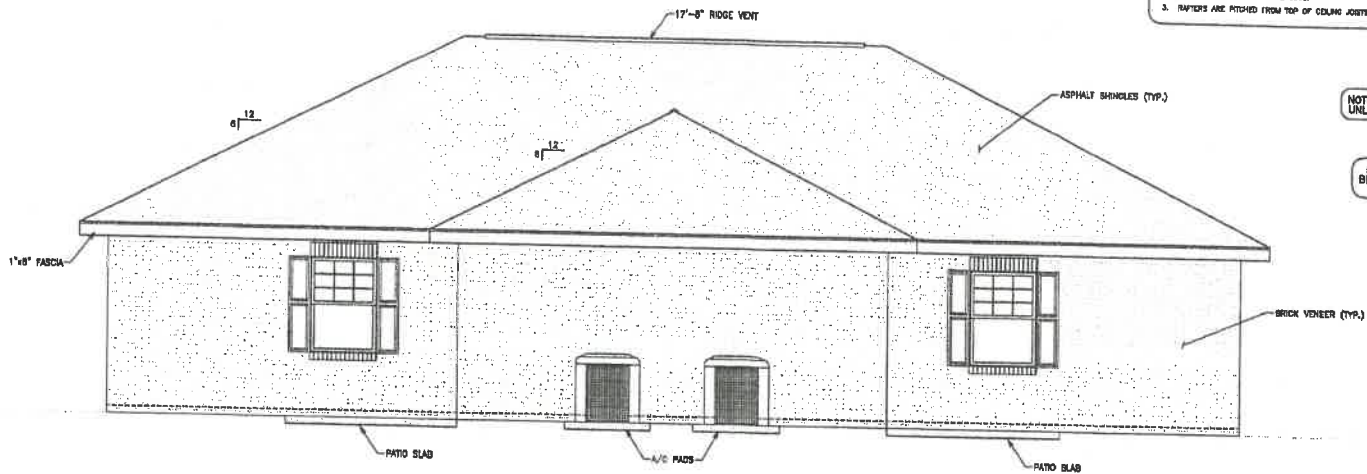
3/21/23
RECEIVED AC

NOTES:

1. WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQUIRED TO LINE UP FASCIAS AT A MIN. OF 12" OVERHANG.
2. ATRIC VENTILATION PER LOCAL CODE.
3. RAFTERS ARE PITCHED FROM TOP OF COLUING JOINTS. (SEE DETAILS)

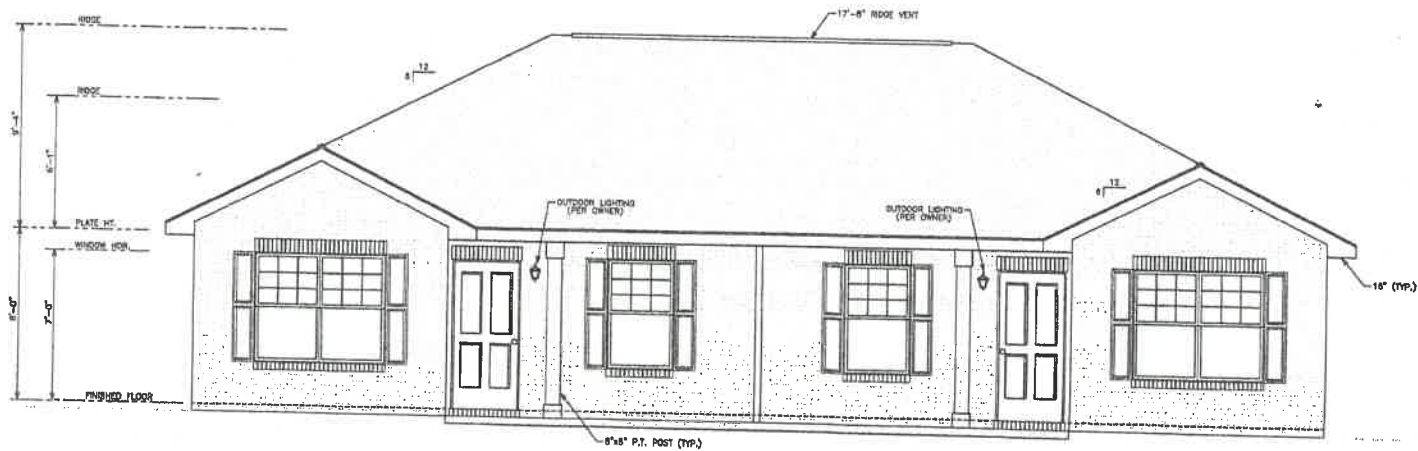
NOTE: ALL ANGLES ARE 45° UNLESS OTHERWISE NOTED

NOTE: LOCATE GRADE BEAMS UNDER ALL LOAD BEARING WALLS



REAR ELEVATION

SCALE: 3/8"=1'-0"



FRONT ELEVATION

SCALE: 3/8"=1'-0"

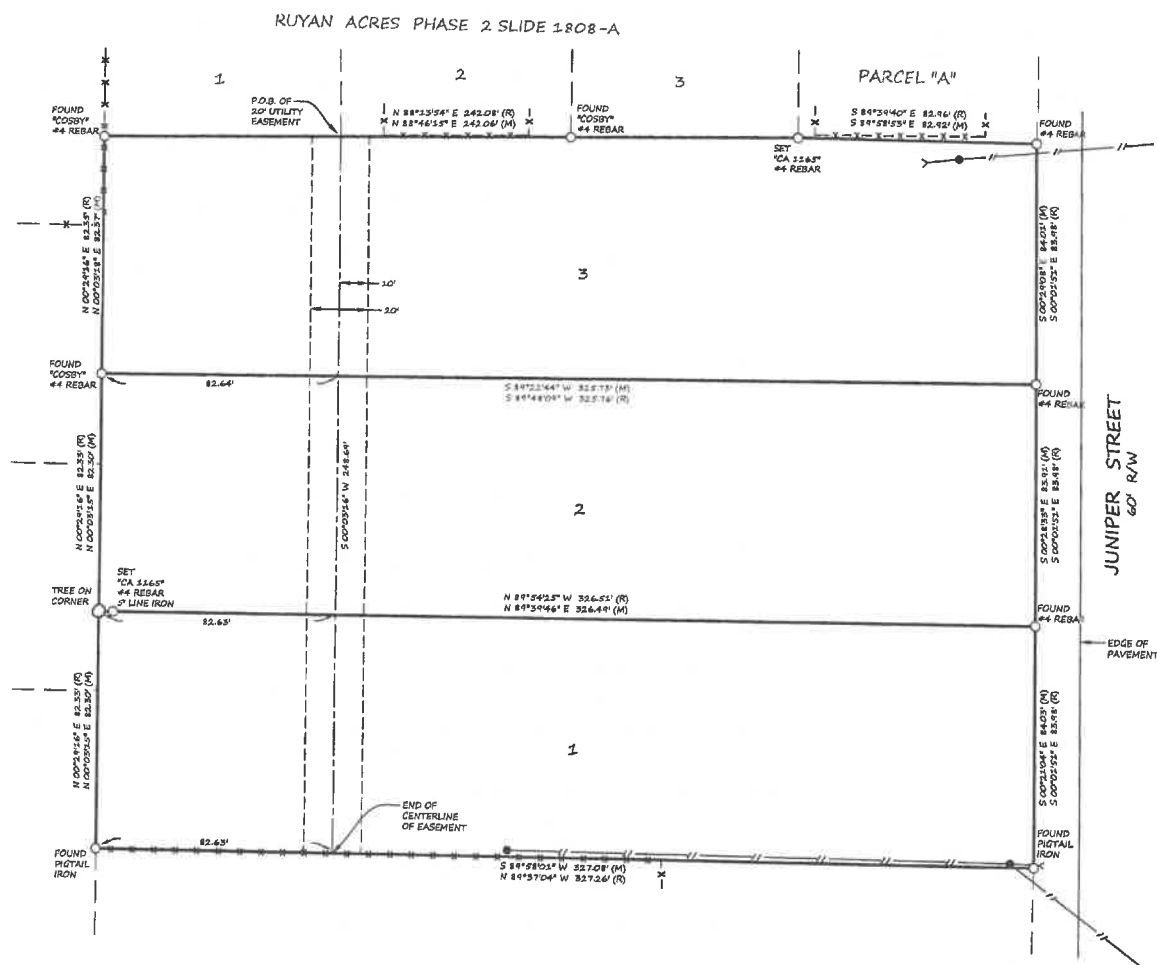
* STRAIGHT LINE DRAFTING & DESIGN ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

April 2023 PC packet, p.21

LEGEND	
ALDG	BUILDING
LOG	CHORD
CH	DELTA
H	MANHOLE
	RADIUS
W	RIGHT OF WAY
F	SQUARE FEET
MC	AIR CONDITIONER
MC	UTILITY POLE
	ANCHOR
	WALL
CONC	CONCRETE
	WATER METER
	SEWER BOX
	IRRIGATION CONTROL BOX
	WATER VALVE
	FIRE HYDRANT
	UTILITY BOX
	LIGHT POLE
	STAKING POINT
	MEASURED
	RECORDED
	CONCRETE MONUMENT
ANCE	X
VERHEAD UTILITIES	—



SCALE: 1"=20'



Legal description for proposed 20' wide utility easement lying 10 feet each side of the centerline as follows:

Begin at the Southeast corner of Lot 1 of Runyan Acres (Phase II) as recorded in Slide 1808-B in the Office of the Judge of Probate of Baldwin County, Alabama; thence crossing lots 1, 2 and 3 of JP3 as recorded in Slide 2115 - A thru F in the Office of the Judge of Probate of Baldwin County, Alabama; S 00°03'16" W for a distance of 248.69 feet to a point of the South line of Lot 3 of JP3.

NOTES:
1. MEASURED BEARINGS BASED ON ASTRONOMIC NORTH
AS OBTAINED BY GPS OBSERVATION.



Trent Wilson: PLS #34764
Weygand Wilson Surveying LLC
220 E. 20th Ave., Suite 12
Gulf Shores, AL 36542
Phone: (251)-875-7555



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

21

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: Crosby Properties Duplex

REQUEST: Site Plan Review

OWNER / APPLICANT:
Crosby Properties LLC

ACREAGE:
27,058 sf (± 0.62 ac)

PIN#(s): 254421

LOCATION: West of S
Juniper St & S of East
Michigan Ave

PROJECT DESCRIPTION:
1781 sf duplex

CURRENT ZONING: R-2
(Single & Two Family)

REQUESTED ZONING:
n/a

ADJACENT ZONING:
R-2 & R-1D

FUTURE LAND USE:
RM, Residential Med.
Density (4-7)

EXISTING LAND USE:
Vacant





UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - This site plan appears to meet the zoning requirements.

ENGINEERING:

Engineering is not opposed.

ENVIRONMENTAL:

Angie Eckman - Not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed

23

March 23, 2023

From: Erick Crosby

To: City of Foley Community Development and Planning Commission

Re: Duplex site plan approval

Please accept this letter as request for site plan approval for the attached referenced new construction duplex located on Juniper Street in Foley.

The proposed duplex lot is south of the intersection of Juniper St and E Michigan Ave located on the west side of Juniper St. PPIN 254421 (Request for 911 address has been made and site map is included.)

Based on City of Foley requirements the following information is provided for your review:

Survey

Site Plan

Duplex Occupancy

1781 Square feet heated and cooled living space

17'-4" Building Height

Setbacks – See attached drawing

3 Parking spaces per unit (total 6)

Total lot area 27,058

Front yard landscaping requirement 10% of total lot area =2,706 Sf

Proposed 2,716 sf landscaping in front yard.

Architectural Detail – Building will have shutters

Building Façade – Front porch is recessed

Transparency – 34.18% of building width in front covered in windows exceeding the 20% requirement

Please let me know if any additional information is required.

Thank you,



Erick L. Crosby
Crosby Properties LLC



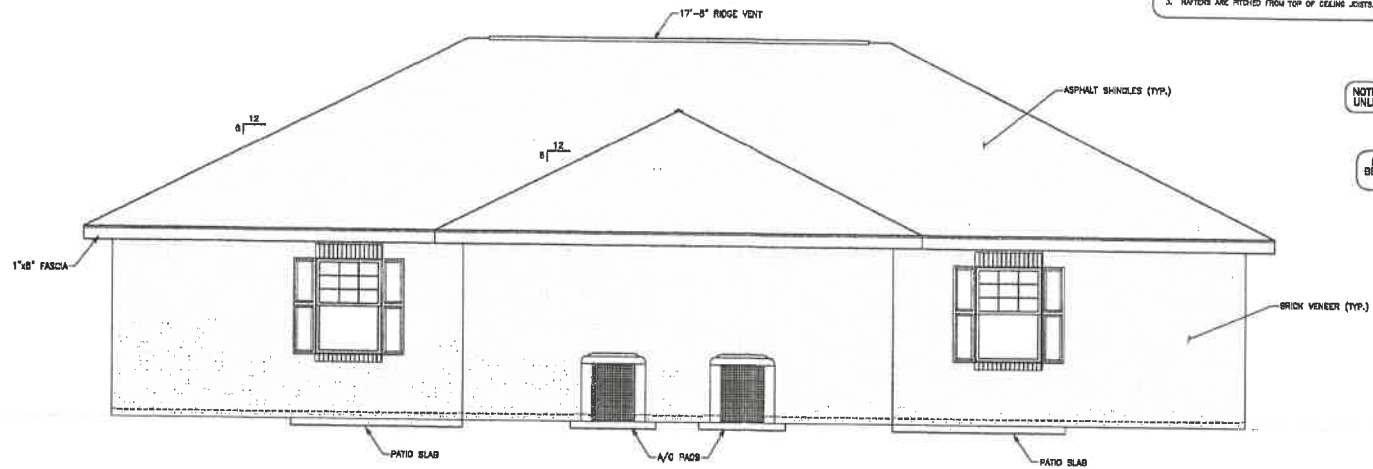
RECEIVED
3/23/23 AC

NOTES:

1. WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D. TO LINE UP FASCIAS AT A MIN. OF 12" OVERHANG.
2. ATIC VENTILATION PER LOCAL CODE.
3. RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS. (SEE DETAILS)

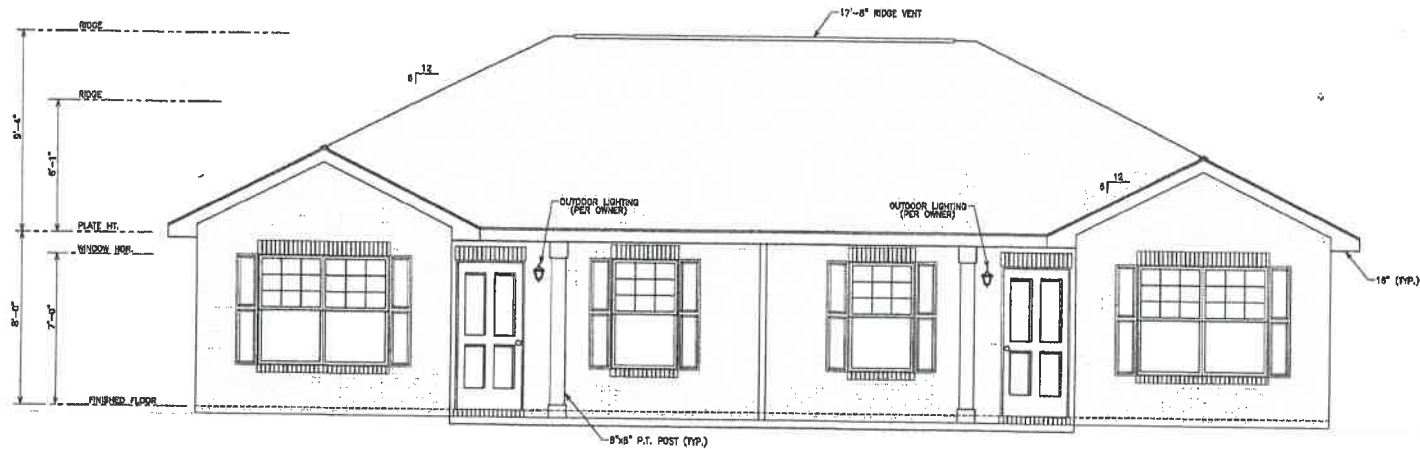
NOTE: ALL ANGLES ARE 45° UNLESS OTHERWISE NOTED

NOTE: LOCATE BRIDGE BEAMS UNDER ALL LOAD BEARING WALLS



REAR ELEVATION

SCALE: 3/8"=1'-0"



FRONT ELEVATION

SCALE: 3/8"=1'-0"

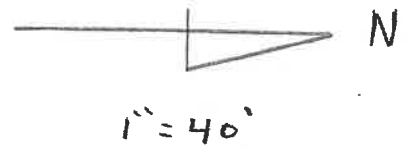
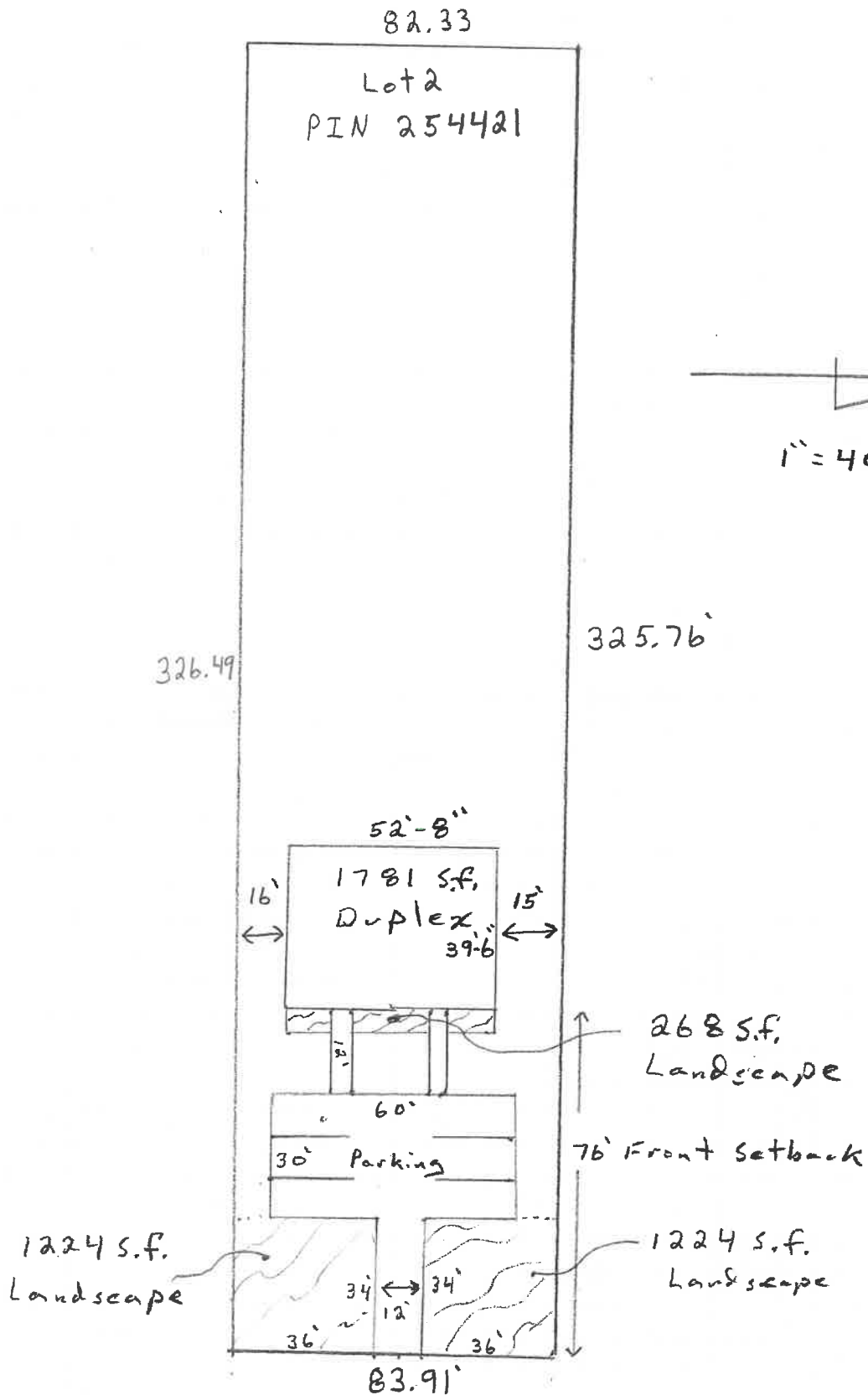
* STRAIGHT LINE DRAFTING & DESIGN ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.



3/24/23 PC
RECEIVED

25

42-381 50 SHEETS 5 SQUARE
42-382 100 SHEETS 5 SQUARE
42-389 200 SHEETS 5 SQUARE



Juniper Street 60' R/W



3/27/23
RECEIVED

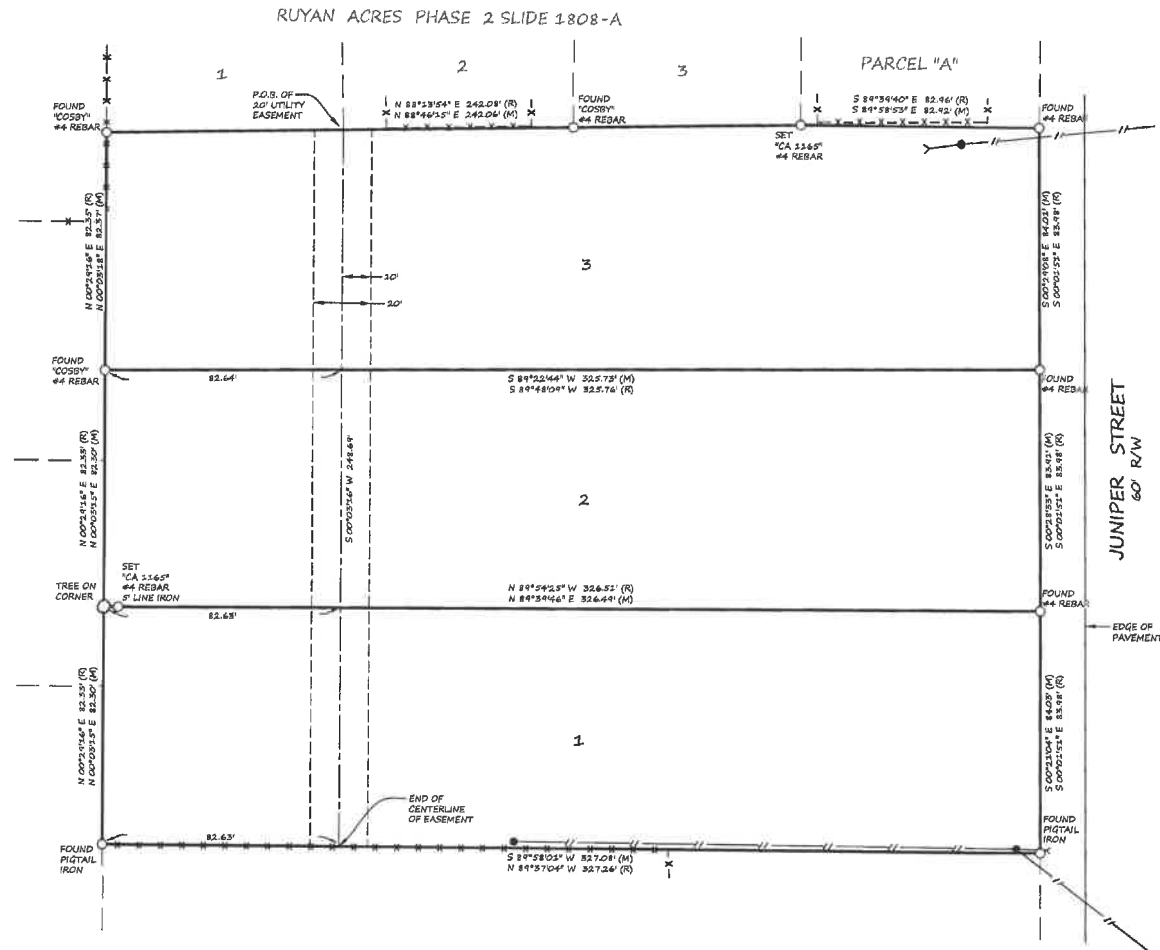
LEGEND

BLDG	BUILDING
CALC	CALCULATED
CH	CHORD
D	DELTA
MH	MANHOLE
R	RADIUS
RW	RIGHT OF WAY
S.F.	SQUARE FEET
A/C	AIR CONDITIONER
UT	UTILITY POLE
ANCH	ANCHOR
CONC	CONCRETE
WM	WATER METER
SB	SEWER BOX
ICB	IRRIGATION CONTROL BOX
WV	WATER VALVE
FH	FIRE HYDRANT
UB	UTILITY BOX
LP	LIGHT POLE
STP	STAKING POINT
M	MEASURED
R	RECORDED
CM	CONCRETE MONUMENT
FENCE	FENCE
OHU	OVERHEAD UTILITIES

SCALE: 1"=20'

**WEYBAND
WILSON**
SURVEYORS

Trent Wilson PLS #34764
Weyband Wilson Surveying LLC
200 E. 20th Ave., Suite 12
Gulf Shores, AL 36542
Phone: (251) 975-7583



Legal description for proposed 20' wide utility easement lying 10 feet each side of the centerline as follows:

Begin at the Southeast corner of Lot 1 of Runyan Acres (Phase II) as recorded in Slide 1808-B in the Office of the Judge of Probate of Baldwin County, Alabama; thence crossing lots 1, 2 and 3 of JP3 as recorded in Slide 2115 - A thru F in the Office of the Judge of Probate of Baldwin County, Alabama; S 00°03'16" W for a distance of 248.69 feet to a point of the South line of Lot 3 of JP3.

NOTES:
1. MEASURED BEARINGS BASED ON ASTRONOMIC NORTH
AS OBTAINED BY GPS OBSERVATION.

3/21/23
RECEIVED

24

27



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: CGHC LLC 308 & 310 S Elm St (lot 22)

REQUEST: Duplex Site Plan Review

OWNER / APPLICANT:
Jane Ticehurst Yarborough

ACREAGE:
13,342.94 sf (±0.31 ac)

PIN#(s): 280557

LOCATION:
West of S Elm St &
S of W Laurel Ave

PROJECT DESCRIPTION:
2594 sf duplex

CURRENT ZONING: R-2
(Single & Two Family)

REQUESTED ZONING:
n/a

ADJACENT ZONING:
R-2 & GPH-1

FUTURE LAND USE:
RM, Residential Med.
Density (4-7)

EXISTING LAND USE:
Vacant



28

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - This site plan appears to meet the zoning requirements.

ENGINEERING:

Engineering is not opposed.

ENVIRONMENTAL:

Angie Eckman - Not opposed. Heritage tree survey needed.

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed

CGHC LLC 308 & 310 S Elm

29

3/27/23

Dear City of Foley Planning Commission:

Please consider the submittal for PPIN 280557 Lot 22 Elm Street. The address for each unit is as follows. 308 & 310 S Elm Street – a proposed duplex.

Please see attached architectural drawings showing the following:

Site plan including 4 parking spaces

Each unit is 1096 sf heated and cooled

Each unit has 201 sf of porches under roof

Front yard landscaping requirements will exceed minimums to include sod and planting across façade – verified at CO inspection

Architecture by Jacky Ray Bargainer - a Registered Alabama Architect

Transparency requirements are shown on plans exceeding the minimums at 22%

Lot Size 140.6 x 94.9 for a total 13342.94 sf

Total Building Size 2594 sf

Does not exceed maximum heights

Building façade recess are met per requirement

30

LOT 22 DUPLEX
FOR
CGHC LLC
ELM STREET
FOLEY, ALABAMA

NOTE: A GEOTECHNICAL SUB-SURFACE INVESTIGATION HAS NOT BEEN PERFORMED FOR THIS PROJECT. FOUNDATION DESIGN IS BASED ON SITE CONDITIONS REPORTED BY THE CONTRACTOR AND SUSPECTED SUB-SURFACE CONDITIONS TYPICAL FOR THE AREA. THE CONTRACTOR SHALL VERIFY THE CAPABILITY OF THE SOIL STRATA TO SUPPORT FOUNDATIONS PRIOR TO ERECTING THE BUILDING ON THE SITE. THE CONTRACTOR SHALL FIELD VERIFY THE ADEQUACY OF THE SHOWN FOUNDATION SYSTEM AND THE SOIL BEARING CAPACITY PRIOR TO POURING FOOTINGS.

1. THE "CONTROLLED AREA" SHALL EXTEND BENEATH AND 5 FEET BEYOND THE BUILDING AREA. THE "CONTROLLED AREA" SHALL BE COMPLETELY STRIPPED AND ALL SURFACE VEGETATION, ORGANIC FILL OR TOPSOIL, DEBRIS AND ANY OTHER MATERIALS AND MATERIALS BE REMOVED. THE FOUNDATION SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH STANDARD CONSTRUCTION PRACTICE.

2. THE SUBGRADE ELEVATIONS SHALL BE ESTABLISHED BY CONSTRUCTION OF AN "ENGINEERED FILL" USING SUITABLE FILL, EARTH AND PLACED IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE. THE SUBGRADE SHALL BE DENSIFIED TO 95 % SPD (MIN.).

3. THE SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH STANDARD CONSTRUCTION PRACTICE.

4. FOOTINGS SHALL BEAR ON THE SUBGRADE. THE ENGINEERED FILL FOOTINGS ARE SIZED FOR A SOIL BEARING CAPACITY OF 2500 PSF. THE BOTTOM OF PERIMETER FOUNDATIONS SHALL BE 18" MINIMUM BELOW FINISHED GRADE. THE TOP OF FINISHED GRADE. NOTIFY THE ARCHITECT SHOULD ANY UNUSUAL SOIL CONDITIONS BE ENCOUNTERED.

1. CONCRETE SHALL CONFORM TO THE BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE (ACI 318).
2. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH AT 28 DAYS OF $f_c = 3000$ PSI (MIN).
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185.
4. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE:
 - (a) CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH----- 3 IN.
 - (b) EXPOSED TO EARTH OR WEATHER ----- 2 IN.
5. SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6x6-10/10 W.W.F. PLACED AT 1/3 SLAB THICKNESS FROM TOP.
6. LAP ALL CONTINUOUS REINFORCEMENT 30 BAR DIAMETER MINIMUM, UNLESS NOTED OTHERWISE. AT EXTERIOR BUILDING CORNERS, PROVIDE 3'-0" X 3'-0" CORNER BARS, SAME SIZE AND NUMBER AS DETAILED HORIZONTAL BARS.
7. DOWEL ALL FOOTINGS WHERE THEY ABUT WITH SAME REINFORCEMENT AS DETAILED HORIZONTALLY AND WITH 2'-0" MINIMUM LAP.
8. ANCHOR BOLTS SHALL BE ASTM A307.

1. ALL PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES AND SPECIFICATIONS TO SUPPORT ALL LIVE LOADS, DEAD LOADS, AND CONCENTRATED LOADS. LATERAL BRACING (DIAGONAL AND LATERAL BRIDGING), BOTH TEMPORARY AND PERMANENT, SHALL BE DESIGNED, PROVIDED AND NOTED ON ALL DRAWINGS BY THE MANUFACTURER.
2. PROVIDE EAVE BRACING DETAILS, ETC. AS REQUIRED TO INSURE PLUMB, LEVEL STRUCTURAL BASE FOR EAVE TRIM AND CORNICE. NO TWISTING OR WARPING OF TRUSS ENDS WILL BE ACCEPTED PRIOR TO INSTALLATION OF CORNICE AND TRIM.
3. ALL TRUSSES SHALL BE DESIGNED AND ANCHORED TO WITHSTAND THE NOTED WIND LOADS. THE ROOF TRUSSES SHALL BE DESIGNED AND ANCHORED FOR THE FOLLOWING LOADS:
 - TOP CHORD LIVE LOAD = 20 PSF
 - TOP CHORD DEAD LOAD = 10 PSF
 - BOTTOM CHORD LIVE LOAD = 0 (NO FLOOR LOAD)
 - BOTTOM CHORD DEAD LOAD = 10 PSF
 - ROOF WIND PRESSURE = PER STANDARD BUILDING CODE
4. VERIFY ALL DIMENSIONS AND DETAILS. NOTIFY THE ARCHITECT OF ANY REQUIRED MODIFICATIONS.
5. SUBMIT DESIGN DRAWINGS AND CALCULATIONS BEARING THE REGISTERED PROFESSIONAL ENGINEER'S SEAL OF THE DESIGN ENGINEER.

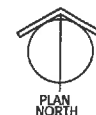
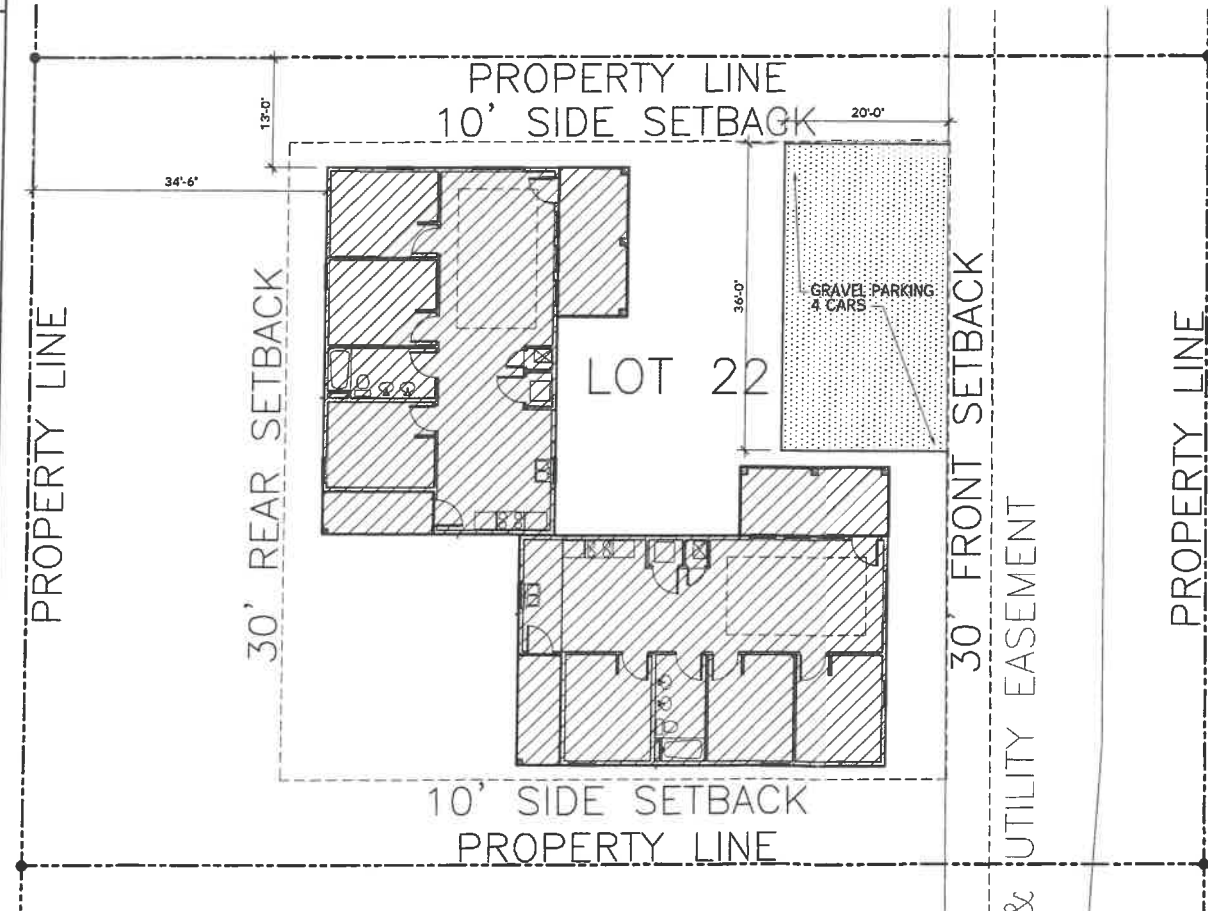
7. **WOOD FRAMING MEMBERS SHALL BE MINIMUM NO.2 SOUTHERN YELLOW PINE OR EQUIVALENT.**
 Rb = 1,500 PSI
 R = 2,000 PSI
 8. **LAMINATED VENER LUMBER SHALL HAVE THE FOLLOWING MINIMUM MATERIAL PROPERTIES:**
 Rb = 2800 PSI
 R = 2,000, 000 PSI
 WHERE TWO-PLY OR MORE ARE INDICATED TO BE USED TOGETHER, THEY SHALL BE FASTENED BY NAIL OR GLUE AND NAILING WITH THREE ROWS (TOP ROW, MID-DEPTH ROW AND BOTTOM ROW)
 16d NAILS 12" O.C. SHALL BE USED TO FASTEN THE MEMBERS. STAGGER NAIL SPACING SO THAT NAILS IN ADJACENT ROWS ARE SPACED AT 6" O.C.
 UNLESS OTHERWISE NOTED, ALL MEMBER CONNECTIONS SHALL HAVE STANDARD GALVANIZED METAL PLATE ANCHORS OR CLIPS CONNECTING MEMBERS CARRYING ANY COMBINATION OF DEAD, LIVE AND WIND LOADS.

BASIC WIND VELOCITY ----- 140 MPH

APPLICABLE CODES AND SPECIFICATIONS:
INTERNATIONAL RESIDENTIAL CODE 2018
AMERICAN CONCRETE INSTITUTE
AMERICAN IRON AND STEEL INSTITUTE
AMERICAN SOCIETY OF TESTING AND MATERIALS
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
NATIONAL CONCRETE MASONRY ASSOCIATION

1. ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, ELECTRICAL, PLUMBING, AND MECHANICAL.
2. THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDER'S RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTAL DRAWINGS FROM THE ARCHITECT.
3. IT IS RECOMMENDED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
4. CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTORS, ETC.
5. DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF WOOD STUDS.
6. ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS ARE TO BE IMMEDIATELY REPORTED TO THE ARCHITECT.
7. PROVIDE TEMPORARY SETTLING BASINS, HAY BAIRS AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF SITE AT THE END OF THE DAY.
8. ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.
9. PROVIDE CHEMICAL BARRIER TO BUILDING FROM SUBTERRANEAN TERMITE ATTACK.
10. NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES TO BE ALLOWED.
11. INSULATE ALL WALLS.
12. CONTRACTOR TO COORDINATE GRADING TO INSURE POSITIVE DRAINAGE AWAY FROM HOUSE FOR ALL WALKS, DRIVES, ETC.

SHT.	SHEET TITLE
A0	SITE PLAN AND GENERAL NOTES
S1	FOUNDATION PLAN AND DETAILS
S2	ROOF TRUSS DIAGRAM
A1	FLOOR PLAN
A2	ROOF PLAN
A3	ELEVATIONS
A4	BUILDING SECTION AND DETAILS
E1	ELECTRICAL PLAN



SITE PLAN
SCALE: 1"=10'

ANY INCREASED RUNOFF SHALL NOT
DRAIN ONTO ADJACENT PROPERTY

SILT FENCING SHALL BE PLACED AROUND
CONSTRUCTION SITE TO KEEP CONSTRUCTION
MATERIAL OFF ADJACENT PROPERTY AND STREET

DIMENSIONS SHOWN ON THIS DRAWING ARE TO
FACE OF STUDS

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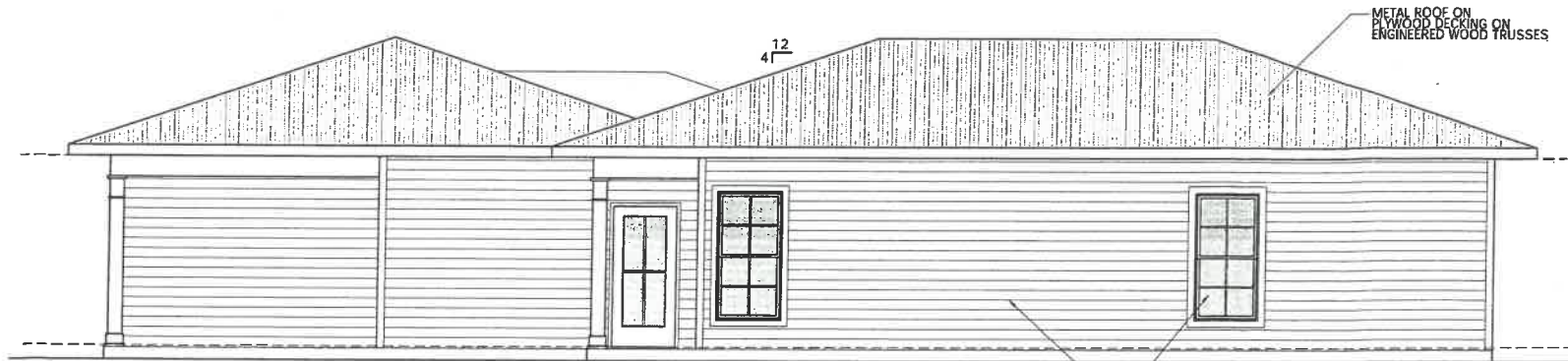
JOB NO. 17.101
SCALE: AS NOTED
DATE: 03.21.2023
REVISION:
REVISION:

jacky ray barganier
architect, inc.

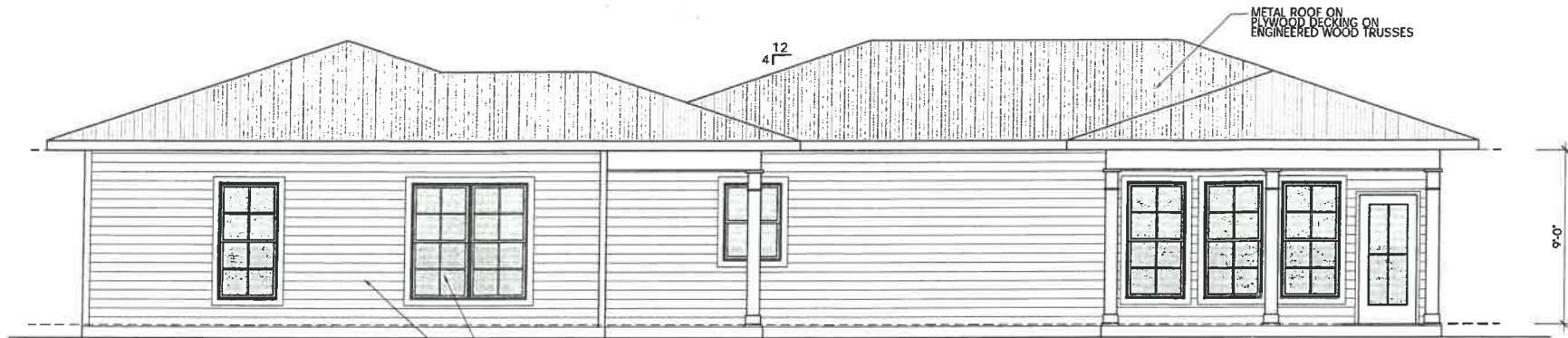
orange beach, alabama 36561
p.o. box 1734
f.251.980.2034

A0

COVER SHEET
AND SITE PLAN



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

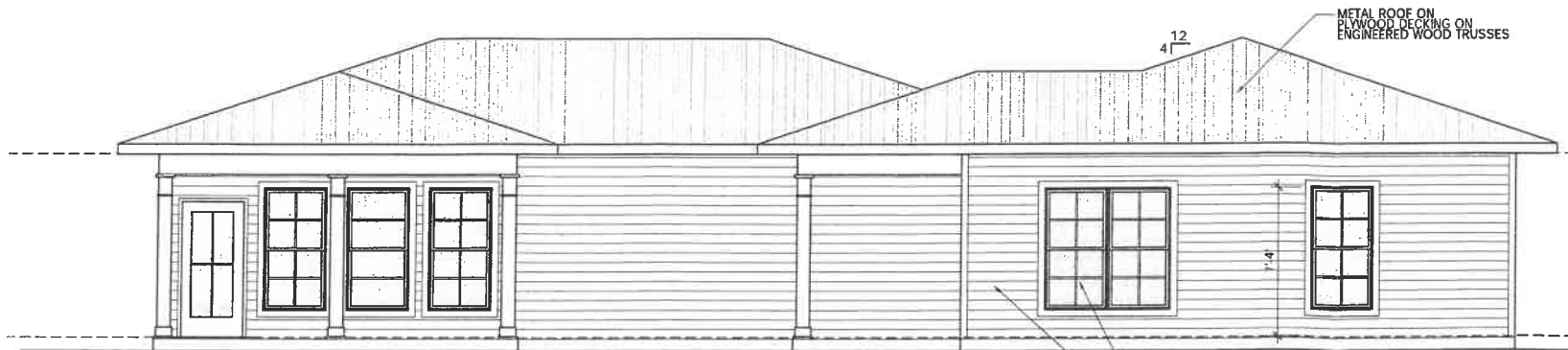


STREET FACADE IS 630 S.F.
WINDOWS / DOORS 140 S.F.
PERCENTAGE 22%

EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



WINDOW AS SCHEDULED
HARD-LAP SIDING OVER HOUSEWRAP
OVER 1/2" EXTERIOR SHEATHING

NORTH ELEVATION
SCALE: 1/4" = 1'-0"

31

LOT 22 DUPLEX
FOR
CGHC LLC
ELM STREET
FOLEY, ALABAMA

jacky ray barganier
architect, inc.

p.o. box 1734
orange beach, alabama 36561

p.251.980.1034
f.251.980.2034



JOB NO. 17.101
SCALE: AS NOTED
DATE: 03.21.2023
REVISION:
REVISION:

A3

ELEVATIONS

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PLANNING COMMISSION JOINT STAFF REPORT: April 2023

32

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: CGHC LLC 304 & 306 S Elm St (lot 23)

REQUEST:
Duplex Site Plan Review

OWNER / APPLICANT:
Jane Ticehurst Yarborough

ACREAGE:
13,342.94 sf (±0.31 ac)

PIN#(s): 280558

LOCATION:
West of S Elm St &
S of W Laurel Ave

PROJECT DESCRIPTION:
2594 sf duplex

CURRENT ZONING: R-2
(Single & Two Family)

REQUESTED ZONING:
n/a

ADJACENT ZONING:
R-2 & GPH-1

FUTURE LAND USE:
RM, Residential Med.
Density (4-7)

EXISTING LAND USE:
Vacant



33

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - This site plan appears to meet the zoning requirements.

ENGINEERING:

Engineering is not opposed.

ENVIRONMENTAL:

Angie Eckman - Not opposed. Heritage tree survey needed.

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed

34

CGHC LLC 304 & 306 S Elm

3/27/23

Dear City of Foley Planning Commission:

Please consider the submittal for PPIN 280558 Lot 23 Elm Street. The address for each unit is as follows. 304 & 306 S Elm Street – a proposed duplex.

Please see attached architectural drawings showing the following:

Site plan including 4 parking spaces

Each unit is 1096 sf heated and cooled

Each unit has 201 sf of porches under roof

Front yard landscaping requirements will exceed minimums to include sod and planting across façade – verified at CO inspection

Architecture by Jacky Ray Bargainer - a Registered Alabama Architect

Transparency requirements are shown on plans exceeding the minimums at 22%

Lot Size 140.6 x 94.9 for a total 13342.94 sf

Total Building Size 2594 sf

Does not exceed maximum heights

Building façade recess are met per requirement

LOT 23 DUPLEX
FOR
CGHC LLC
ELM STREET
FOLEY, ALABAMA

35

LOT 23 DUPLEX
FOR
CGHC LLC
ELM STREET
FOLEY, ALABAMA

GENERAL STRUCTURAL NOTES

NOTE: A GEOTECHNICAL SUB-SURFACE INVESTIGATION HAS NOT BEEN PERFORMED FOR THIS PROJECT. FOUNDATION DESIGN IS BASED ON SITE CONDITIONS REPORTED BY THE CONTRACTOR AND SUSPECTED SUB-SURFACE CONDITIONS TYPICAL FOR THE AREA. THE CONTRACTOR SHALL VERIFY THE CAPABILITY OF THE SOIL STRATA TO SUPPORT FOUNDATIONS PRIOR TO ERECTING THE BUILDING ON THE SITE. THE CONTRACTOR SHALL FIELD VERIFY THE ADEQUACY OF THE SHOWN FOUNDATION SYSTEM AND THE SOIL BEARING CAPACITY PRIOR TO POURING FOOTINGS.

FOUNDATIONS:

- THE "CONTROLLED AREA" SHALL EXTEND BENEATH AND 5 FEET BEYOND THE BUILDING AREA. THE "CONTROLLED AREA" SHALL BE COMPLETELY STRIPPED AND ALL SURFACE VEGETATION, ORGANIC FILL OR TOPSOIL, DEBRIS AND ANY OTHER DELETERIOUS MATERIALS REMOVED. THE FOUNDATION SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH STANDARD CONSTRUCTION PRACTICE.
- THE SUBGRADE ELEVATIONS SHALL BE ESTABLISHED BY CONSTRUCTION OF AN "ENGINEERED FILL" USING SUITABLE FILL EARTH AND PLACED IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE. THE SUBGRADE SHALL BE DENSIFIED TO 95 % SPD (MIN.). THE FOUNDATION SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH STANDARD CONSTRUCTION PRACTICE.
- FOOTINGS SHALL BEAR IN NATURAL SOILS OR COMPACTED "ENGINEERED FILL". FOOTINGS ARE SIZED FOR A SOIL BEARING VALUE OF 2500 PSF. THE BOTTOM OF PERIMETER FOUNDATIONS SHALL EXTEND TO A MINIMUM DEPTH OF 20 INCHES BELOW FINISHED GRADE. NOTIFY THE ARCHITECT SHOULD ANY UNUSUAL SOIL CONDITIONS BE ENCOUNTERED.

CONCRETE:

- CONCRETE SHALL CONFORM TO THE BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE (ACI 318).
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH AT 28 DAYS OF $f_c = 3000$ PSI (MIN.).
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185.
- MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH----- 3 IN.
 - EXPOSED TO EARTH OR WEATHER----- 2 IN.
- SLABS ON GRADE SHALL BE REINFORCED WITH ONE LAYER 6X6-10/10 W.W.F. PLACED AT 1/3 SLAB THICKNESS FROM TOP.
- LAP ALL CONTINUOUS REINFORCEMENT 30 BAR DIAMETER MINIMUM, UNLESS NOTED OTHERWISE. AT EXTERIOR BUILDING CORNERS, PROVIDE 3'-0" X 3'-0" CORNER BARS, SAME SIZE AND NUMBER AS DETAILED HORIZONTAL BARS.
- DOVEL ALL FOOTINGS WHERE THEY ABUT WITH SAME REINFORCEMENT AS DETAILED HORIZONTALLY AND WITH 2'-0" MINIMUM LAP.
- ANCHOR BOLTS SHALL BE ASTM A307.

PREFABRICATED WOOD TRUSSES:

- ALL PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES AND SPECIFICATIONS TO SUPPORT ALL LIVE LOADS, DEAD LOADS, AND CONCENTRATED LOADS. LATERAL BRACING (DIAGONAL AND LATERAL BRIDGING), BOTH TEMPORARY AND PERMANENT, SHALL BE DESIGNED, PROVIDED AND NOTED ON ERECTION DRAWINGS BY THE MANUFACTURER.
- PROVIDE EAVE BRACING DETAILS, ETC. AS REQUIRED TO INSURE PLUMB, LEVEL STRUCTURAL BASE FOR EAVE TRIM AND CORNICE. NO TWISTING OR WARPING OF TRUSS ENDS WILL BE ACCEPTED PRIOR TO INSTALLATION OF CORNICE AND TRIM.
- ALL TRUSSES SHALL BE DESIGNED AND ANCHORED TO WITHSTAND THE NOTED WIND LOADS. THE ROOF TRUSSES SHALL BE DESIGNED AND ANCHORED FOR THE FOLLOWING LOADS:
TOP CHORD LIVE LOAD = 20 PSF
TOP CHORD DEAD LOAD = 10 PSF
BOTTOM CHORD LIVE LOAD = 0 (NO LIVE LOAD)
BOTTOM CHORD DEAD LOAD = 10 PSF
ROOF WIND PRESSURE = PER STANDARD BUILDING CODE
- VERIFY ALL DIMENSIONS AND DETAILS SHOWN. NOTIFY THE ARCHITECT OF ANY REQUIRED MODIFICATIONS.
- SUBMIT DESIGN DRAWINGS AND CALCULATIONS BEARING THE REGISTERED PROFESSIONAL ENGINEER'S SEAL OF THE DESIGN ENGINEER.

TIMBER FRAMING AND LAMINATED VENEER LUMBER (LVL):

- WOOD FRAMING MEMBERS SHALL BE MINIMUM NO. 2 SOUTHERN YELLOW PINE OR EQUIVALENT
 $F_b = 1150$ PSI $E = 1,500,000$ PSI
- LAMINATED VENEER LUMBER SHALL HAVE THE FOLLOWING MINIMUM MATERIAL PROPERTIES:
 $F_b = 2800$ PSI $E = 2,000,000$ PSI
WHERE TWO-PLY OR MORE ARE INDICATED TO BE USED TOGETHER, THEY SHALL BE FASTENED BY WOOD GLUING AND NAILING WITH THREE ROWS (TOP ROW, MID-DEPTH ROW AND BOTTOM ROW) 16d NAILS @ 12" O.C. EACH ROW, EACH FACE FOR THE ENTIRE LENGTH OF THE MEMBERS. STAGGER NAIL SPACING SO THAT NAILS IN ADJACENT ROWS ARE SPACED AT 6" O.C.
- UNLESS OTHERWISE NOTED, ALL MEMBER CONNECTIONS SHALL HAVE STANDARD GALVANIZED METAL FRAMING ANCHORS OR CLIPS CONNECTING MEMBERS CARRYING ANY COMBINATION OF DEAD, LIVE AND WIND LOADS.

WIND LOAD:
BASIC WIND VELOCITY ----- 140 MPH

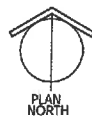
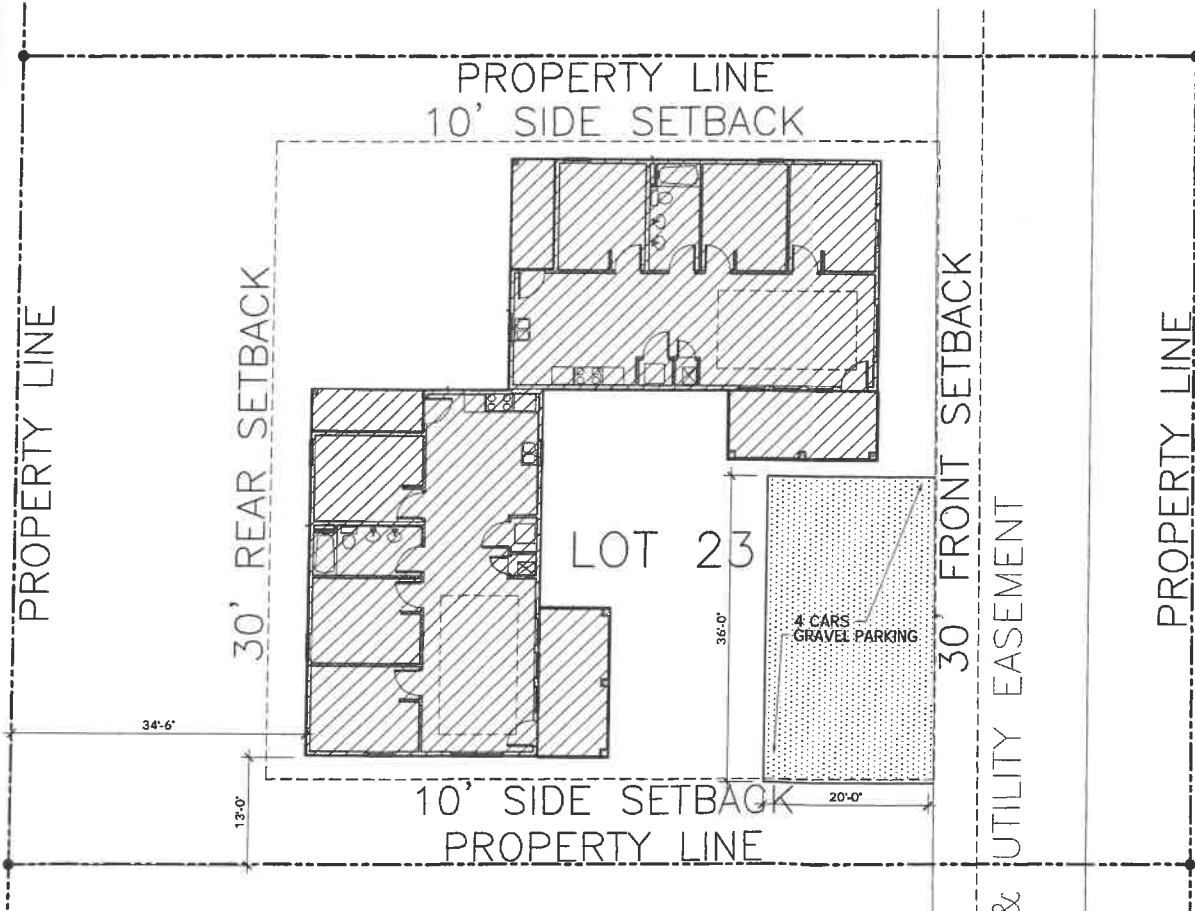
APPLICABLE CODES AND SPECIFICATIONS:
INTERNATIONAL RESIDENTIAL CODE 2018
AMERICAN CONCRETE INSTITUTE
AMERICAN IRON AND STEEL INSTITUTE
AMERICAN SOCIETY OF TESTING AND MATERIALS
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
NATIONAL CONCRETE MASONRY ASSOCIATION

GENERAL NOTES:

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, ELECTRICAL, PLUMBING, AND MECHANICAL.
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTAL DRAWINGS FROM THE ARCHITECT.
- IT IS RECOMMENDED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTORS, ETC.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF WOOD STUDS.
- ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS ARE TO BE IMMEDIATELY REPORTED TO THE ARCHITECT.
- PROVIDE TEMPORARY SETTLING BASINS, HAY BAILS AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF SITE AT THE END OF THE DAY.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.
- PROVIDE CHEMICAL BARRIER TO BUILDING FROM SUBTERRANEAN TERMITE ATTACK.
- NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES TO BE ALLOWED.
- INSULATE ALL WALLS.
- CONTRACTOR TO COORDINATE GRADING TO INSURE POSITIVE DRAINAGE AWAY FROM HOUSE FOR ALL WALKS, DRIVES, ETC.

INDEX TO DRAWINGS

SHT.	SHEET TITLE
A0	SITE PLAN AND GENERAL NOTES
S1	FOUNDATION PLAN AND DETAILS
S2	ROOF TRUSS DIAGRAM
A1	FLOOR PLAN
A2	ROOF PLAN
A3	ELEVATIONS
A4	BUILDING SECTION AND DETAILS
E1	ELECTRICAL PLAN



SITE PLAN
SCALE: 1"=10'

ANY INCREASED RUNOFF SHALL NOT
DRAIN ONTO ADJACENT PROPERTY

SILT FENCING SHALL BE PLACED AROUND
CONSTRUCTION SITE TO KEEP CONSTRUCTION
MATERIAL OFF ADJACENT PROPERTY AND STREET

DIMENSIONS SHOWN ON THIS DRAWING ARE TO
FACE OF STUDS

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jacky ray barganier
architect, inc.

p. 251.980.1034
f. 251.980.2034
p.o. box 1734
orange beach, alabama 36561



JOB NO. 17.101
SCALE: AS NOTED
DATE: 03.21.2023
REVISION:
REVISION:

A0

COVER SHEET
AND SITE PLAN



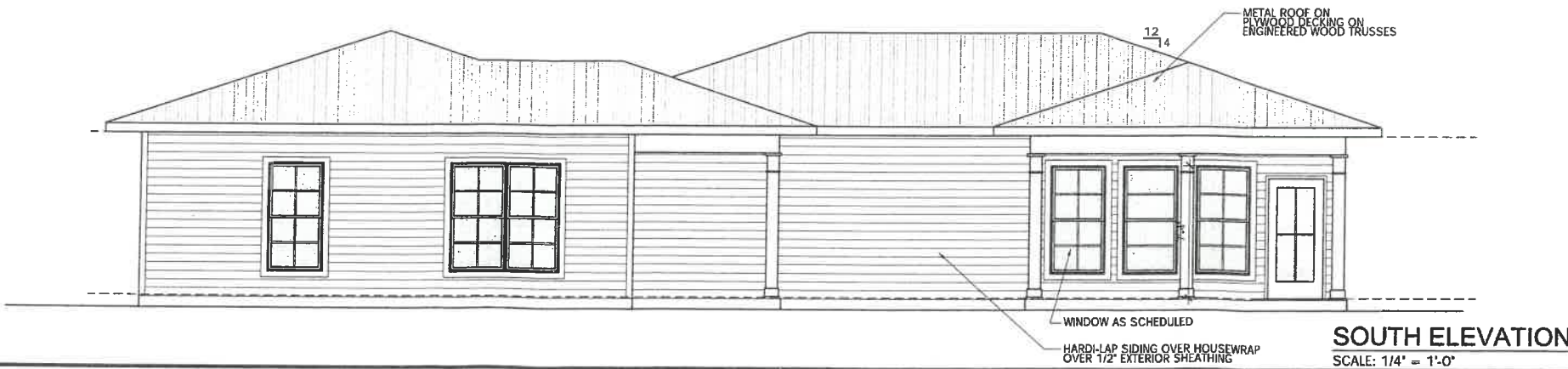
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

34

LOT 23 DUPLEX
FOR
CGHC LLC
ELM STREET
FOLEY, ALABAMA

jacky ray barganier
architect, inc.
p.o. box 1734
orange beach, alabama 36661
p.251.980.1034
f.251.980.2034



JOB NO. 17.101
SCALE: AS NOTED
DATE: 03.21.2023
REVISION:
REVISION:

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A3
ELEVATIONS



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

37

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: **Goodwill Foley**

REQUEST: **Site Plan Review**

OWNER / APPLICANT:
Piedmont Companies for
Goodwill Gulf Coast

ACREAGE: 8.4 ac

PIN#(s): 263717 & 72026

LOCATION: S of E
Azalea, E of S McKenzie

PROJECT DESCRIPTION:
50,000+ sf multipurpose
building with Retail &
Bargain stores,
Community Resource
Center, Donation Center,
& Warehouse

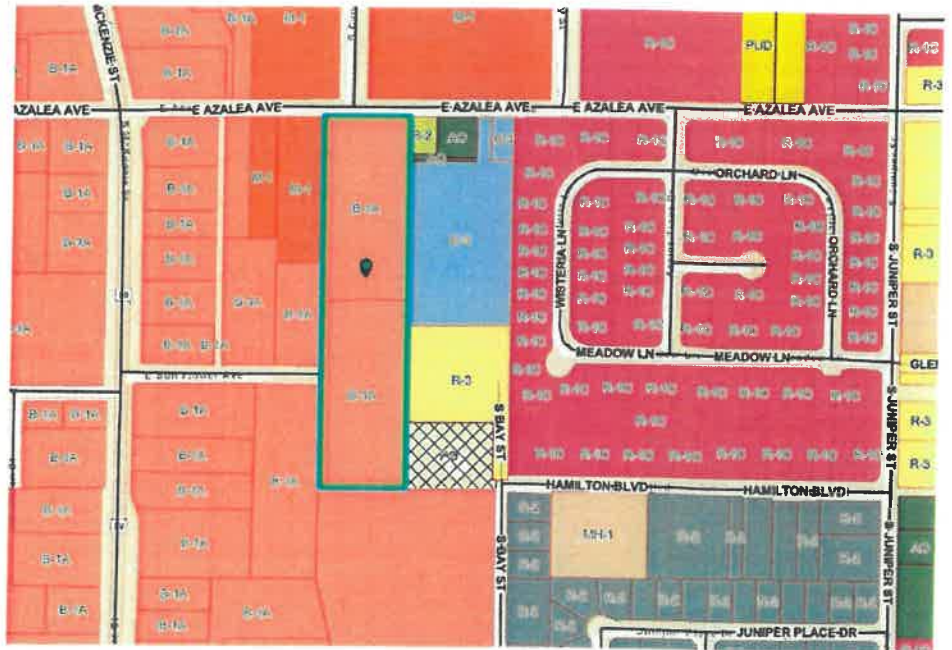
CURRENT ZONING: B-1A

REQUESTED ZONING: n/a

ADJACENT ZONING:
M-1, B-1A, R-3, B-2, B-3,
R-3, PO

FUTURE LAND USE:
MXU, Mixed Use
Commercial/Residential

EXISTING LAND USE:
Vacant



38

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - The site plan meets/exceeds the B1A requirements.

ENGINEERING:

Engineering recommends approval. An LDP will be required prior to construction.

ENVIRONMENTAL:

Angie Eckman - Environmental is not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Recommend Approval

Our project planned for Foley is a 50,000 square foot Multipurpose building. The project consist of 5 parts; a Goodwill Retail Store, a Goodwill Bargain Store, a Community Resource Center, a Donation Center and a Warehouse.

We believe that the Foley Community will Donate Gently Used items, Shop both our Retail and Bargain Outlets as well as take advantage of our Community Resource Center to help with job searches and guidance for those in need of these services. Our Warehouse will support this location and serve as a small HUB to support planned growth in the Eastern Shores of Alabama.

This link is Goodwill Gulf Coast's website to further explain their mission. <https://www.gesgc.org/>

Thanks,
Gary Faulkenbury
Piedmont Companies for Goodwill Gulf Coast
980-241-2438

Untitled Map

Write a description for your map.

Legend

Goodwill Gulf Coast - Spanish Fort Store/Donations & Community Center



Building Color Example



3/23/23
RECEIVED PC

40

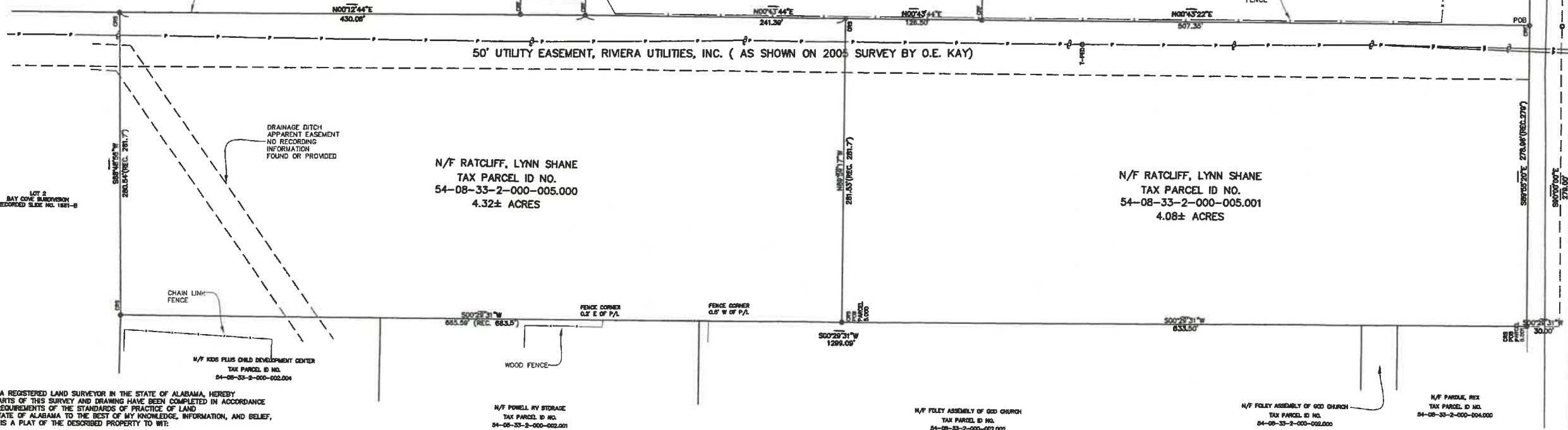
41

BASE BEARING USED IS
SOUTH R/W AZALEA AVENUE
BEING S89°55'20"E

LEGEND

- CHIPPED REBAR FOUND (1/2")
- CUTTER REBAR SET (1/2")
- CRAP TOP FOUND
- DODED CHAIN FOUND
- OPEN TOP FOUND
- REBAR FOUND
- BUILDING LINE
- CENTERLINE
- DRAINAGE EASEMENT
- EDGE OF PAVEMENT
- FENCE
- RIGHT-OF-WAY
- UTILITY EASEMENT
- CLEAN CUT
- DOUBLE RING CATCHBASIN
- DROP INLET
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- HEADWALL
- JUNCTION BOX
- LIGHT POLE
- MANHOLE
- POWER BOX
- P-BOX
- SAVEDRY SEWER MANHOLE
- SINGLE RING CATCHBASIN
- WATER METER
- WATER VALVE

CHAIN LINK FENCE
UP AND DOWN



STATE OF ALABAMA
COUNTY OF BALDWIN

I, JASON BRASWELL, A REGISTERED LAND SURVEYOR IN THE STATE OF ALABAMA, HEREBY
CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE
WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE OF LAND
SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF,
AND THE FOREGOING IS A PLAT OF THE DESCRIBED PROPERTY TO WIT:

TAX PARCEL ID NO. 54-08-33-2-000-005.001 RECORDED AS INSTRUMENT
NUMBER 167206 IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY,
ALABAMA, LYING IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 4 EAST AND BEING
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 33 THENCE S89°00'00"E,
679.00 FEET TO A POINT IN THE CENTER OF AZALEA AVENUE, A 60'
RIGHT-OF-WAY, THENCE CONTINUE ALONG SAID CENTER OF AZALEA AVENUE 279'
TO A POINT; THENCE S00°29'31"W 30' TO AN IRON PIN ON THE SOUTH SIDE OF
SAID RIGHT-OF-WAY AND BEING THE POINT OF BEGINNING; THENCE CONTINUING
S00°29'31"W, 633.50' TO AN IRON PIN; THENCE N89°55'17"W, 281.53' TO AN IRON
PIN; THENCE N00°43'44"E, 128.50' TO AN IRON PIN; THENCE N00°43'22"E, 507.35'
TO AN IRON PIN ON THE SOUTH RIGHT-OF-WAY OF AZALEA AVENUE, THENCE
S89°55'20"E, 278.00' TO AN IRON PIN AND THE POINT OF BEGINNING; SAID
PARCEL CONTAINS 4.08 ACRES MORE OR LESS.

TAX PARCEL ID NO. 54-08-33-2-000-005.000 RECORDED AS INSTRUMENT
NUMBER 1144982 IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY,
ALABAMA, LYING IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 4 EAST AND BEING
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 33 THENCE S89°00'00"E,
679.00 FEET TO A POINT IN THE CENTER OF AZALEA AVENUE, A 60'
RIGHT-OF-WAY, THENCE CONTINUE ALONG SAID CENTER OF AZALEA AVENUE 279'
TO A POINT; THENCE S00°29'31"W 30' TO AN IRON PIN ON THE SOUTH SIDE OF
SAID RIGHT-OF-WAY; THENCE CONTINUING S00°29'31"W, 633.50' TO AN IRON PIN
AND BEING THE POINT OF BEGINNING; THENCE CONTINUING S00°29'31"W, 633.50'
TO AN IRON PIN; THENCE S89°55'17"E, 281.53' TO AN IRON PIN; THENCE
N00°12'44"E, 430.00' TO AN IRON PIN; THENCE N00°43'44"E, 241.39' TO AN IRON
PIN; THENCE S89°55'17"E, 281.53' TO AN IRON PIN AND THE POINT OF BEGINNING.
SAID PARCEL CONTAINS 4.32 ACRES MORE OR LESS.

THERE ARE NO VISIBLE ENCROACHMENTS OF ANY IMPROVEMENTS OR UTILITIES, EXCEPT AS SHOWN.
ACCORDING TO MY SURVEY THIS, THE 20TH DAY OF MARCH, 2023.



ALA. REG. NO. 30610

THIS SURVEY NOT VALID WITHOUT EMBOSSED SEAL

SURVEY CONSULTS, INC.

PROFESSIONAL LAND SURVEYORS

16961 STATE HWY 180, SUITE D, GULF SHORES AL 36542

251-968-2124

E-MAIL SURVEYCONSULTS.GS@GMAIL.COM



FILE:10284A
DWG. BY: RP
CHKD BY: JP
DATE:
MARCH 20, 2023
SCALE:
1"=50'

BOUNDARY SURVEY FOR:

GOODWILL
PIEDCORP

3/28/2023
RECEIVED



43



ARCHITECTURE
PLANNING
PROJECT MANAGEMENT

6423 Jordan Road
Daphne, AL 36526
Ph 251-433-0217 Fax 251-433-0218

FOLEY, AL

A NEW FACILITY
FOR
GOODWILL

XX

DATE: 3/21/23
DRAWN: JF
CHECKED: PNO
TITLE: Preliminary
Exterior
Elevations

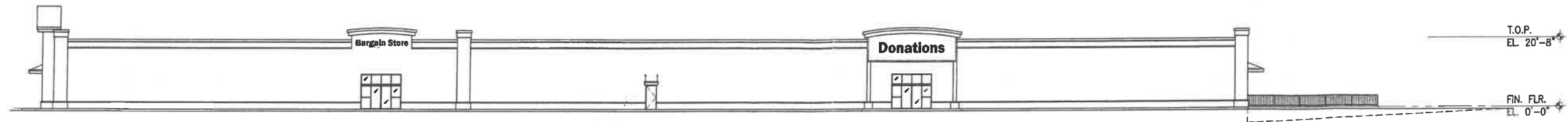
REVISION:

NO. DATE:

SHEET:

A2

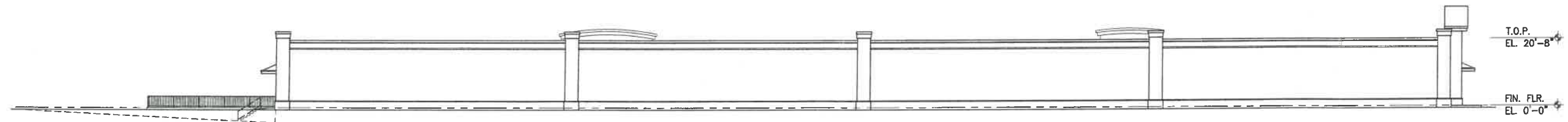
3/23/23
RECEIVED AC



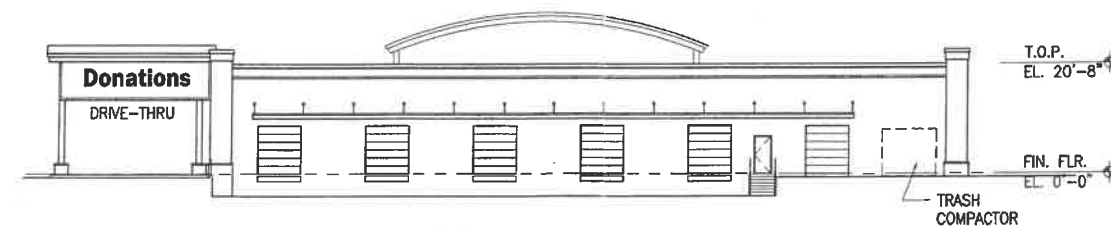
A WEST ELEVATION
A2 SCALE: 1/16" = 1'-0"



B NORTH ELEVATION
A2 SCALE: 1/16" = 1'-0"



C EAST ELEVATION
A2 SCALE: 1/16" = 1'-0"



D SOUTH ELEVATION
A2 SCALE: 1/16" = 1'-0"

44



ARCHITECTURE
PLANNING
PROJECT MANAGEMENT

6425 Jordan Road
Daphne, AL 36526
Ph 251-433-0217 Fax 251-433-0218

A NEW FACILITY
FOR
GOODWILL

FOLEY, AL

XX

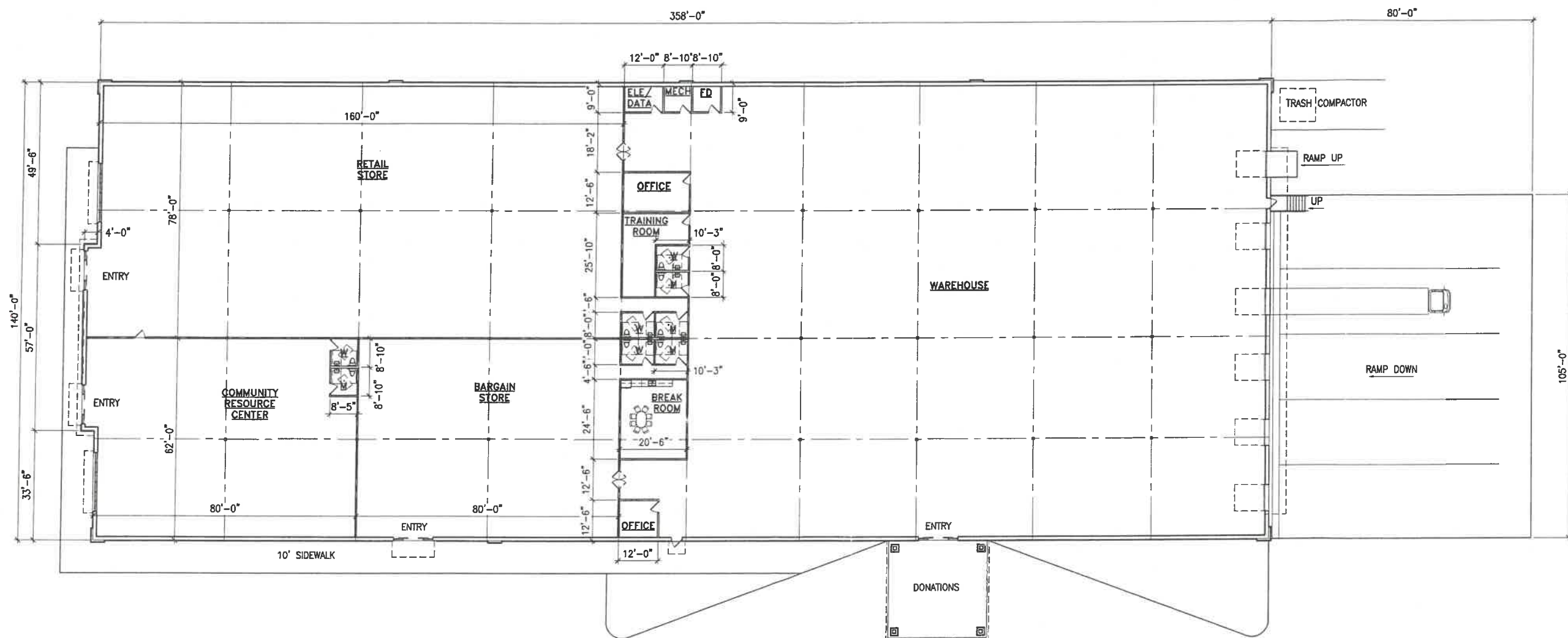
DATE: 3/21/23
DRAWN: JF
CHECKED: PNO
TITLE: Preliminary
Floor Plan

REVISION:

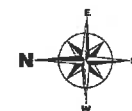
NO. DATE:

SHEET:

A1



A
A1 PRELIMINARY FLOOR PLAN
SCALE: 1/16" = 1'-0"



TOTAL AREA - 50,120 S.F.

WHERE TO PUT MOP SINK AND WATER HEATER?

3/23/23
RECEIVED

45



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: Cobblestone Hotel & Suites

REQUEST: Site Plan Review

OWNER / APPLICANT:
City of Foley Public
Facilities Co-op /
BriMark Builders LLC

ACREAGE: 2.15 ac

PIN#(s): 352424

LOCATION: NE corner of
Miflin Rd & Koniar Way

PROJECT DESCRIPTION:
4 story, 73 guest room
hotel to be accessed off
Koniar Way

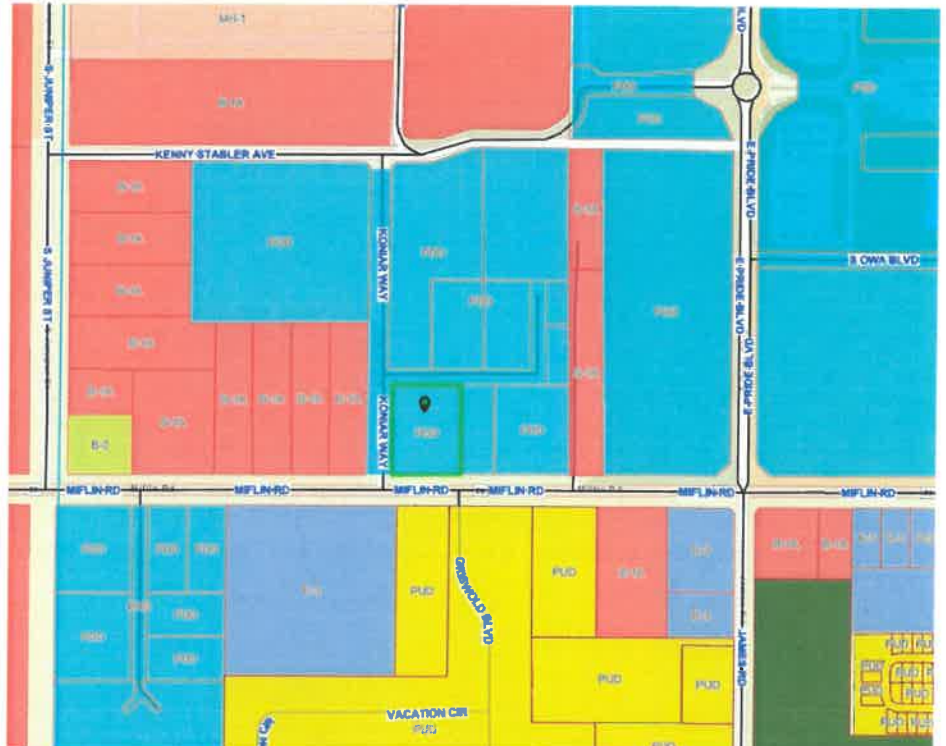
CURRENT ZONING:
PDD (Planned
Development District)

REQUESTED ZONING:
n/a

ADJACENT ZONING:
PDD, B-1A, B-3, PUD

FUTURE LAND USE:
CPB, Civic Public
Benefit/Greenspace

EXISTING LAND USE:
Vacant



44

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - It appears the site plan meets the zoning requirements.
Sidewalks have been requested along Koniar Way & Farmers Market Lane.

ENGINEERING:

Engineering is ok with the site plan review. An LDP will be required for development.

ENVIRONMENTAL:

Angie Eckman - Not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed

March 27, 2023

Project Narrative

Project: Cobblestone Hotel & Suites
Corner of Milflin Road and Koniar Way
Foley, AL 36535

BriMark Builders LLC is requesting site plan review and approval for the development of a new Cobblestone Hotel & Suites located on the northeast corner of the intersection of Milflin Road and Koniar Way (west of 20801 Milflin Road; the property is more specifically identified as parcel identification number (PIN) 352424, in the City of Foley. The property is currently owned by the City of Foley Public Facilities Co-op District and is zoned PDD (Planned Development District) Special Use. The proposed hotel use is a permitted use in the Planned Development District. The property is 2.15 acres in size and 3.40 acres will be disturbed for the proposed project.

The proposed hotel will be a four (4)-story, 40,487 square foot building with 73 guest rooms, a breakfast area/bar, an outdoor pool, and an outdoor seating area/patio. The hotel will be located on the north side of the site with a surface parking lot to the south of the building. The patio will be located west of the northwest corner of the hotel and the pool will be to the east. Adequate parking will be provided with 86 spaces [including four (4) handicap accessible stalls]. A waste enclosure is proposed in the northeast corner of the parking lot. Access to the hotel is proposed via Koniar Way.

The stormwater from the proposed development will drain to inlets that will then discharge the stormwater to an existing wet pond on the property to the east that is owned by the City; the pond will be enlarged to accommodate the increased stormwater resulting from the proposed hotel development. Municipal water and sanitary service is available to the site. Landscaping will be provided in accordance with the City ordinance, in an approach which ensures species resiliency and complimentary aesthetics. Site lighting will also meet the City ordinance requirements in a fashion that provides appropriate light intensity levels for safety while at the same time limiting light trespass onto adjacent properties and public rights-of-way.

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

48
EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

COLLABORATION
BM
BriMark
Builders, LLC

PROJECT INFORMATION

NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES
MIFLIN ROAD • FOLEY, ALABAMA

PROFESSIONAL SEAL

PRELIMINARY DATES

MAR. 8, 2023
MAR. 10, 2023
MAR. 27, 2023

JOB NUMBER

2274280

SHEET NUMBER

C1.1

2021 © EXCEL ENGINEERING, INC.

SITE INFORMATION:

PROPERTY AREA: 93,468 S.F. (2.15 ACRES).
EXISTING ZONING: PLANNED DEVELOPMENT DISTRICT SPECIAL USE
PROPOSED ZONING: PLANNED DEVELOPMENT DISTRICT SPECIAL USE
PROPOSED USE: HOTEL (4 STORY, 73 GUEST ROOM)
AREA OF SITE DISTURBANCE: 148,110 S.F. (3.40 ACRES)
SETBACKS: BUILDING: FRONT = 0'
SIDE = 15'
REAR = 0'
PAVEMENT: FRONT = 0'
SIDE = 15'
REAR = 0'
PROPOSED BUILDING HEIGHT: 48' (MAX. HEIGHT ALLOWED: 85')
PARKING REQUIRED: 1.1 SPACES PER GUEST BEDROOM. (81 SPACES REQ.)
PARKING PROVIDED: 88 SPACES (4 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 4, HANDICAP STALLS PROVIDED: 4
MAXIMUM PDD COVERAGE - BUILDING ONLY: 20%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.15	93,468	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	2.15	93,468	100.0%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.15	93,468	
BUILDING FLOOR AREA	0.23	9,940	10.6%
PAVEMENT (ASP. & CONC.)	1.19	51,766	55.4%
TOTAL IMPERVIOUS	1.42	61,706	66.0%
LANDSCAPE/ OPEN SPACE	0.73	31,762	34.0%

SITE PLAN KEYNOTES

- MEDIUM DUTY ASPHALT PAVEMENT SECTION (TYP.)
- CONCRETE SIDEWALK (TYP.)
- MEDIUM DUTY CONCRETE (TYP.)
- CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
- THICKENED EDGE CONCRETE SIDEWALK (TYP.) (SEE DETAIL)
- FLUSH CONCRETE WALK (TYP.)
- WARP ASPHALT UP 6" IN 10' (FLUSH). SEE SHEET C1.2 FOR ELEVATIONS.
- CURB RAMP PER CITY STANDARDS (TYP.)
- 18" CURB & GUTTER (TYP.)
- CURB TAPER (TYP.)
- CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
- HANDICAP SIGN (4 TYP.)
- HANDICAP STALL & STRIPING PER STATE CODES. (TYP.)
- PRECAST CONCRETE WHEEL STOP (7 TYP.)
- DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
- CANOPY. (SEE ARCH PLANS)
- COLUMN (TYP.) (SEE ARCH/STRUCT PLANS)
- 4" CONCRETE PATIO W/ FENCE. SEE ARCH PLANS FOR FENCE SPECIFICATION. (TYP.)
- KNOX BOX LOCATION (TYP.)
- ACCESSIBLE SIDEWALK ACCESS. SEE SHEET C2.0
- POOL AREA WITH FENCE. SEE ARCH PLANS.
- CONCRETE SIDEWALK PER CITY STANDARDS (TYP.)
- MEDIUM DUTY ASPHALT PAVEMENT SECTION PER CITY STANDARDS (TYP.)
- 24" CURB & GUTTER PER CITY STANDARDS (TYP.)
- CURB TO BE PAINTED RED AT FDC LOCATION (SEE SHEET C1.3)
- PROPOSED 5' SIDEWALK EASEMENT TO CITY OF FOLEY ALONG NORTH PROPERTY LINE (TYP.)

PAVEMENT HATCH KEY:

- MEDIUM DUTY ASPHALT PAVEMENT SECTION
- SIDEWALK/PATIO CONCRETE
- MEDIUM DUTY CONCRETE
- STAMPED CONCRETE



CIVIL SITE PLAN

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-826-9800
excelengineer.com

COLLABORATION



BriMark
Builders, LLC

PROJECT INFORMATION

NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES
MIFLIN ROAD • FOLEY, ALABAMA

PROFESSIONAL SEAL

PRELIMINARY DATES

MAR. 10, 2023
MAR. 27, 2023

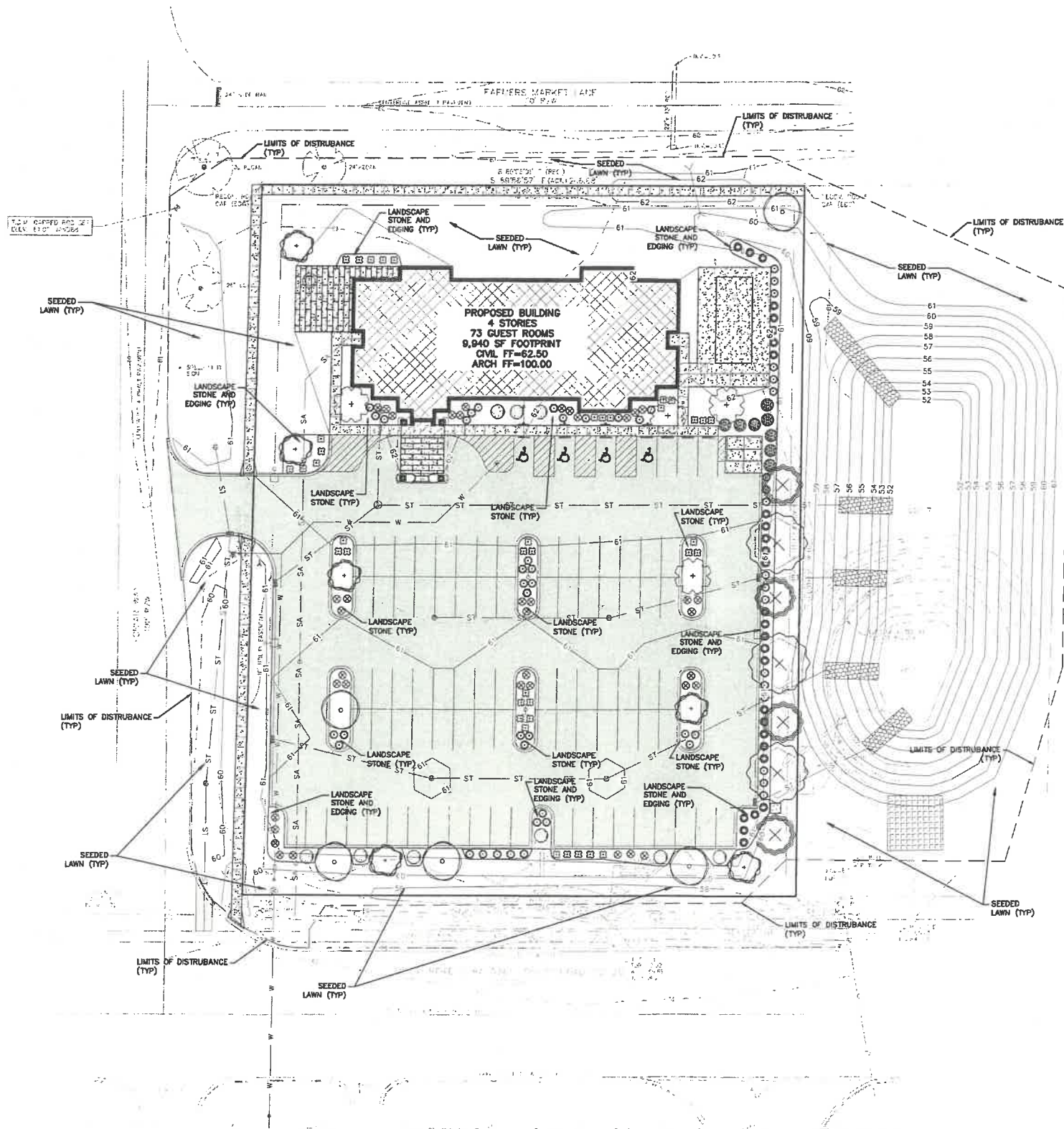
JOB NUMBER

2274280

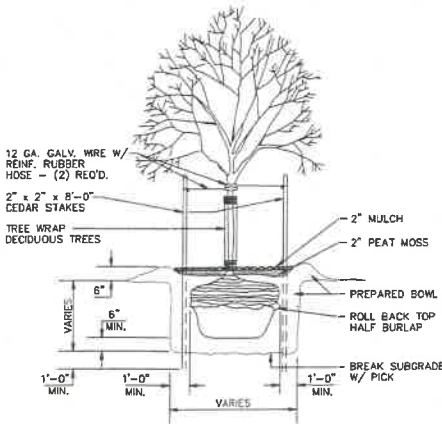
SHEET NUMBER

C1.4

2011 © EXCEL ENGINEERING, INC.

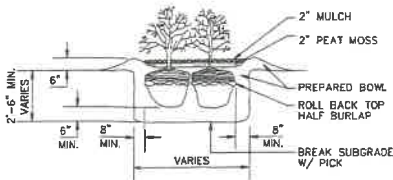


LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
⊗	Allegheny Serviceberry	Amelanchier laevis	2.5"	4
⊗	Florida Maple	Acer floridanum	2.5"	6
⊗	Redmond Linden	Tilia americana	2.5"	5
EVERGREEN TREES				
⊗	Virginia Pine	Pinus virginiana	6"	4
⊗	Eastern Red Cedar	Juniperus virginiana	6"	3
DECIDUOUS SHRUBS				
⊗	Silky Dogwood	Cornus amomum	30"-36"	38
⊗	Emerald Mound Honeysuckle	Lonicera x xystoleum 'Emerald Mound'	15"-18"	9
⊗	Barberry Concorde	Barberis thunbergii 'concorde'	24"	39
⊗	Techny Arborvitae	Thuja occidentalis	42"-48"	8
EVERGREEN SHRUBS				
⊗	Wintergreen Boxwood	Buxus sinica var insularis 'Wintergreen'	18"	53
⊗	Blue Star Juniper	Juniperus squamata 'Blue Star'	18"	28

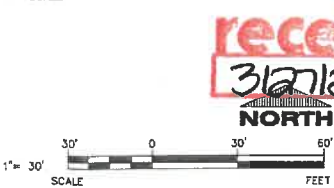


TREE PLANTING DETAIL
NO SCALE

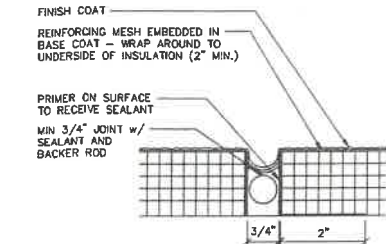
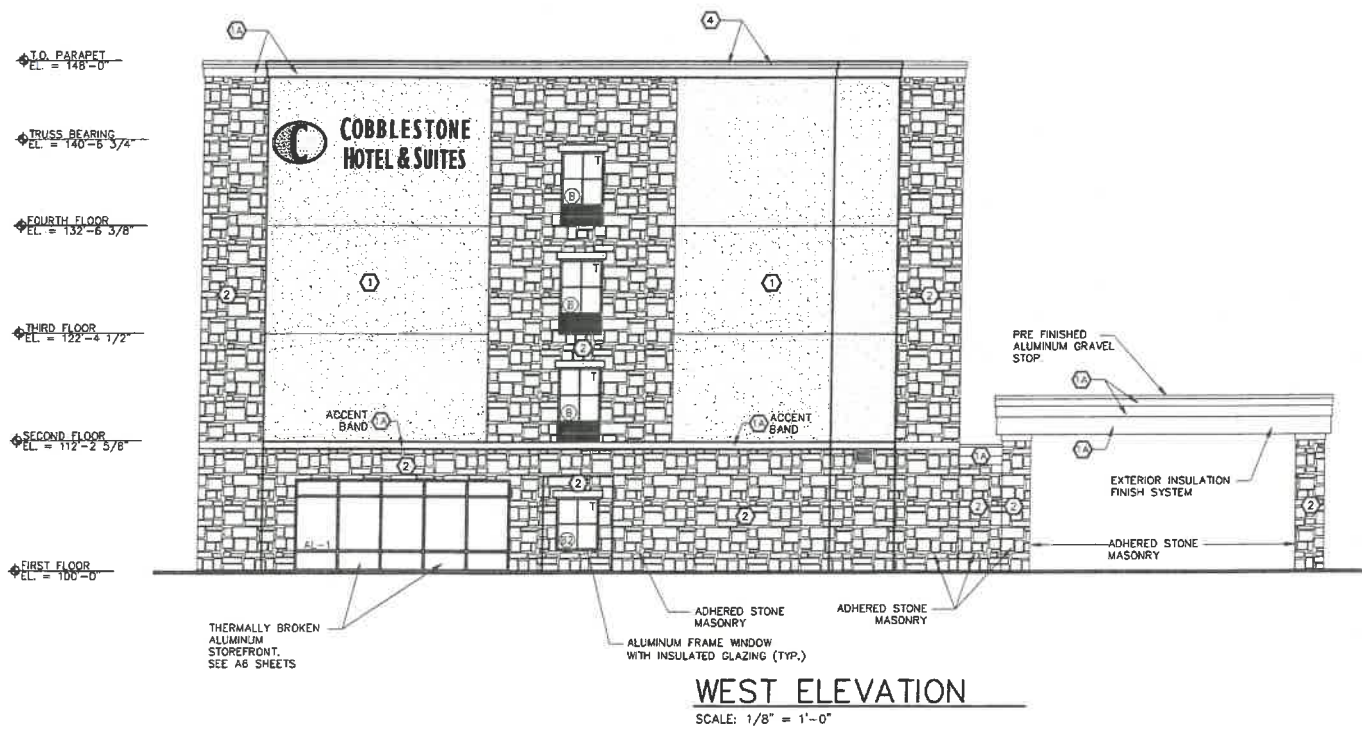
NOTE:
FOR MASS PLANTINGS
EXCAVATE ENTIRE
BED & BACKFILL
W/ PREPARED SOIL.



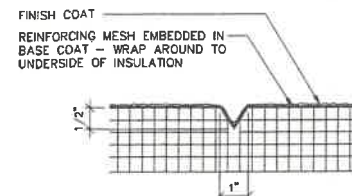
SHRUB PLANTING DETAIL
NO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN



1 CONTROL JOINT DETAIL
A2.0 SCALE: 6" = 1'-0"



2 'V' GROOVE DETAIL
A2.0 SCALE: 6" = 1'-0"

EXTERIOR COLORS		
EIFS COLOR #1	①	TOTAL WALL, NATURAL SILK
EIFS COLOR #2	1A	TOTAL WALL, CUSTOM DARK BROWN TO MATCH ROOF COPING
STONE	②	ADHERED STONE VENEER CENTURION 'CATHEDRAL' COLOR: ROSEWOOD
NOT USED	③	NOT USED
METAL COPING COLOR	④	MIDNIGHT BRONZE BY MULE-HIDE OR SIMILAR TO MATCH EIFS TRIM COLOR

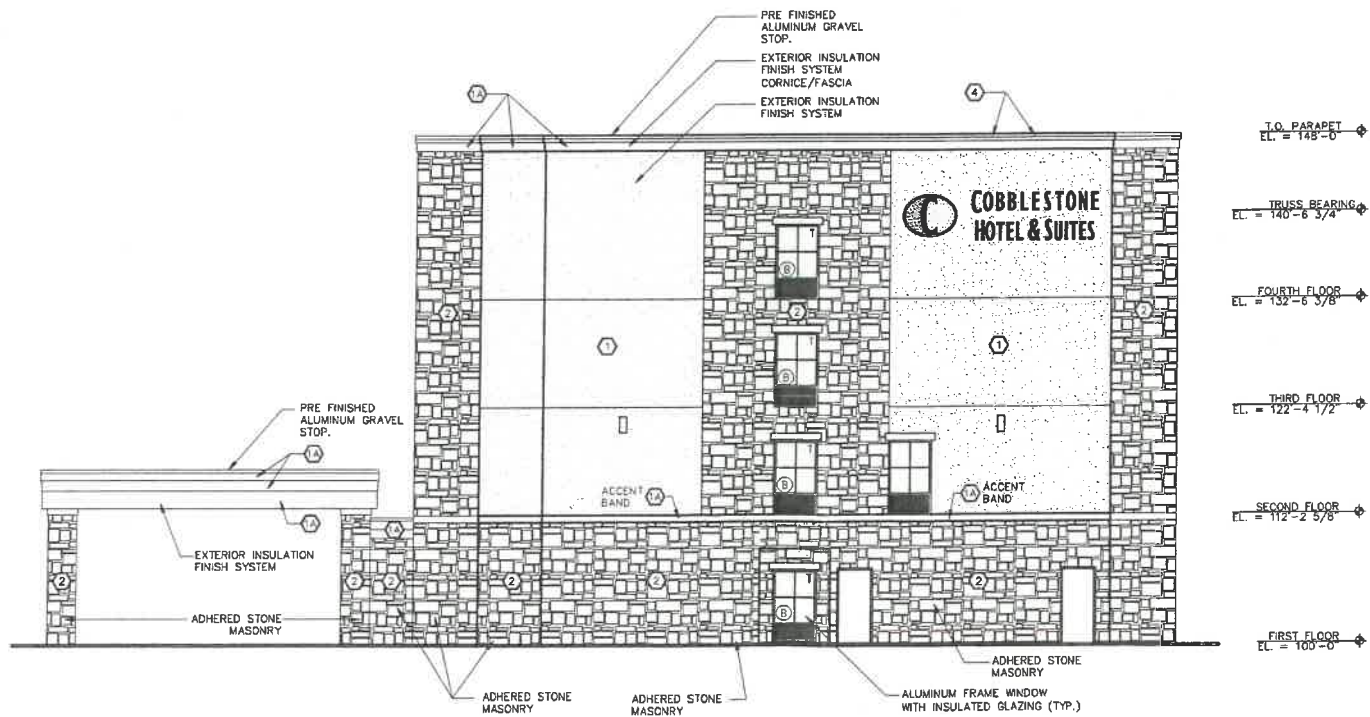
WINDOW SCHEDULE			
SYM.	MATL	DESCRIPTION	ROUGH OPENING UNIT SIZE WALL
A	ALUMINUM	FIXED WINDOW	UNIT: (1) 5'-0" X 5'-0" + PTAC GRILLE
A1	NOT USED	NOT USED	NOT USED
B	ALUMINUM	FIXED WINDOW	UNIT: (1) 4'-0" X 5'-0" + PTAC GRILLE
B2	ALUMINUM	FIXED WINDOW	UNIT: (1) 4'-0" X 5'-0" NO PTAC GRILLE
C	NOT USED	NOT USED	NOT USED
D	ALUMINUM	FIXED WINDOW	UNIT: (1) 5'-0" X 7'-0" NO PTAC GRILLE

- PER IBC 2406.4.2 SAFETY GLAZING ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24"
- WINDOW MANUFACTURER SHALL REVIEW WINDOW LOCATIONS AND PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY IBC CHAPTER 24.
- WINDOW COLOR: QUAKER TRADITIONAL SERIES T200, DARK BRONZE (TYP.)



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR COLORS		
EIFS COLOR #1	①	TOTAL WALL, NATURAL SILK
EIFS COLOR #2	①A	TOTAL WALL, CUSTOM DARK BROWN TO MATCH ROOF COPING
STONE	②	ADHERED STONE VENEER CENTURION 'CATHEDRAL' COLOR: ROSEWOOD
NOT USED	③	NOT USED
METAL COPING COLOR	④	MIDNIGHT BRONZE BY MULE-HIDE OR SIMILAR TO MATCH EIFS TRIM COLOR

WINDOW SCHEDULE			
SYM.	MATL.	DESCRIPTION	ROUGH OPENING UNIT SIZE WxH
A	ALUMINUM	FIXED WINDOW	UNIT: (1) 5'-0" X 5'-0" + PTAC GRILLE
A	NOT USED	NOT USED	NOT USED
B	ALUMINUM	FIXED WINDOW	UNIT: (1) 4'-0" X 5'-0" + PTAC GRILLE
B	ALUMINUM	FIXED WINDOW	UNIT: (1) 4'-0" X 5'-0" NO PTAC GRILLE
C	NOT USED	NOT USED	NOT USED
D	ALUMINUM	FIXED WINDOW	UNIT: (1) 5'-0" X 7'-0" NO PTAC GRILLE

- PER IBC 2408.3.6 SAFETY GLAZING ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24"
- WINDOW MANUFACTURER SHALL REVIEW WINDOW LOCATIONS AND PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY IBC CHAPTER 24.
- WINDOW COLOR: QUAKER TRADITIONAL SERIES T200, DARK BRONZE (TYP.)

received
3/27/23 eep

ARCHITECTURAL EXTERIOR ELEVATIONS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-826-9800
excelengineer.com

COLLABORATION



PROJECT INFORMATION

NEW HOTEL FOR:
COBBLESTONE HOTEL AND SUITES

MIFLIN ROAD • FOLEY, ALABAMA

PROFESSIONAL SEAL

PRELIMINARY DATES

MAR. 10, 2023

JOB NUMBER

2274280

SHEET NUMBER

A2.1

2021 © EXCEL ENGINEERING, INC.



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

50

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: City of Foley Public Works

REQUEST: Site Plan Review

OWNER / APPLICANT:
City of Foley

ACREAGE: ±13.59 ac

PIN#(s):
67658 & 400001

LOCATION: SE corner of
N Poplar & E Section

PROJECT DESCRIPTION:
Public Works campus
(PW staff, Eng staff, Street
Dept, Commercial &
Residential Sanitation,
Maintenance Shop, Fuel
Island)

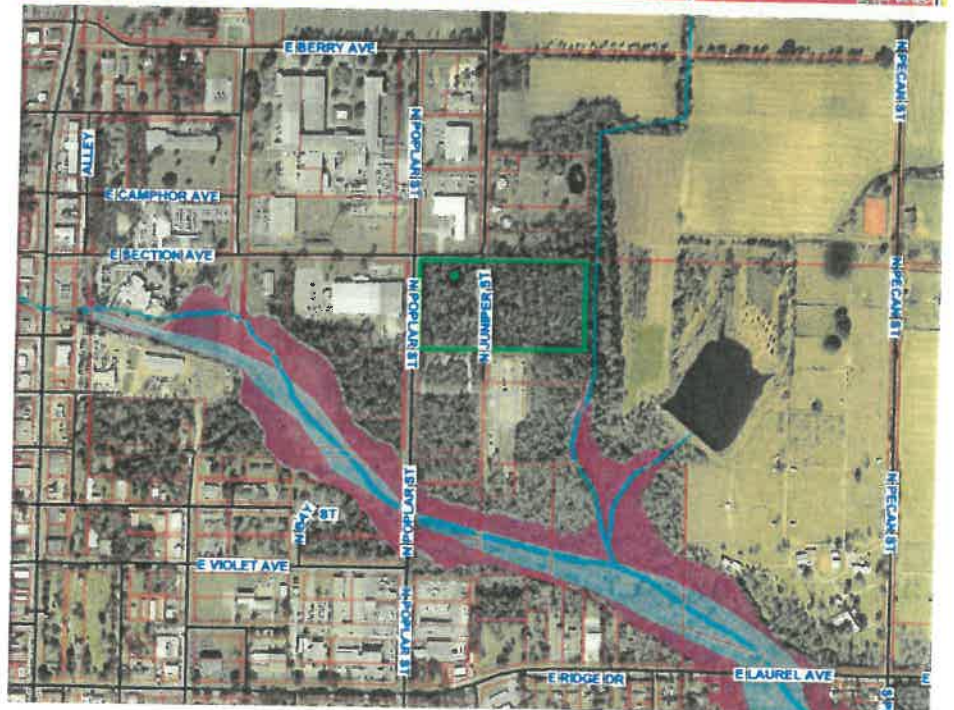
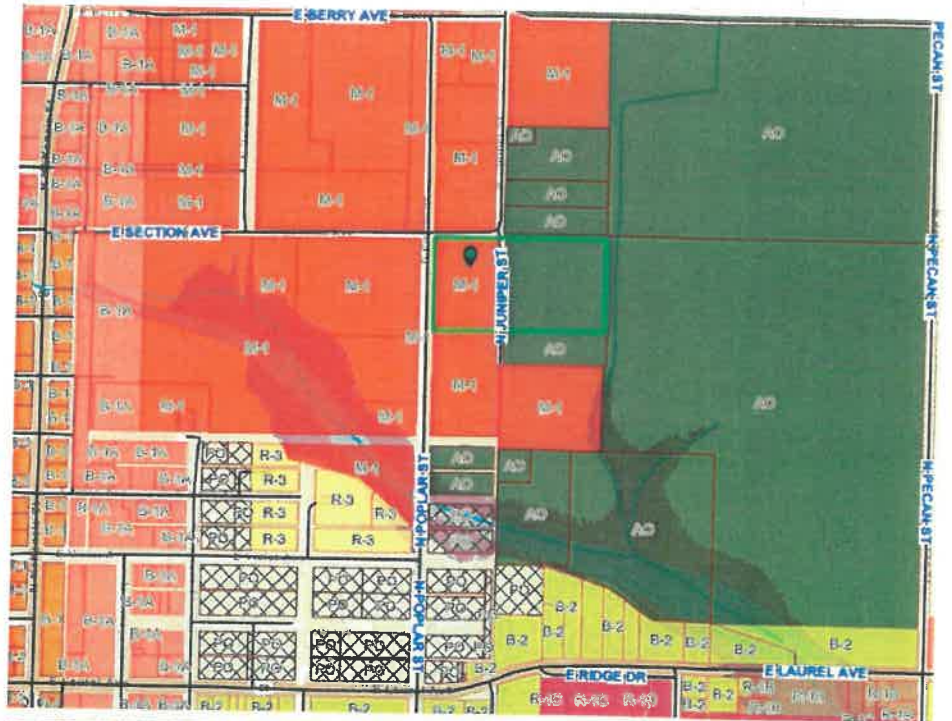
CURRENT ZONING:
M-1 (Light Industry) &
AO (Agricultural/Open)

REQUESTED ZONING:
n/a

ADJACENT ZONING:
M-1 & AO

FUTURE LAND USE:
IN, Industrial District

EXISTING LAND USE:
Vacant



53

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - The site plan appears to meet the zoning requirements. However the sign drawings had no dimensions so we could not check them for compliance.

ENGINEERING:

Engineering recommends approval.

ENVIRONMENTAL:

Angie Eckman - Not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed

54

Attached are exhibits for the PC meeting.

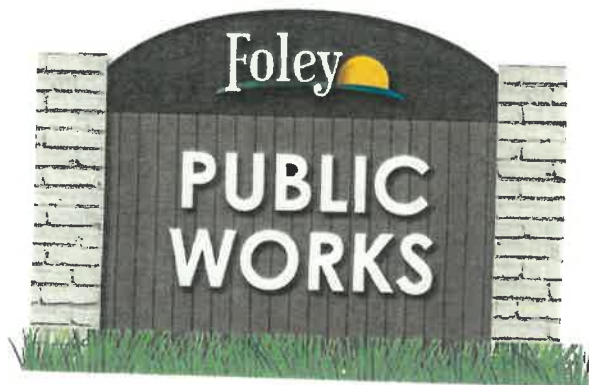
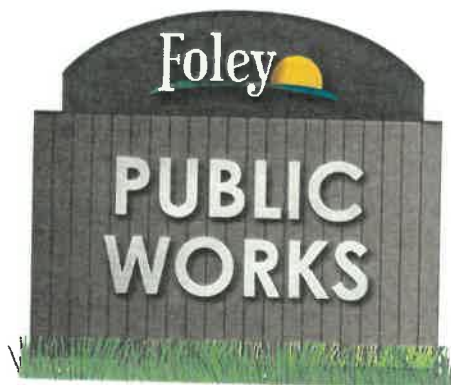
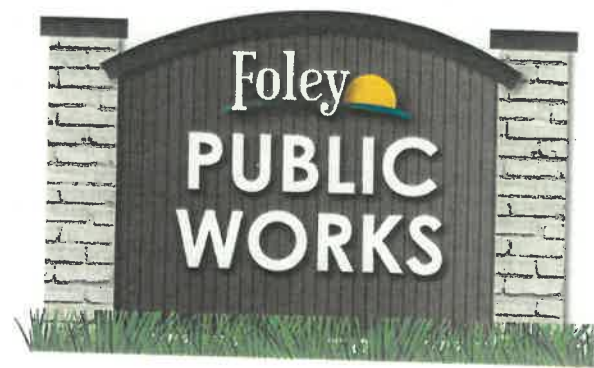
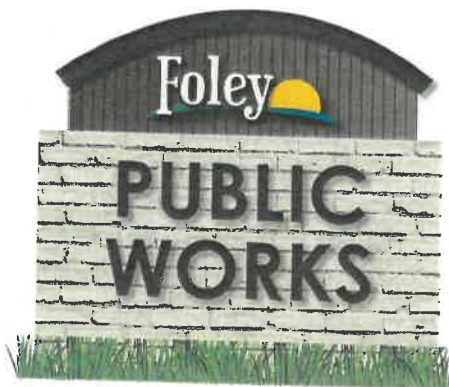
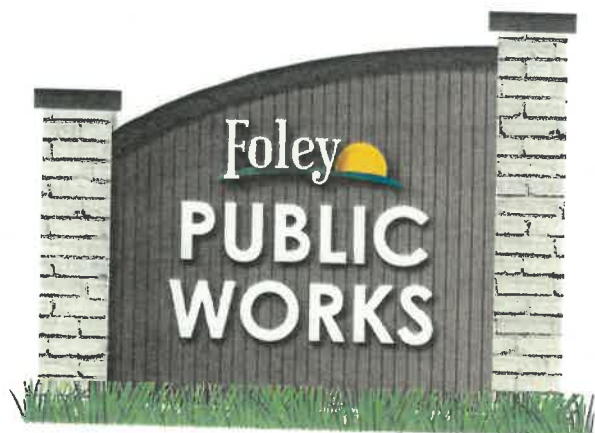
There is no landscaping on either side.

Our new Public Works Facility at the corner of Section and Poplar Streets will include a new Public Works office complex, street and sanitation building, shop, sheds, wash station and fuel island. It is replacing the current facility due to the City's past and future growth. The west side of the complex was designed to save as many surveyed large tree clusters as possible including Magnolias, Cedar and Oaks. On the east side we saved a tree cluster with wild Gumpo Azaleas and a Live Oak that is at least 150-200 years old and a large undisturbed buffer on the east property line.

The sign design task was given to Ladonna and Fletcher and they came up with several concepts. We chose the design to best fit the architectural style of the Public Works building.

Jeff

3/27/23
RECEIVED



RECEIVED
3/27/23
AL

55

0 30 60
SCALE: 1" = 30'



ENGINEERING DESIGN
TECHNOLOGIES, INC.
215 19th Street North, Suite 201
Birmingham, AL 35203
office 205.942.8630
www.EDTinc.net

NOT FOR
CONSTRUCTION
100% SUBMISSION
03-22-2023

CITY OF FOLEY, AL
PUBLIC WORKS COMPLEX

OWNER
City of Foley, AL
POPLAR ST N
Foley, Alabama

ISSUE DATE
03-22-2023

ISSUED
NOT FOR CONSTRUCTION

BAC NUMBER

PROJECT NUMBER
22E-02-11000

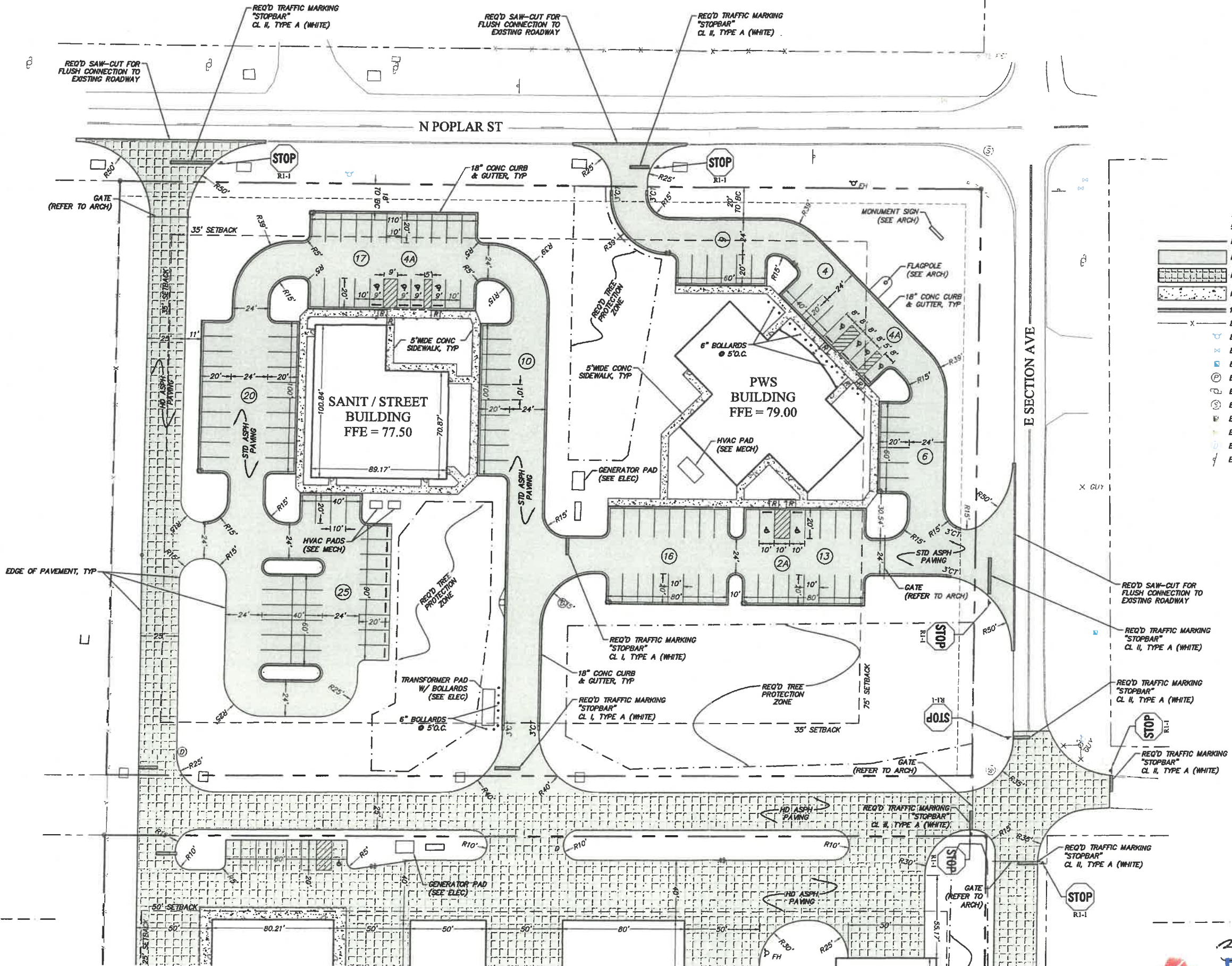
REVISIONS
No. Description Date

DRAWING TITLE
SITE PLAN

DRAWING NO.
C-201

LEGEND

- PROPERTY LINE
- MED DUTY ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING
- MED DUTY CONC PAVING
- 18" CONC CURB & GUTTER
- EX FENCE
- EX FIRE HYDRANT
- EX WATER VALVE
- EX WATER METER
- EX POWER MANHOLE
- EX POWER POLE
- EX SANITARY MANHOLE
- EX GAS METER
- EX GAS VALVE
- EX DRAINAGE MANHOLE
- EX SIGN



3/21/23
RECEIVED

SCALE: 1" = 40'



Sign of Quality

ENGINEERING DESIGN
TECHNOLOGIES, INC.

215 19th Street North, Suite 201
Birmingham, AL 35203
office 205.942.8630
www.EDTinc.net

NOT FOR
CONSTRUCTION
100% SUBMISSION
03-22-2023

CITY OF FOLEY, AL
PUBLIC WORKS COMPLEX

OWNER
City of Foley, AL
POPLAR ST N
Foley, Alabama

ISSUE DATE
03-22-2023

ISSUED
NOT FOR CONSTRUCTION

BAC NUMBER

PROJECT NUMBER
22E-02-11000

REVISIONS
No. Description Date

DRAWING TITLE
SITE MASTER PLAN

DRAWING NO.
C-200

N POPLAR ST

E SECTION AVE

PWS
BUILDING
FFE = 79.00

SANIT / STREET
BUILDING
FFE = 77.50

FUEL
STATION
FFE = 76.00

EQUIPMENT SHED 2
FFE = 73.50

EQUIPMENT SHED 1
FFE = 73.00

MAINTENANCE SHOP
FFE = 72.50

WASH
STATION

DETENTION
POND

WETLANDS
PER WETLAND DELINEATION
REPORT PROVIDED BY VOLKERT,
INC. DATED DECEMBER 2022

75' SETBACK

REQ'D TREE
PROTECTION
ZONE

35' SETBACK

REQ'D TREE
PROTECTION
ZONE

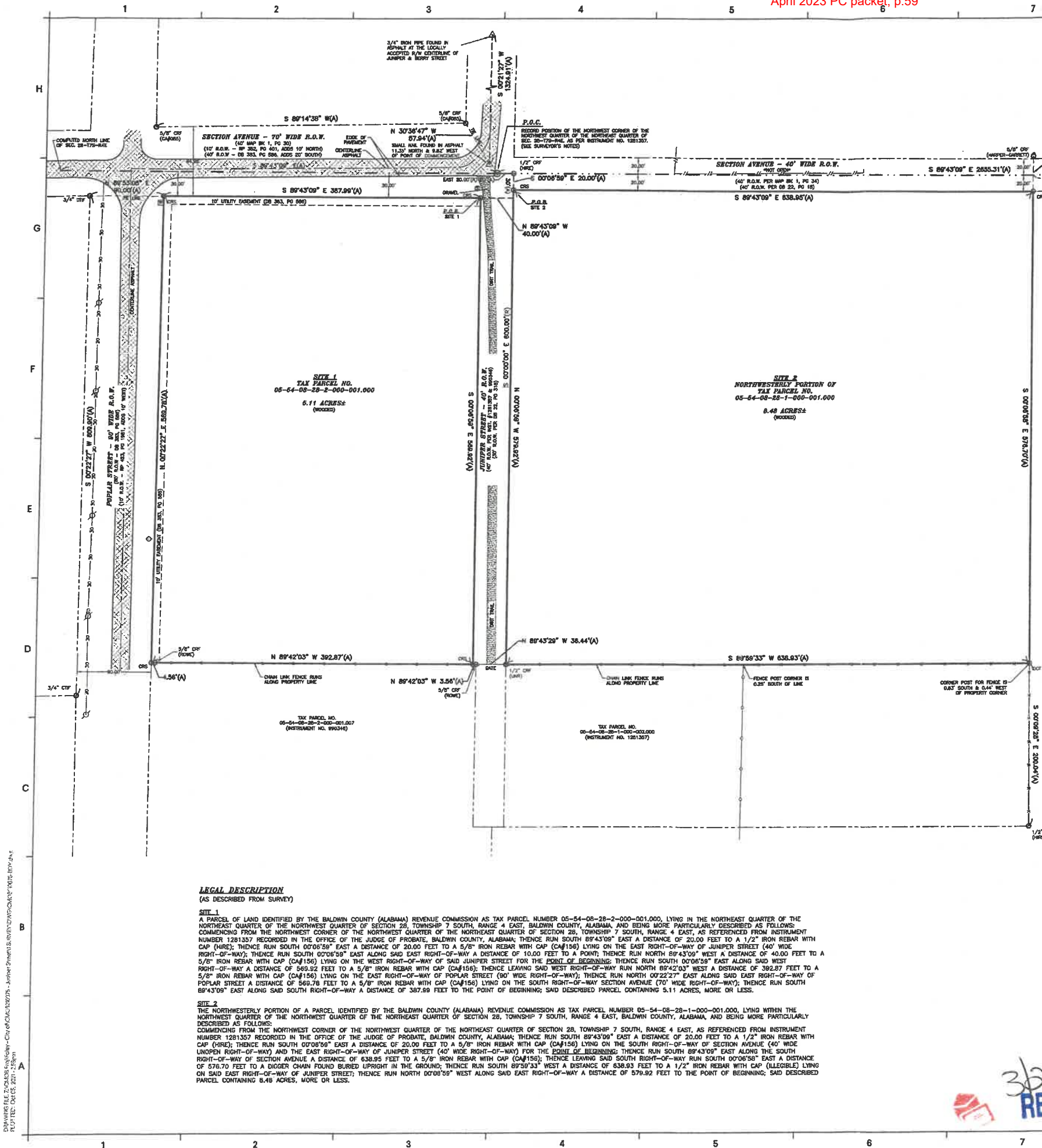
35' SETBACK

50' SETBACK

25' SETBACK

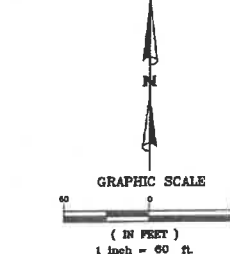
30' BUFFER ZONE

30' BUFFER ZONE



REMAINING PORTION OF
TAX PARCEL NO.
05-54-08-28-1-000-001.000

- LEGEND**
- | | |
|---|------------------------------|
| P.O.C. POINT OF COMMENCEMENT | TELEPHONE BOX (VAULT) |
| P.O.B. POINT OF BEGINNING | WATER METER |
| (A) ACTUAL | SANITARY SEWER VALVE |
| (R) RECORDED DEED, INSTRUMENT NO. 1281357 | WATER VALVE |
| (P) PLAT OF RECORD | GAS VALVE |
| (C) COMPUTED | TRANSFORMER BOX |
| OP OPEN TOP IRON PIPE FOUND | LIGHT POLE |
| BP BORN PIN FOUND | CABLE TV BOX |
| CTF CRIMP TOP IRON PIPE FOUND | ELECTRIC BOX |
| CRF CRIMP REBAR FOUND | ELECTRIC PANEL |
| RRF 1/2" REBAR FOUND | IRRIGATION CONTROL VALVE |
| CRS 1/2" CAPPED REBAR SET STAMPED CA#156 | SANITARY SEWER MANHOLE |
| CMF CONCRETE MONUMENT FOUND | STORM DRAIN MANHOLE |
| CSF CONCRETE CHAIN FOUND | TELEPHONE MANHOLE |
| LS# LICENSED PROFESSIONAL SURVEYOR'S NUMBER | SEWER CLEANOUT |
| CA# CERTIFICATE OF AUTHORIZATION NUMBER | SEWER GRINDER PUMP |
| (DST) DISTURBED | GRASS TRAP |
| (RPT) REFERENCE CORNER SET ON LINE | FLAG POLE |
| (UNR) UNREADABLE | GAS LINE SIGN MARKER |
| INST # INSTRUMENT NUMBER | TELEPHONE SIGN MARKER |
| SECT # SECTION | WATERLINE MARKER |
| T- TOWNSHIP | FIBER OPTIC LINE MARKER |
| R- RANGE | EXCEPTION |
| POW POWER POLE | UNDERGROUND FIBER OPTIC LINE |
| GW GUY WIRE | OVERHEAD ELECTRIC |
| R/W RIGHT-OF-WAY | BURIED ELECTRIC LINE |
| R/O RIGHT-OF-WAY | UNDERGROUND TELEPHONE LINE |
| FW FIRE HYDRANT | UNDERGROUND SEWER LINE |
| SGN SIGN | UNDERGROUND WATERLINE |
| TEL TELEPHONE PEDESTAL | UNDERGROUND GAS LINE |
| ELM ELECTRIC METER BOX | UNDERGROUND TELEVISION |
| UNJ UNDERGROUND JUNCTION BOX | AIR CONDITIONER |
| EL ELEVATION | SPOT GRADE ELEVATIONS |
| INV INVERT | CMF CORRUGATED METAL PIPE |
| | RCF REINFORCED CONCRETE PIPE |
| | CPP CORRUGATED PLASTIC PIPE |



- GENERAL SURVEYOR'S NOTES**
- SOURCES OF INFORMATION USED TO FACILITATE THIS SURVEY WERE PREVIOUS SURVEYS BY THIS AND OTHER FIRMS, THE RECORDED SUBDIVISION PLAT, AND/OR OTHER RECORDED DOCUMENTS SHOWN HEREON.
 - NO TITLE SEARCH, TITLE OPINION OR ABSTRACT WAS PERFORMED BY THIS FIRM. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS OF RECORD WHICH COULD AFFECT THE BOUNDARIES OF THIS PROPERTY THAT WERE NOT FURNISHED AT TIME OF SURVEY.
 - FIELD WORK FOR THIS SURVEY WAS COMPLETED OCTOBER 2021.
 - ALL BEARINGS ARE BASED ON NORTH AMERICAN DATUM 1983, ALABAMA WEST ZONE; STATE PLANE GRID NORTH; DERIVED BY GLOBAL POSITIONING SYSTEM OBSERVATION; ALL DISTANCES SHOWN ARE GROUND DISTANCES. ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH U.S. STANDARD FEET.
 - THE SURVEYED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SCALED FROM FLOOD INSURANCE RATE MAP NO. 0100300818M, WITH A REVISED DATE OF IDENTIFICATION OF APRIL 18, 2019, FOR COMMUNITY NO. 010007, IN BALDWIN COUNTY, STATE OF ALABAMA.
 - NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED UNLESS SHOWN.
 - THIS IS A BOUNDARY SURVEY.
 - THERE WERE NO DEEDS OF RECORD PROVIDED TO OR FOUND BY GMC. SITE 1 HAS AN INDEPENDENT BALDWIN COUNTY REVENUE TAX PARCEL NUMBER. SITE 2 IS A PORTION OF A LARGER TRACT AND MEETS THE 4.2.E EXEMPTION FROM SUBDIVISION REQUIREMENTS AS PER THE CITY OF FOLEY'S SUBDIVISION REGULATIONS.
 - INSTRUMENT NUMBER 1281357 DESCRIBES THE ADJOINING PARCEL SOUTH OF SITE 2. THE RECORD DIMENSIONS TO THE SECTION TIE WERE ROTATED AND REFERENCED TO THE CORNER MARKERS SHOWN ON THE EAST RIGHT-OF-WAY OF JUNIPER STREET (40' R/W) ADJOINING THE WEST LINE OF SITE 2. INSTRUMENTS 1281357 & 560346 CALL FOR JUNIPER STREET TO BE A 40' R.O.W. DEED BOOK 22, PAGE 318 CALLS FOR A 30' STRIP LAND WITHIN THIS RIGHT-OF-WAY.
 - CORNER MARKERS (1/2" CRF-HIRE & 1/2" CRF-UNR) FOUND ALONG THE WEST SIDE OF SITE 2 WERE HELD AS THE EAST RIGHT-OF-WAY OF JUNIPER STREET. THE WEST RIGHT-OF-WAY OF POPLAR STREET WAS DETERMINED BY HOLDING THE TWO FOUND 3/4" CRIMPED TOP IRON PIPES.

SURVEYOR'S CERTIFICATION

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

 JARRET L. SMITH, PLS
 ALABAMA LICENSE NUMBER 27403
 DATE 10/15/2021



BOUNDARY SURVEY
JUNIPER STREET DIVISION
FOR THE CITY OF FOLEY

SEC. 28-T7S-R4E
FOLEY, AL
GMC Project #
CMOB210075

2039 Main Street
Daphne, AL 36526
T 251.626.2626
GMCNETWORK.COM



GOODWYN MILLS CAWOOD, LLC

DRAWN BY: ISL
CHECKED BY: ISL

Sheet 1 of 1

59



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: Lots 1-10 of Magnolia Land Co Addition to Foley

REQUEST: Minor/Exempt Lot Line Shift

OWNER / APPLICANT:
Island Time Aerial LLC /
Engineering Design Group

ACREAGE: .72 ac

PIN#(s): 43123

LOCATION:
307 S McKenzie St

PROJECT DESCRIPTION:
Adjusting the lot line that
runs east between the old
Western Auto & Radio
Shack buildings

CURRENT ZONING:
B-1

REQUESTED ZONING:
N/A

ADJACENT ZONING:
B-1 & B-1A

FUTURE LAND USE:
MxU

EXISTING LAND USE:
Commercial



60

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - This meets/exceeds the B1 zoning requirements. It appears the line is being moved to meet the existing building structures.

ENGINEERING:

Engineering recommends approval.

ENVIRONMENTAL:

Angie Eckman - Not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Recommend Approval

NOTES:

- BEARINGS SHOWN HEREON ARE RELATIVE TO THE ALABAMA STATE PLANE COORDINATE SYSTEM GRID AZIMUTH (ALABAMA WEST ZONE) (NAD 83) AND WERE DETERMINED USING GPS OBSERVATION.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR ALABAMA (COMMUNITY PANEL 01003C818M, EFFECTIVE DATE APRIL 19, 2019), THIS SITE LIES WITHIN ZONE X, DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
- THIS SURVEY IS VALID ONLY WITH AN ORIGINAL SIGNATURE AND A LEGIBLE SEAL.

OWNER

FOLEY AND COMPANY LLC
P O BOX 1047, FOLEY, AL 36536

SURVEYOR

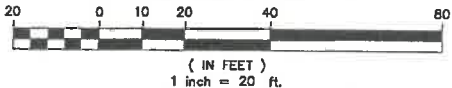
ENGINEERING DESIGN GROUP, LLC
1000 EAST LAUREL
FOLEY, AL 36535
(251) 943-8960
CONTACT: CRAIG JOHNSON, P.L.S.

SITE DATA

TOTAL ACREAGE = 0.72 AC
NUMBER OF LOTS = 2



GRAPHIC SCALE



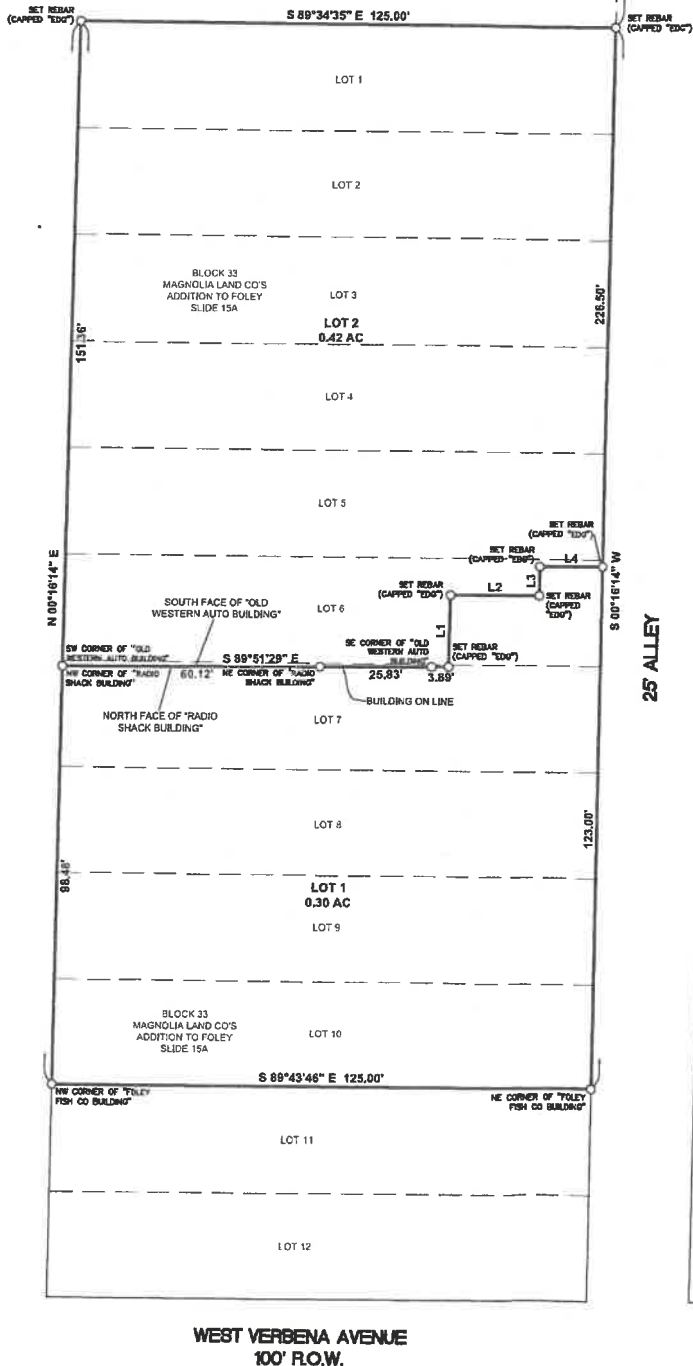
DESCRIPTION OF RECORD:

LOTS 1 THROUGH 10, INCLUSIVE, OF BLOCK 33, MAGNOLIA SPRINGS LAND COMPANY'S SUBDIVISION OF FOLEY, ACCORDING TO THE OFFICIAL PLAT THEREOF RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE OF BALDWIN COUNTY, ALABAMA IN MAP BOOK 1, PAGE 28, LESS AND EXCEPT LAND COMPANY'S ADDITION TO FOLEY AS RECORDED IN MAP BOOK 1, PAGE 25 OF THE BALDWIN COUNTY PROBATE RECORDS; RUN THENCE SOUTH FOR 151.71 FEET TO THE POINT OF BEGINNING; RUN THENCE NORTH 89 DEGREES 51 MINUTES 29 SECONDS EAST FOR 0.26 FEET TO THE SOUTHWEST CORNER OF THE PRESENT WESTERN AUTO BUILDING (ALSO BEING THE NORTHWEST CORNER OF THE PRESENT RADIO SHACK BUILDING); THENCE CONTINUE NORTH 89 DEGREES 51 MINUTES 29 SECONDS EAST ALONG THE SOUTH FACE OF THE WESTERN AUTO BUILDING, SAID SOUTH FACE ALSO BEING THE NORTH WALL OF THE RADIO SHACK BUILDING, FOR 60.12 FEET TO THE NORTHEAST CORNER OF SAID RADIO SHACK BUILDING; CONTINUE THENCE, NORTH 89 DEGREES 51 MINUTES 29 SECONDS EAST AND ALONG THE SOUTH FACE OF THE WESTERN AUTO BUILDING FOR 25.63 FEET TO THE SOUTHEAST CORNER OF THE WESTERN AUTO BUILDING; THENCE CONTINUE SOUTH 89 DEGREES 51 MINUTES 29 SECONDS EAST FOR 34.77 FEET; RUN THENCE SOUTH FOR 98.6 FEET TO THE SOUTHEAST CORNER OF SAID LOT 10, BLOCK 33 OF SAID MAGNOLIA LAND COMPANY'S ADDITION TO FOLEY; RUN THENCE WEST ALONG THE SOUTH BOUNDARY OF SAID LOT 10 FOR 125.0 FEET TO THE SOUTHWEST CORNER OF SAID LOT 10; RUN THENCE NORTH FOR 98.23 FEET TO THE POINT OF BEGINNING, SAID LAND BEING A PORTION OF LOT 7 AND ALL OF LOTS 8, 9 AND 10, BLOCK 33 OF SAID MAGNOLIA LAND COMPANY'S ADDITION TO FOLEY AS RECORDED IN MAP BOOK 1, PAGE 25 OF THE BALDWIN COUNTY PROBATE RECORDS, SAID LAND BEING IN SECTION 29, TOWNSHIP 7 SOUTH, RANGE 4 WEST, BALDWIN COUNTY, FOLEY, ALABAMA.

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

SURVEYOR:

B.C. JOHNSON DATE: March 17, 2023
ALABAMA LICENSE NO. 23004



RE-SUBDIVISION OF LOTS 1-10 OF MAGNOLIA LAND CO ADDITION TO FOLEY

SITUATED IN SECTION 29,
TOWNSHIP 7 SOUTH, RANGE 4 EAST,
BALDWIN COUNTY, ALABAMA

THE PURPOSE OF THIS SURVEY IS TO ADJUST THE LOT LINE EXTENDING EASTWARD FROM THE ORIGINAL LOT LINE THAT SEPARATES THE OLD WESTERN AUTO BUILDING FROM THE OLD RADIO SHACK BUILDING NOW LABELED L1-L4

LINE	BEARING	DISTANCE
L1	N 00°27'14" E	16.89'
L2	N 90°00'00" E	20.50'
L3	N 00°04'26" E	6.83'
L4	N 81°59'22" E	14.65'

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

SIGNED THIS _____ DAY OF _____, 2023.

CITY ENGINEER

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (GAS)

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA; THIS THE _____ DAY OF _____, 2023.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (WATER)

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA; THIS THE _____ DAY OF _____, 2023.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (SEWER)

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA; THIS THE _____ DAY OF _____, 2023.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY E-911 DISADDRESSING

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE MAP WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 2023.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF ALABAMA
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT WE ARE THE OWNERS OF THE LAND SHOWN AND DESCRIBED IN THE PLAT THAT I (WE) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACE TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT

DATED THIS _____ DAY OF _____, 2023.

NAME/TITLE OF FOLEY AND COMPANY, LLC

CERTIFICATE OF APPROVAL BY NOTARY PUBLIC

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY

CERTIFY THAT _____ WHOS NAME IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL

THIS _____ DAY OF _____, 2023.

SIGNATURE OF NOTARY PUBLIC

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF ALABAMA
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT WE ARE THE OWNERS OF THE LAND SHOWN AND DESCRIBED IN THE PLAT THAT I (WE) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACE TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT

DATED THIS _____ DAY OF _____, 2023.

NAME/TITLE OF ISLAND TIME AERIAL, LLC

CERTIFICATE OF APPROVAL BY NOTARY PUBLIC

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY

CERTIFY THAT _____ WHOS NAME IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL

THIS _____ DAY OF _____, 2023.

SIGNATURE OF NOTARY PUBLIC

THE CITY OF FOLEY PUBLIC FACILITIES
COOPERATIVE DISTRICT,
an Alabama public corporation

DATE

REVISIONS

DRAWN BY: JAT
CHECKED BY: RKG

PROJECT: LOTS 1-10 OF MAGNOLIA LAND CO
ADDITION TO FOLEY

TITLE

120 BISHOP CIRCLE, SUITE 300
PELHAM, AL 35124
TEL - (205) 403-9158
FAX - (205) 403-9175

EDG
ENGINEERING DESIGN GROUP, LLC
CIVIL ENGINEERING • LAND SURVEYING
(205) 403-9158

SHEET NO.

1 OF 1



3/22/23
RECEIVED

W2



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: Resubdivision of Lot 1B Old Time Pottery

REQUEST: Minor Subdivision

OWNER / APPLICANT:
Broco Foley LLC /
Engineering Design
Group LLC

ACREAGE: 1.55 ac

PIN#(s): 399678

LOCATION: E of Hwy59,
S of Keller Rd, N of
OTP 59 access road

PROJECT DESCRIPTION:
2 lots (1.05 ac & .5 ac)

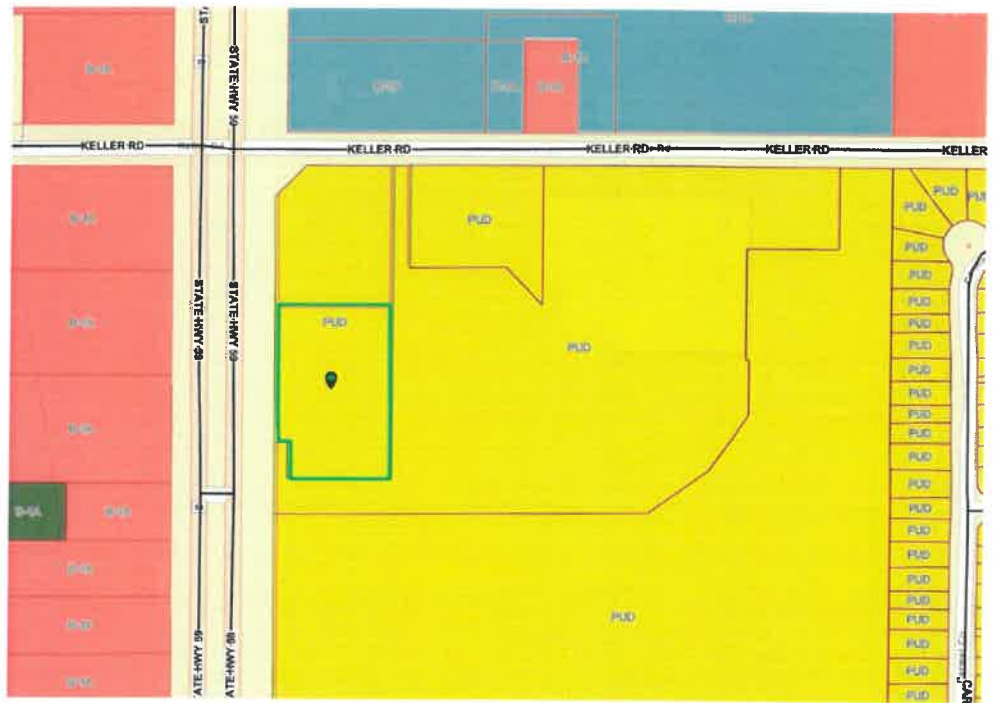
CURRENT ZONING:
PUD

REQUESTED ZONING:
N/A

ADJACENT ZONING:
PUD & B-1A

FUTURE LAND USE:
RCC, Retail/Commercial
Concentration

EXISTING LAND USE:
Vacant



03

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - The subdivision appears to meet the OTP PUD zoning.

ENGINEERING:

Engineering recommends approval. An LDP will be required prior to development.

ENVIRONMENTAL:

Angie Eckman - Environmental is not opposed

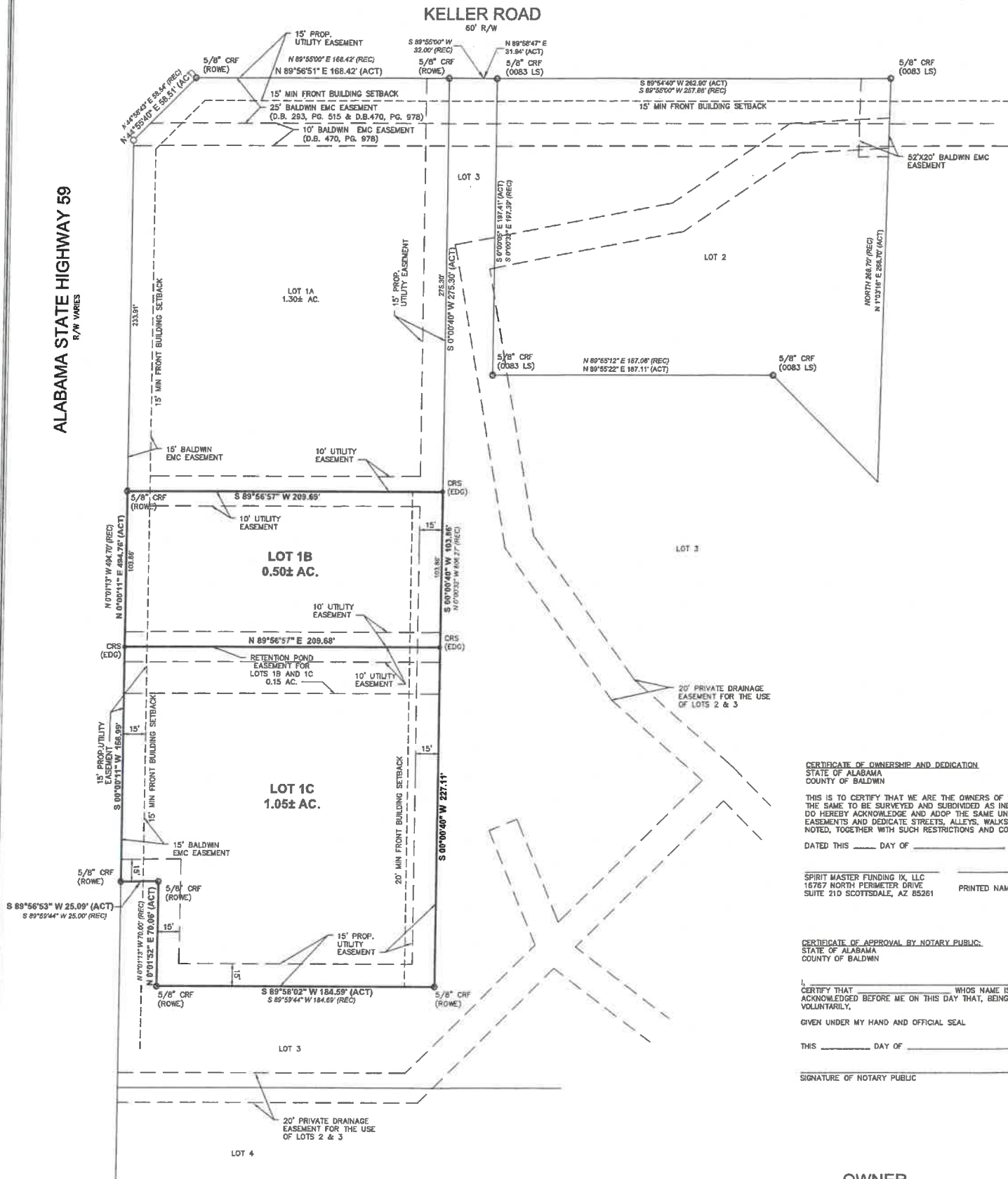
FIRE:

Brad Hall - Fire is not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Recommend Approval

ALABAMA STATE HIGHWAY 59
R/W VARIES



CERTIFICATE OF OWNERSHIP AND DEDICATION
STATE OF ALABAMA
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT WE ARE THE OWNERS OF THE LAND SHOWN AND DESCRIBED IN THE PLAT THAT I (WE) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACE TO PUBLIC OR PRIVATE USE ADS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT
DATED THIS ____ DAY OF ____ 2023.

SPIRIT MASTER FUNDING IX, LLC
16767 NORTH PERIMETER DRIVE
SUITE 210 SCOTTSDALE, AZ 85261
PRINTED NAME

CERTIFICATE OF APPROVAL BY NOTARY PUBLIC
STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY CERTIFY THAT _____ WHOS NAME IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY,
GIVEN UNDER MY HAND AND OFFICIAL SEAL

THIS ____ DAY OF ____ 2023.

SIGNATURE OF NOTARY PUBLIC

OWNER
SPIRIT MASTER FUNDING IX, LLC
16767 NORTH PERIMETER DRIVE,
SUITE 210 SCOTTSDALE, AZ 85261

SURVEYOR
ENGINEERING DESIGN GROUP, LLC
1000 EAST LAUREL
FOLEY, AL 36535
(251) 943-8960
CONTACT: CRAIG JOHNSON, P.L.S.

ZONING
PLANNED UNIT DEVELOPMENT (PUD)
CITY OF FOLEY, AL 36535

SITE DATA
TOTAL ACREAGE = 1.55 AC.
NUMBER OF LOTS = 2
20' FRONT SETBACK

RESUBDIVISION OF LOT 1B OF OLD TIME POTTERY FOLEY SUBDIVISION

SITUATED IN SECTION 21, TOWNSHIP 8 SOUTH, RANGE 4 EAST,
BALDWIN COUNTY, ALABAMA

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

SIGNED THIS ____ DAY OF ____ 2023.

CITY ENGINEER

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION

THE WITHIN RESUBDIVISION OF LOT 1B OF OLD TIME POTTERY FOLEY SUBDIVISION, FOLEY, ALABAMA IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION THIS THE ____ DAY OF ____ 2023.

CITY PLANNING COMMISSION CHAIRMAN

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES (GAS)

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE ____ DAY OF ____ 2023.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES (WATER)

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE ____ DAY OF ____ 2023.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY BALDWIN ELECTRIC (ELECTRIC)

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN ELECTRIC, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE ____ DAY OF ____ 2023.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER SERVICES

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY SEWER SERVICES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE ____ DAY OF ____ 2023.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY BRIGHT SPEED COMMUNICATIONS

THE UNDERSIGNED, AS AUTHORIZED BY BRIGHT SPEED COMMUNICATIONS, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA: THIS THE ____ DAY OF ____ 2023.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY E-911 GS/ADDRESSING

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE MAP WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS ____ DAY OF ____ 2023.

AUTHORIZED REPRESENTATIVE

NOTES:

- NO TITLE SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM AND LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAYS, RECORDED OR UNRECORDED, THE PARCEL SHOWN HEREON IS SUBJECT TO SETBACKS, EASEMENTS, ZONING, AND RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORD OF SAID COUNTY.
- ALL EASEMENTS AND RIGHT-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON.
- THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. HOWEVER, THERE MAY EXIST UNDERGROUND UTILITIES OR BURIED PIPES WHICH WERE NOT LOCATED OR OF WHICH THE SURVEYOR HAS NO KNOWLEDGE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED BECAUSE THE UNDERGROUND UTILITIES WERE NOT PHYSICALLY LOCATED.
- BEARINGS SHOWN HEREON ARE RELATIVE TO THE ALABAMA STATE PLANE COORDINATE SYSTEM GRID AZIMUTH (ALABAMA WEST ZONE) (NAD 83) AND WERE DETERMINED USING GPS OBSERVATION.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR ALABAMA (COMMUNITY PANEL 01003C0933M, EFFECTIVE DATE APRIL 19, 2019), THIS SITE LIES WITHIN ZONE X, DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
- SURVEY PREPARED FOR: SPIRIT MASTER FUNDING IX, LLC.
- THIS SURVEY IS VALID ONLY WITH AN ORIGINAL SIGNATURE AND A LEGIBLE SEAL.

DESCRIPTION:

LOT 1B OF OLD TIME POTTERY SUBDIVISION FOLEY AS RECORDED ON SLIDE 2532-E IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

SURVEYOR:

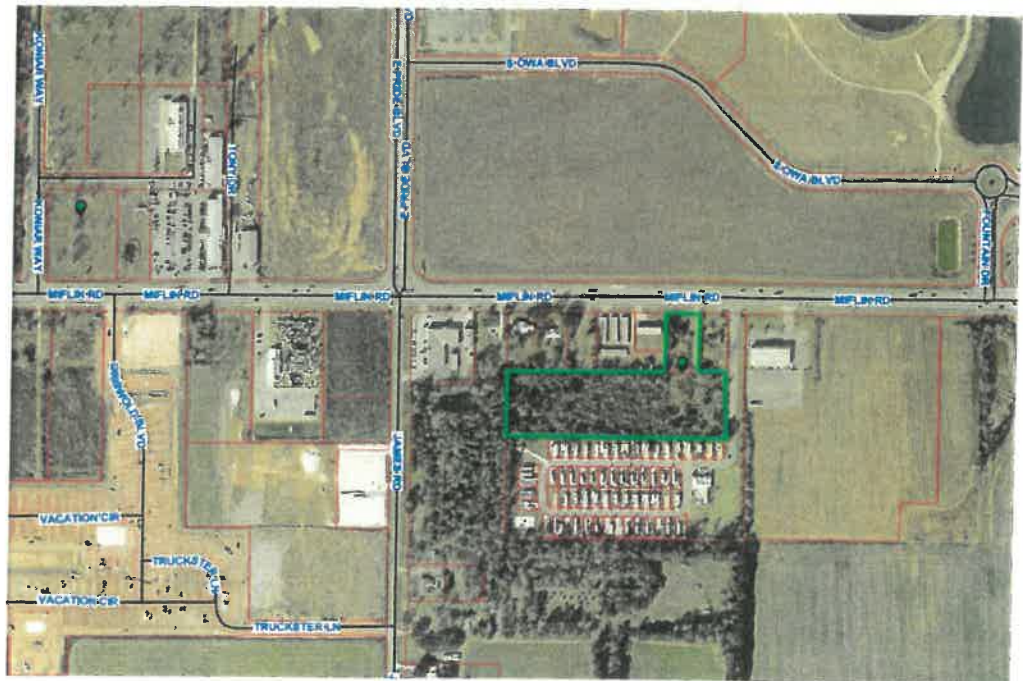
Craig Johnson
B.C. JOHNSON DATE: February 27, 2023
ALABAMA LICENSE NO. 23004



DATE	04
REVISIONS	
DRAWN BY: CAW	CHECKED BY: BCJ
PROJECT No.: F-VEGL0001	DATE: February 27, 2023
SCALE: 1" = 40'	
PROJECT: RESUBDIVISION OF LOT 1B OF OLD TIME POTTERY FOLEY SUBDIVISION	TITLE: PRELIM AND FINAL PLAT
1000 E. LAUREL AVENUE Foley, AL 36535 251.943.8960	
EDG ENGINEERING DESIGN GROUP, LLC CIVIL ENGINEERING • LAND SURVEYING (205) 943-8960 (FOLEY)	
SHEET NO.	1 OF 1

65

EXISTING LAND USE:
Vacant



66

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - This subdivision appears to meet the RV Park zoning for these parcels.

ENGINEERING:

Engineering recommends approval. The LDP comments have been addressed.

ENVIRONMENTAL:

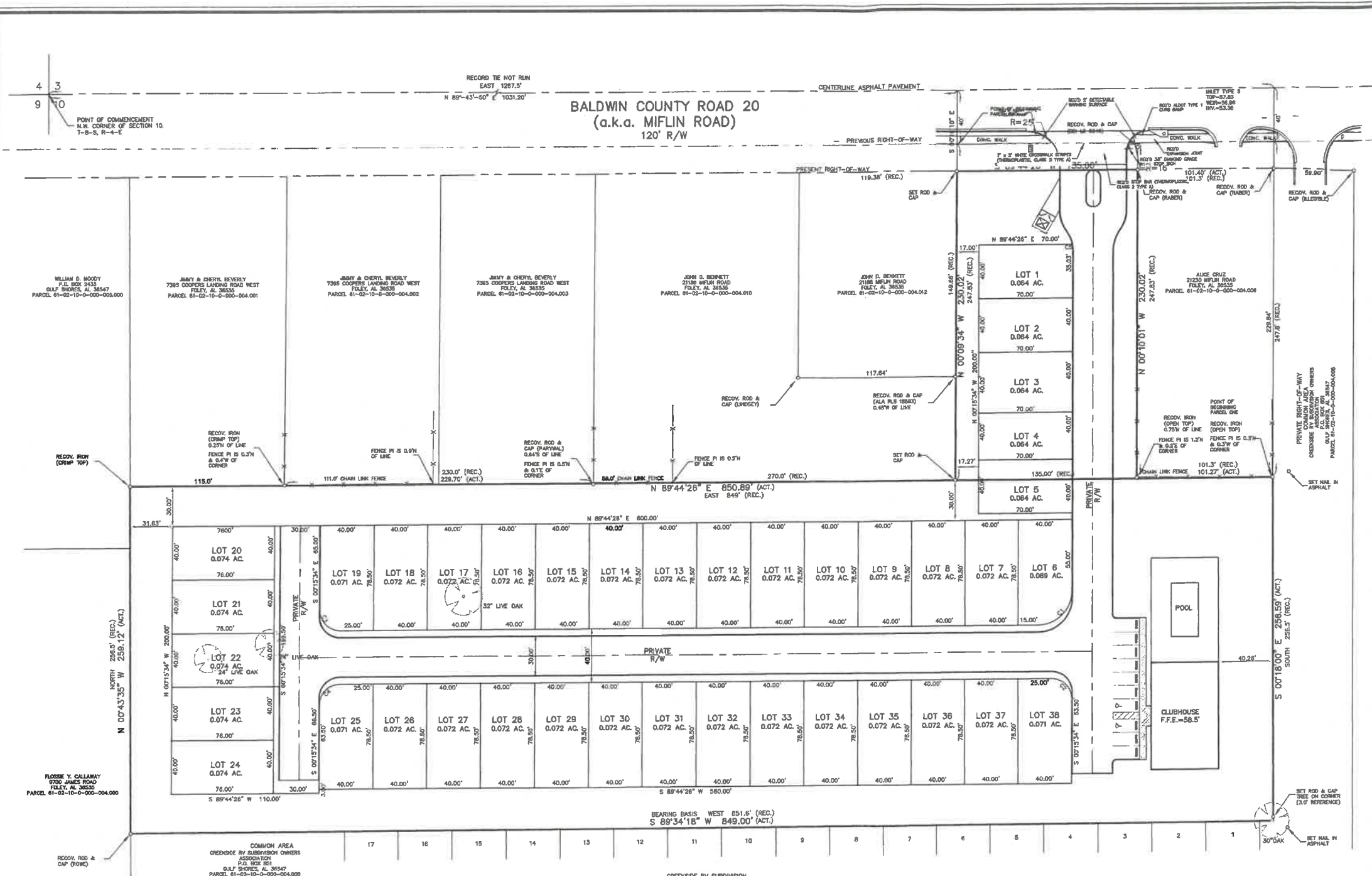
Angie Eckman - Not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed



- NOTES:
- Bearing Basis: The South line of the subject property referenced to Alabama State Plane Coordinate System West Zone (102) NAD 83 (98) established by RTK GPS utilizing ALDOT network as a continuously operating reference station.
 - Type of Survey: Boundary and Topographic
 - Field Date: June 8-13, 20-21 2022
 - All corners are as noted.
 - No Title Binder has been furnished to the surveyor. Easements or Claims of easements may exist.
 - Elevations on this plat are referenced to NAVD 88, established by RTK GPS utilizing ALDOT Net as a continuously operating reference station.
 - Site Data:
Total site area: 5.74 ac +/-
Smallest lot size: 0.64 ac +/-
Number of lots: 38 lots
Open Space: 1.91 ac (33.3%)
 - Present Zoning Classification:
 - Property Owner: Next to Last, LLC
P.O. Box 916
Gulf Shores, AL 36547
 - Common areas and the private right of way may be utilized for utility placement.
 - The City of Foley is not responsible for maintenance of the private right-of-way, infrastructure, and stormwater system. The developer/owners will be responsible for ensuring the proper maintenance of the improvements.

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (Water)

The undersigned, as authorized by Riviera Utilities, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this _____ day of _____, 2023.

Authorized Representative of Riviera Utilities

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (Sewer)

The undersigned, as authorized by Riviera Utilities, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this _____ day of _____, 2023.

Authorized Representative of Riviera Utilities

CERTIFICATE OF APPROVAL BY BALDWIN EMC

The undersigned, as authorized by Baldwin EMC, hereby approves the within plat for the recording of the same in the Probate Office of Baldwin County, Alabama, this _____ day of _____, 2023.

Authorized Representative of Baldwin EMC

CERTIFICATION OF OWNERSHIP AND DEDICATION:

STATE OF ALABAMA)
COUNTY OF BALDWIN)

This is to certify that I, the undersigned, am the Owner of the land shown and described in the plat, and that I have caused the same to be surveyed and subdivided as indicated hereon, for the uses and purposes herein set forth and do hereby acknowledge and adopt the same under the design and title hereon indicated; and grant all easements and dedicate all streets, alleys, walks, parks, and other open spaces to public or private use as noted, together with such restrictions and covenants noted below or attached in a separate legal document.

Dated this _____ day of _____, 2023.

Next to Last, LLC (Manager)

ACKNOWLEDGMENT:

STATE OF ALABAMA)
COUNTY OF BALDWIN)

I, _____, a Notary Public in and for said County, in said State, hereby certify that _____, whose name as manager of Next to Last, LLC, is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of the instrument, and as such manager and with full authority, executed the same voluntarily on the day the same bears date, for and as an act of said LLC.

Given under my hand and official seal this _____ day of _____, 2023.

Notary Public

My commission expires: _____

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER:

The undersigned, as the City Engineer of the City of Foley, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this _____ day of _____, 2023.

City Engineer

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION:

The within plat of (CREEKSIDE RV SUBDIVISION), Foley, Alabama, is hereby approved by the City of Foley Planning Commission, this _____ day of _____, 2023.

City Planning Commission Chairman

CERTIFICATION OF OWNERSHIP AND DEDICATION:

STATE OF ALABAMA)
COUNTY OF BALDWIN)

This is to certify that I, the undersigned, am the Owner of the land shown and described in the plat, and that I have caused the same to be surveyed and subdivided as indicated hereon, for the uses and purposes herein set forth and do hereby acknowledge and adopt the same under the design and title hereon indicated; and grant all easements and dedicate all streets, alleys, walks, parks, and other open spaces to public or private use as noted, together with such restrictions and covenants noted below or attached in a separate legal document.

Dated this _____ day of _____, 2023.

Next to Last, LLC (Manager)

ACKNOWLEDGMENT:

STATE OF ALABAMA)
COUNTY OF BALDWIN)

I, _____, a Notary Public in and for said County, in said State, hereby certify that _____, whose name as manager of Next to Last, LLC, is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of the instrument, and as such manager and with full authority, executed the same voluntarily on the day the same bears date, for and as an act of said LLC.

Given under my hand and official seal this _____ day of _____, 2023.

Notary Public

My commission expires: _____

VICINITY MAP

LEGEND

R/W RIGHT-OF-WAY
(REC.) RECORD
(ACT.) ACTUAL
--- FORESHORTENED LINE
R/PB REAL PROPERTY BOOK
DB DEED BOOK
PB PLAT BOOK
MB MAP BOOK
PG PAGE
RCP REINFORCED CONCRETE PIPE
CPP CORRUGATED PLASTIC PIPE
SET ROD & CAP
SIGN
--- FENCE LINE (AS NOTED)
0"0" TREE W/ SIZE & TYPE

PP POWER POLE
SP SERVICE POLE
--- GUY WIRE
--- LIGHT POLE
--- OVERHEAD POWER LINE
--- OVERHEAD TELEPHONE LINE
--- OVERHEAD CABLE TV LINE
TP/C TELEPHONE PERESTAL
GAS METER
GAS VALVE
GAS LINE
WATER METER
WATER VALVE
FIRE HYDRANT

LEGAL DESCRIPTION

STATE OF ALABAMA)
COUNTY OF BALDWIN)

PARCEL ONE

Commence at the Northwest corner of Section 10, being located in Township 8 South, Range 4 East, run thence East along the centerline of County Road 20 a distance of 1267.5 feet to a point; run thence South a distance of 40 feet to an iron pin on the South margin of said road; run thence South along a row of posts a distance of 247.8 feet to an iron pin for the Point of Beginning; run thence South 256.5 feet to an iron pin; run thence East 849 feet to an iron pin; run thence North 256.5 feet to an iron pin, run thence East 849 feet to an iron pin, the Point of Beginning.

TOGETHER WITH:

PARCEL TWO

Commencing at the Northwest corner of Section 10, Township 8 South, Range 4 East, Baldwin County, Alabama; thence North 89°-43'-50" East, along the North line of said Section 10 for 1031.20 feet to a point; thence South 00°-16'-10" East for 40.00 feet to a pin and cap #18393 located on the South right-of-way line of County Road #20 (80 foot right-of-way) and Point of Beginning; thence continue 06°-16'-10" East for 247.83 feet to a pin and cap #18393; thence North 89°-43'-50" East for 135.00 feet to a pin and cap #18393; thence North 00°-16'-10" West for 247.83 feet to a pin and cap #18393 located on said South right-of-way line; thence South 89°-43'-50" West along said right of way for 135.00 feet to the Point of Beginning as shown in that certain boundary survey of Victor C. Schumier, Alabama Registered Surveyor #18593, dated March 24, 1993. Less and Except the North 20 feet, thereof.

I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

I further state that except as shown the buildings now erected on said lot are within the boundaries of the same; that except as shown there are no encroachments by buildings of adjoining property that except as shown there are no right-of-way, easements or joint driveways over or across said land visible on the surface; that except as shown there are no visible above ground electrical or telephone wires (excluding wires which serve the premises only) or structures or supports thereof, including poles, anchors and guy wires, on or over said premises.

This is to state that I have consulted the Fema Flood Insurance Rate Map No. 01003C0031, dated April 18, 2019, and found that the above described property now is located in Flood Hazard Area "X-Unshaded" determined by graphic scaling.

Cecil T. Hudson, PLS
Alabama Licensed Professional Surveyor No. 25983-S
Prints not valid unless they bear an original seal

Date: _____

**RELEASED FOR REVIEW ONLY 02-10-2023
NOT FOR CONSTRUCTION**

SUBDIVISION PLAT

LAST RESORT

PREPARED FOR
COMPASS CONSTRUCTION & DEVELOPMENT, LLC

ROWE
ENGINEERING & SURVEYING
CONSULTING ENGINEERS
2025 LAUREL DR. SUITE B - MOBILE, AL 36688
PHONE 850-685-3768 • FAX 850-685-1040
AL CA-1064-LB • AL CA-4948-S • MS CA-89105 • FL LB-6300

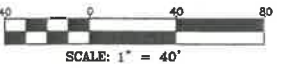
CHECKED BY: CTH
DATE: 05/09/23, 11:15:18
FILE: 81-02-10-0-000-004.004;004.000

DRAWING: 02/2023-CIVIL-DR-03-24-23.dwg
SCALE: 1" = 40'
DATE: OCTOBER, 2022

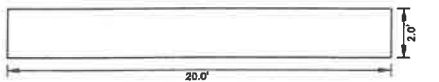
SHEET NO.
C-2

LEGEND

- | | | | |
|------------------------------|--------------------------|-----|-------------------------|
| R/W (REC.) | RIGHT-OF-WAY | PP | POWER POLE |
| (ACT.) | ACTUAL | SP | SERVICE POLE |
| FORESHORTENED LINE | | GW | GUY WIRE |
| RFB | REAL PROPERTY BOOK | OP | OVERHEAD POWER LINE |
| DB | DEED BOOK | OT | OVERHEAD TELEPHONE LINE |
| PB | PLAT BOOK | CTV | OVERHEAD CABLE TV LINE |
| MB | MAP BOOK | TPC | TELEPHONE PEDESTAL |
| PG | PAGE | GM | GAS METER |
| RCP | REINFORCED CONCRETE PIPE | GV | GAS VALVE |
| CPP | CORRUGATED PLASTIC PIPE | GL | GAS LINE |
| SET ROD & CAP (RUBER) | | WM | WATER METER |
| SET 5/8" REBAR & CAP (CONC.) | | WV | WATER VALVE |
| + | SIGN | FW | FIRE HYDRANT |
| -X- | FENCE LINE (AS NOTED) | | |
| 8" O | TREE W/ SIZE & TYPE | | |
| REMAN WOODED | | | |



- TREES:**
- REQUIRED TREES (COMMON AREA) 1.81 ac = 10 (HERITAGE)
- TREE CREDITS 36" (DIA) = 6 TREES
- TOTAL REQUIRED TREES 13 TREES
- HERITAGE TREE TO BE REMOVED 1 32" OAK
- REQUIRED PLANTINGS 2 TREES
- PROVIDED TREE PLANTINGS 15 TREES
- NOTES:**
- 1.) ALL UNPAVED AREAS WITHIN THE RIGHT-OF-WAY, AND ALL AREAS THAT HAVE BEEN GRADED, CUT, OR FILLED SHALL BE TREATED WITH AT LEAST 1,500 LBS. PER ACRE OF A SUITABLE COMMERCIAL FERTILIZER AND SEEDED WITH A MIXTURE TO SUIT THE SEASON. A FIRM STAND OF PERMANENT GRASS WILL BE REQUIRED.
- 2.) TREE PLANTINGS SHALL MEASURE 3" AT DBH WITH A MINIMUM OF 6' OF CLEAR TRUNK. MAINTENANCE OF REQUIRED PLANTINGS SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. PLANTINGS WILL NOT BE REQUIRED IF EXISTING TREES OF THE REQUIRED DIAMETER ARE IDENTIFIED AND SAVED DURING THE CONSTRUCTION PROCESS.



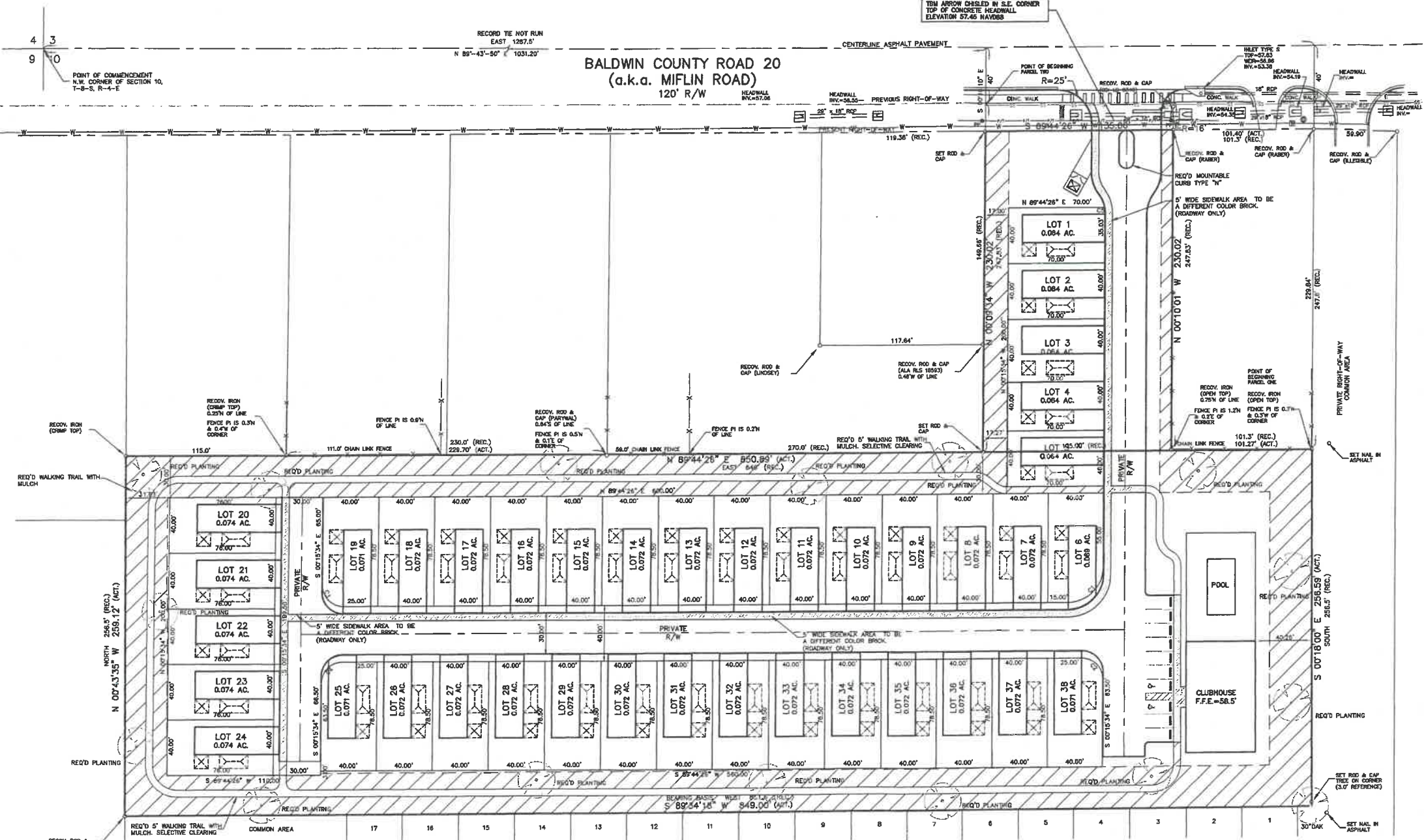
STOP BAR

NOT TO SCALE

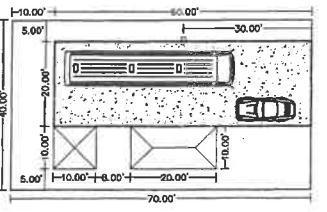


DIAMOND GRADE R1-1 STOP SIGN

NOT TO SCALE

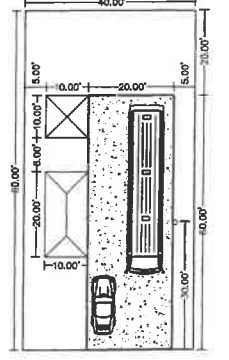


CURVE	ARC LENGTH	RADIUS	DETA ANGLE	CHORD BEARING	CHORD LENGTH
C1	18.27	25.00	90.00	N 44°44'44" E	21.21
C2	23.56	15.00	90.00	N 45°15'34" W	21.21
C3	23.56	15.00	90.00	S 44°44'44" W	21.21
C4	5.01	24.50	117°42'19"	N 06°08'43" W	5.00



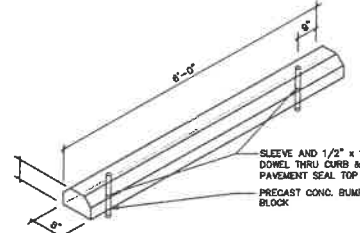
TYPICAL 70' LOT

NOT TO SCALE



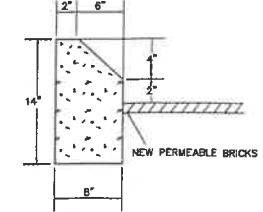
TYPICAL 80' LOT

NOT TO SCALE



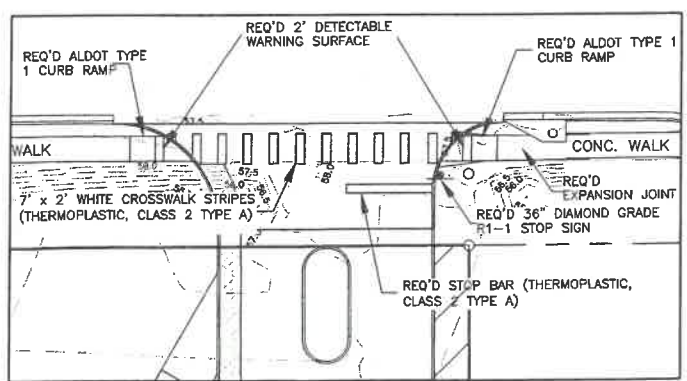
CONCRETE WHEEL STOP

NOT TO SCALE



TYPE N CURB

NOT TO SCALE



MIFLIN ROAD ACCESS TURNOUT

1" = 20'

RELEASED FOR REVIEW ONLY 02-10-2023
NOT FOR CONSTRUCTION

APPROVALS:	GEOMETRICS
	LAST RESORT
	PREPARED FOR
	COMPASS CONSTRUCTION & DEVELOPMENT, LLC
	ROWE
	ENGINEERING & SURVEYING
	CONSULTING ENGINEERS
	3502 LAUREL DR. • SUITE B • MOBILE, AL 36688
	PHONE: 251-988-2785 • FAX: 251-988-1640
	AL GA-1004-L5 • AL GA-1004-L5 • AL GA-1004-L5 • AL GA-1004-L5
CHECKED BY: CTH	DRAWN: G./G2085-CIVIL-DR-03-24-23
DATE: 10/10/23	DATE: OCTOBER, 2023
SCALE: 1" = 40'	SHEET NO. C-4



**PLANNING COMMISSION
JOINT STAFF REPORT:
April 2023**

69

STAFF RECOMMENDATION: Approve / Deny / **Conditional**

PROJECT NAME: Young Property

REQUEST: Minor Subdivision

OWNER / APPLICANT:
Charles Rosser

ACREAGE: 6.54 ac

PIN#(s): 47632 & 82472

LOCATION: West of Hwy
59, S of CR-20S

PROJECT DESCRIPTION:
Moving property line
between the two parcels
to the west.



CURRENT ZONING:
B-1A & B-3

REQUESTED ZONING:
n/a

ADJACENT ZONING:
B-1A, B-3, & PUD

FUTURE LAND USE:
RMH, Residential
Med-High Density (9-15)
RCC, Retail/Commercial
Concentration

EXISTING LAND USE:
Vacant



70

UTILITY LETTERS RECEIVED: YES / NO / NOT APPLICABLE
DEED RECEIVED: YES / NO / NOT APPLICABLE
AGENT AUTHORIZATION: YES / NO / NOT APPLICABLE

ZONING:

Miriam Boone - Please note the existing parcel line was probably created when the front portion of the parcel was annexed into the City. We used to go 500' from the centerline of the adjacent highway. The County then created parcel lines for tax purposes - splitting the city zoned portion from the unzoned BC portion. It is all now in the city limits.

Zoning-wise the lots would meet the requirements. My concern is Lot 2 being land-locked? I believe the purpose of this split is for Lot 2 to become part of Anchors Aweigh RV Park. Would this need to be done at the same time?

I don't think it is the intent of Anchors Aweigh RV Park to expand south onto this lot. I believe their intent is to come to the Board of Adjustment & Appeals to request RV storage on Lot 2. Note we now have an RV Park zone so expanding the RV Park into this B3 area would not be allowed.

ENGINEERING:

Engineering is not opposed to the minor subdivision request contingent on all lots fronting on maintained ROW. The owner's agent has stated the intent of Lot 2 is to become part of the Anchors Aweigh ownership. Existing Anchors Aweigh parcels should be included on the plat and the result should be a single lot fronting CR 20S and a single lot fronting SR 59.

ENVIRONMENTAL:

Angie Eckman - Environmental is not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed



PLANNING COMMISSION JOINT STAFF REPORT: April 2023

72

STAFF RECOMMENDATION: Approve / Deny / Conditional

PROJECT NAME: Turf Properties, LLC (Hecate Energy)

REQUEST: Rezoning to PID

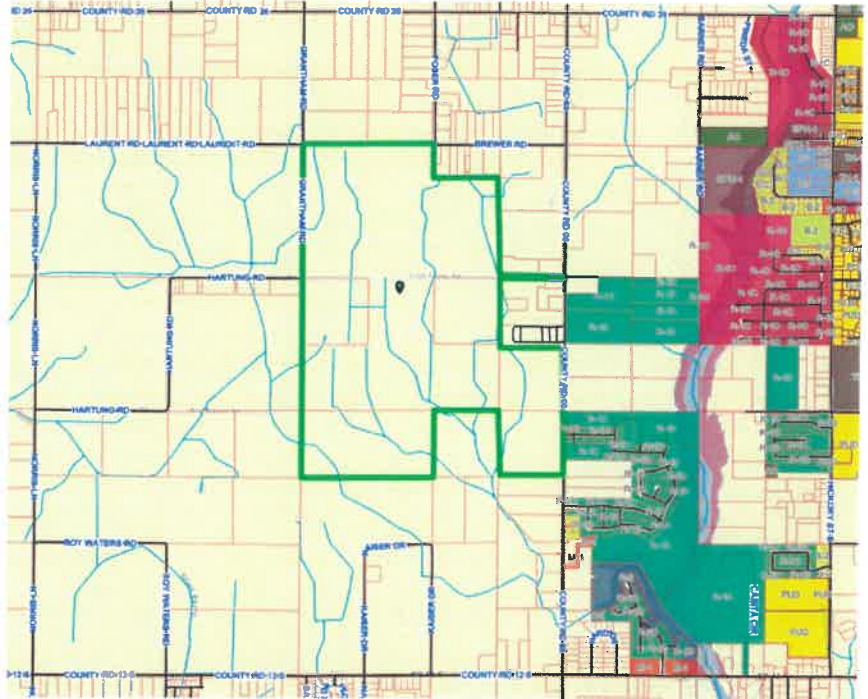
OWNER / APPLICANT:
Turf Properties #3 LLC &
Turf Properties #4 LLC

ACREAGE: ±619 ac

PIN#(s): 18463, 200487,
89487, 65508, 65506,
361486, 66264

LOCATION: South of CR-26,
West of CR-65

PROJECT DESCRIPTION:
Pre-zoning of property to PID
for utility scale ground
mounted solar panel farm.
Annexation to follow.



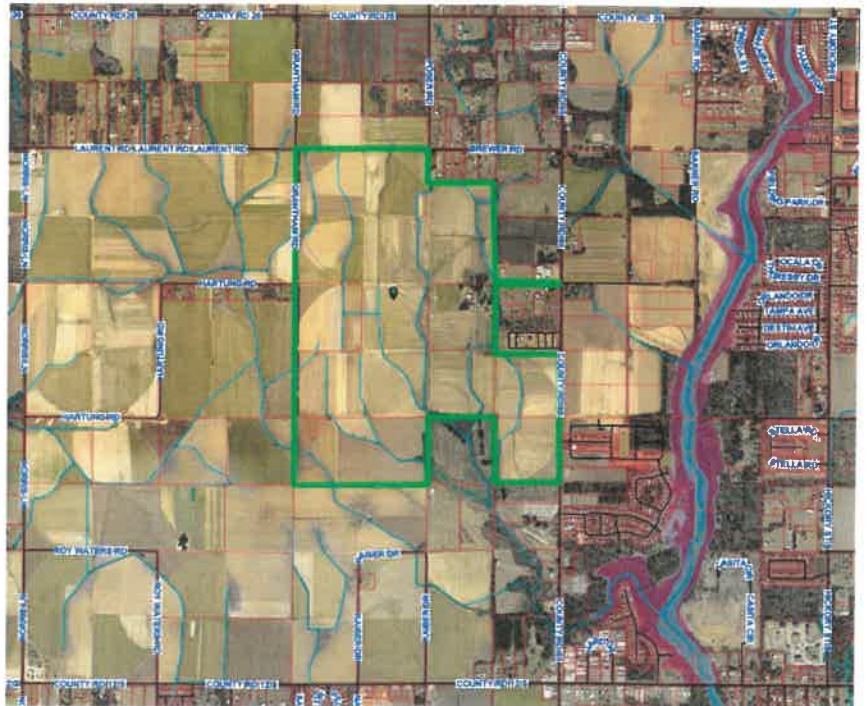
CURRENT ZONING:
Unzoned BC Dist 34 & BC
Dist 21 zoned RA (Rural
Agricultural)

REQUESTED ZONING:
PID (Planned Industrial
District)

ADJACENT ZONING:
BC unzoned & RA and
City of Foley R-1D

FUTURE LAND USE:
RR, Rural Residential &
RL, Residential Low (2-4)

EXISTING LAND USE:
Sod Farm



73

DENSITY COMPATIBILITY ANALYSIS:

ADD DETAILS or delete if not needed

COMPREHENSIVE PLAN GUIDANCE:

ADD DETAILS or delete if not needed

REQUIRED BUFFER: ADD DETAILS or delete if not needed**PROPOSED BUFFER:** ADD DETAILS or delete if not needed**UTILITY LETTERS RECEIVED:** YES / NO / **NOT APPLICABLE****DEED RECEIVED:** **YES** / NO / NOT APPLICABLE**AGENT AUTHORIZATION:** **YES** / NO / NOT APPLICABLE**ZONING:**

Miriam Boone - The proposed zoning appears to meet the PID. The buffers are as follows:

RESIDENCES - 250 FT

PROPERTY LINE - 50 FT

TRANSMISSION LINES - 150 FT

WETLANDS - 50 FT

ARRAY EDGE TO PROPOSED FENCE – 20 FT

The requested fencing would be a 6' chain link fence with 1' of barbed wire on top.

ENGINEERING:

Engineering is not opposed to the rezoning. An LDP will be required prior to construction. Drainage is a concern in this basin and will be closely reviewed.

ENVIRONMENTAL:

Angie Eckman - Not opposed

FIRE:

Brad Hall - Not opposed

BUILDING/FLOODPLAIN:

Chuck Lay - Not opposed

74

Foley

**CITY OF FOLEY, ALABAMA
APPLICATION FOR
PRE-ZONING OF
PROPERTY**

1. LOCATION OF PROPERTY (ADDRESS, PIN #, LEGAL DESCRIPTION, MAP/SURVEY, DEED, CORPORATION OWNERSHIP INFORMATION, AND AGENT AUTHORIZATION IF REQUIRED):

The property is East of Rte 65 and south of Rte 26. The nearby address is 10505 Co Rd 65 A, Foley, AL 36535
Pin numbers are:

Parcel Number	Pin	Owner Name
05-60-01-01-0-000-005.001	18463	TURF PROPERTIES #3 L L C
05-60-01-01-0-000-005.003	200487	TURF PROPERTIES #3 L L C
05-60-01-01-0-000-005.002	89487	TURF PROPERTIES #3 L L C
05-60-01-12-0-000-003.000	65508	TURF PROPERTIES #3 L L C
05-60-01-01-0-000-005.000	65506	TURF PROPERTIES #3 L L C
05-60-01-01-0-000-006.007	361486	TURF PROPERTIES #4 L L C
05-60-01-12-0-000-001.000	66264	TURF PROPERTIES #4 L L C

Legal Description is attached

Map/Survey is attached

Corporate Ownership and agent authorization is attached

2. ATTACH A SEPARATE LIST OF ADJACENT PROPERTY OWNERS:

Attached

3. APPROXIMATE SIZE OF PROPERTY:

Approximately 619 acres

4. PRESENT ZONING OF PROPERTY:

All tracts currently reside in Baldwin County:

The following are unzoned

05-60-01-01-0-000-006.007

05-60-01-12-0-000-001.000

The following are zoned Rural Agricultural:

05-60-01-01-0-000-005.001

05-60-01-01-0-000-005.002

05-60-01-01-0-000-005.003

05-60-01-02-0-000-003.000

05-60-01-12-0-000-003.000

5. REQUESTED ZONING:



3/21/23
RECEIVED

75

Upon Annexation with the City of Foley, the applicant requests Planned Industrial District (PID)

6. BRIEF DESCRIPTION OF CURRENT USE AND STRUCTURES LOCATED ON THE PROPERTY:

Current use is an active sod farm with two pole barns used for storage.

7. BRIEFLY DESCRIBE THE CONTEMPLATED USE OF THE PROPERTY IF REZONED (TYPE OF DEVELOPMENT, DENSITY, ETC.)

Applicant proposes a utility scale solar facility that consists of ground mounted solar panels that produces carbon free electricity for the electric grid. The facility will have no residential homes and very little ongoing traffic upon completion of construction.

8. IF REQUESTING A PLANNED DEVELOPMENT ZONE (PUD, PDD, R-3, TH-1, PID) ATTACH A PRELIMINARY TRAFFIC ANALYSIS, OFFICIAL UTILITY COMMITMENT LETTERS, DRAWING, AND WRITTEN NARRATIVE AS DEFINED IN THE CURRENT ZONING ORDINANCE.

The planned facility will not have significant traffic beyond occasional site maintenance and vegetative management. The applicant is currently working with Alabama Power for the sale of electricity and Riviera Utilities for any electricity requirements at the site. No additional utilities are required at this time.

I CERTIFY THAT I AM THE PROPERTY OWNER AND ATTEST THAT ALL FACTS AND INFORMATION SUBMITTED ARE TRUE AND CORRECT.

DATE: March 27, 2023

Frederic J. Jay, III, Sec Manager

Imp Properties LLC as Imp Properties LLC

PROPERTY OWNER/APPLICANT

Box 1469 Foley Alabama 36532

PROPERTY OWNER ADDRESS

251-510-4900

PHONE NUMBER

rtaylor@avizogroup.com

EMAIL ADDRESS

3/27/23
RECEIVED

SITE INFORMATION

SITE NAME: FOLEY SOLAR (80 MW AC)

APPROX. GPS LOCATION: LAT: 30.374778°
(SOLAR SITE) LONG: -87.724161°

APPLICANT: HECATE ENERGY
621. W. RANDOLPH STREET
CHICAGO, IL 60661

SYSTEM SPECIFICATIONS

SOLAR MODULE: ET SOLAR 540 W

INVERTER(S): (23)SUNGROW SG3600

RACKING: SINGLE AXIS TRACKER
@ 33% GCR

PROJECT LOCATION

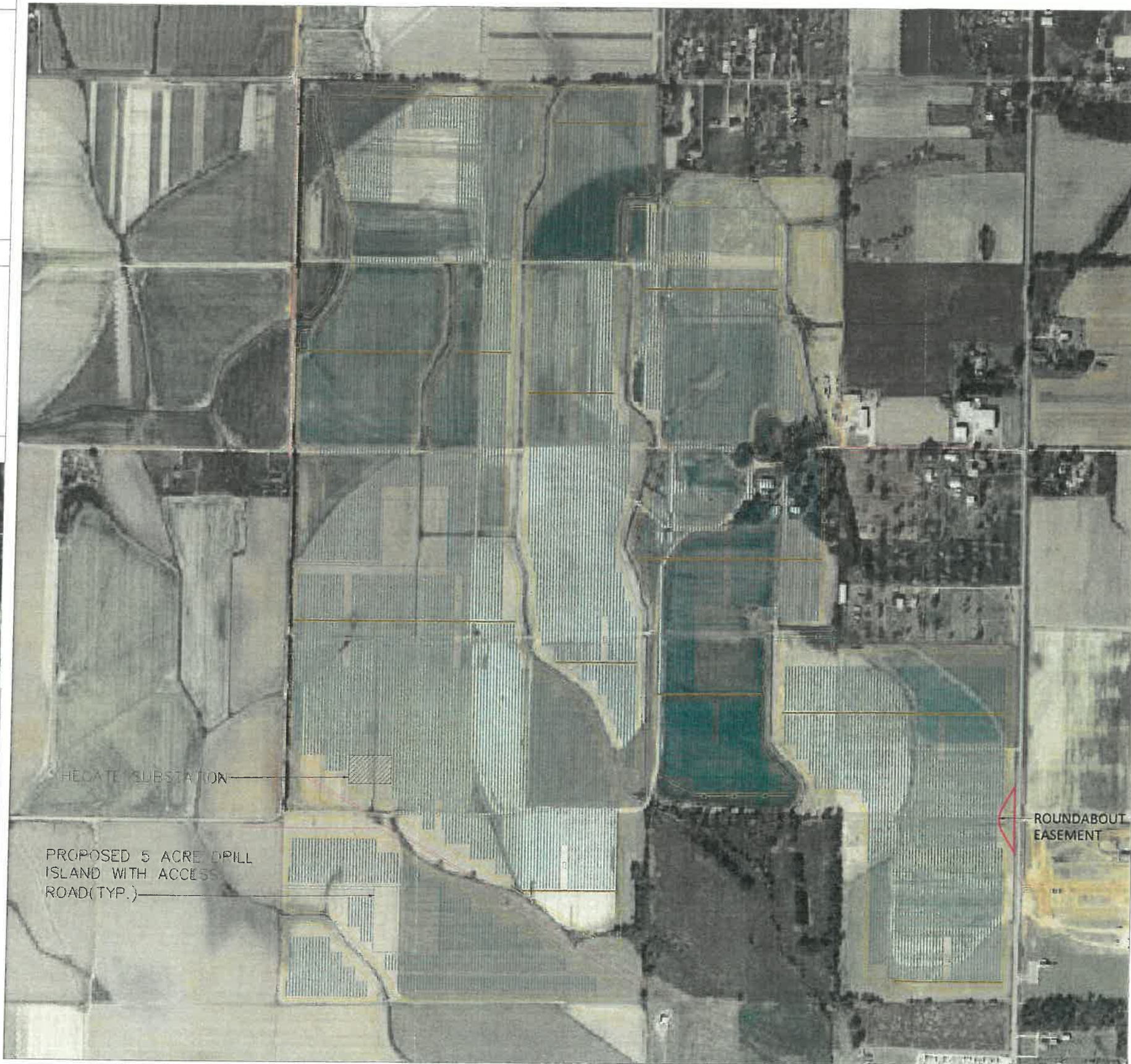


APPROXIMATE PV SYSTEM SIZING

ARRAY AREA	SOLAR MODULE				ARRAY SIZE (DC)
	AZIMUTH	RACKING TYPE	SIZE	COUNT	
GROUND	0	SINGLE AXIS TRACKER	540W	180684	97.569 MW

- NOTES:
1. THIS CONCEPTUAL PLAN IS BASED SOLELY ON AERIAL PHOTOGRAPHS AND PROVIDED PLANS.
 2. GROUND MOUNTED ELECTRICAL EQUIPMENT NOT SHOWN ON THIS PLAN, MAY INCLUDE, INVERTERS SWITCHGEAR, DC COMBINERS, AND/OR TRANSFORMERS
 3. DOES NOT INCLUDE GEOTECHNICAL, FLOOD PLAIN, CULTURAL, ECOLOGICAL ANALYSIS
 4. NOT FOR CONSTRUCTION
 5. SETBACKS

- 5.1 RESIDENCES - 250 FT
5.2 PROPERTY LINE - 50 FT
5.3 TRANSMISSION LINES - 150 FT
5.4 WETLANDS - 50 FT
5.5 ARRAY EDGE TO PROPOSED FENCE - 20 FT




HECATE ENERGY
621 W. RANDOLPH STREET
CHICAGO, IL 60661
hecateenergy.com

LEGEND

- PROJECT SITE LIMIT
- EXISTING OVERHEAD POWER
- APPROXIMATED DEVELOPMENT AREA
- EXISTING ROAD
- WETLANDS
- PROPOSED FENCE
- PROPOSED ACCESS ROAD
- 25' STREAM BUFFER
- INVERTER

HECATE ENERGY
FOLEY
AL
US

PROJECT NUMBER:

SITE ID:

SHEET TITLE:

PRELIMINARY
LAYOUT

NO.	REVISION	DATE	INIT.
0	PRELIM LAYOUT	2/14/2023	NL
1			
2			
3			
4			
5			
6			
7			
8			

0 1200 2400 4800 Feet
IF BAR IS NOT ONE INCH,
PRINT IS NOT TO SCALE

Revision
RECEIVED
3/22/23



ACTUAL DIMENSIONS AND DETAILS DEPEND ON SPECIFIC CONDITIONS OF THE SITE.



ZONING ORDINANCE AMENDMENTS:

YELLOW – NEW TEXT

2.1 DEFINITIONS APPLICABLE TO THIS ORDINANCE

Borrow pit. An area from which soil or other unconsolidated materials are removed to be used, with or without further processing, for highway or road construction and maintenance or other similar use.

19.1 M1 – LIGHT INDUSTRIAL DISTRICT

A. Uses / Structures Permitted: Buildings used for the operation of light industrial, fabricating, processing, assembling and manufacturing, bottling and distribution plants, woodworking shops, cabinet shops, contractor or building material yards, highway maintenance yards and buildings, laundry and dry cleaning plants and printing establishments; wholesale sales.

B. Uses / Structures Permitted on Appeal: Any use permitted in districts B-1, B-2, or B-3, and other industrial or commercial uses not specifically prohibited; self-storage warehouses and towing company storage yards.

C. Uses / Structures Prohibited: Any use or structure not specifically permitted or permitted on appeal in this section or in Section 13.1.1 or 13.1.2 of Article XIII, including any residential use or structure, except that of a watchman or caretaker; Class 1, 2, 3 & 4 clubs or lodges, poultry and livestock; churches; daycares storage of junk or wrecked automobiles other than for repair or service, explosive products manufacture, garbage disposal plants or sanitary landfills; or borrow pits.

D. Requirements:

	Minimum Depth of Front Yard	75 feet
	Minimum Depth of Rear Yard	35 feet
	Minimum Depth of Side Yard	35 feet
	Maximum Building Area	50%
	Maximum Building Height (feet):	50 feet
	Maximum Building Height (stories):	3
10.1.4	Off-Street Loading Requirements	See Article X, Section
10.1	Off-Street Parking Spaces:	See Article X, Section

19.2 PID – PLANNED INDUSTRIAL DISTRICT

A. Uses Permitted / Prohibited:

Within a Planned Industrial District as shown on the official Zoning Maps of the City of Foley, Alabama, the following regulations shall apply:

1. Uses Permitted: Examples of uses permitted include but are not limited to: Commercial heliports and/or helipads; Aviation manufacturers & associated uses: Computer and data processing services; Educational, scientific, and research organizations; Engineering, architectural, and design services; Federal, state, county, city or public utilities owned or operated buildings and uses; Manufacturing, processing, fabrication or assembly of the following: Apparel; automotive and implements; electrical and electronic machinery, equipment and supplies; food and similar products intended for human consumption; lumber and wood products; machinery other than electrical; metal and metal products; plastics, glass and rubber products; printing and publishing; professional, scientific, and controlling instruments; research and development operations; textile mill products; and transportation equipment; Medical and dental laboratories; Office buildings for general office purposes; Retail uses compatible to other allowed uses in a PID; Office Warehouses; Wholesale / Distributing; Warehousing, interior storage, and distribution in conjunction with manufacturing, assembly and office use; Exterior storage in conjunction with the above mentioned uses, completely screened from adjacent property lines and streets; and Accessory structures and uses to those permitted herein.
2. Uses Prohibited: Junkyards, including wrecker yards; explosive products manufacturing; garbage disposal plants; sanitary landfills; asphalt and concrete plants, class 1, 2, 3 & 4 clubs and lodges, churches; daycares; **borrow pits** and other uses that are detrimental to the health, safety, morals and general welfare of the community and the area.

ZONING ORDINANCE AMENDMENTS:**YELLOW – NEW TEXT****2.1 DEFINITIONS APPLICABLE TO THIS ORDINANCE**

Borrow pit. An area from which soil or other unconsolidated materials are removed to be used, with or without further processing, for highway or road construction and maintenance or other similar use.

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C. Uses / Structures Prohibited: Any use or structure not specifically permitted or permitted on appeal in this section or in Section 13.1.1 or 13.1.2 of Article XIII, including any residential use or structure, except that of a watchman or caretaker; Class 1, 2, 3 & 4 clubs or lodges, poultry and livestock; churches; daycares storage of junk or wrecked automobiles other than for repair or service, explosive products manufacture, garbage disposal plants or sanitary landfills; **or borrow pits.**

D. Requirements:

	Minimum Depth of Front Yard	75 feet
	Minimum Depth of Rear Yard	35 feet
	Minimum Depth of Side Yard	35 feet
	Maximum Building Area	50%
	Maximum Building Height (feet):	50 feet
	Maximum Building Height (stories):	3
10.1.4	Off-Street Loading Requirements	See Article X, Section
10.1	Off-Street Parking Spaces:	See Article X, Section

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Work Session Only

ZONING ORDINANCE AMENDMENTS – DISCUSSION ONLY

2.1 DEFINITIONS APPLICABLE TO THIS ORDINANCE

Dumpster Enclosure. Dumpster / Trash enclosures are a structure built to provide shelter for a trash dumpster and for recyclable materials.

Landscaping Material. Living material including, but not limited to, trees, shrubs, vines, lawn grass, ground cover, and landscape water features. Non-living material may be used in such a manner as to present a finished appearance and to complete coverage, and may consist of pine or cypress bark, crushed pecan shell, pine straw, or other decorative mulch.

ARTICLE IX - COMMERCIAL – MISCELLANEOUS

Dumpster / Trash Enclosures are considered accessory structures for setback, location and similar purposes. Please refer to LDP / Public Works ??? For specific criteria.

10.1.1 USE AND MAINTENANCE OF PARKING LOTS (NON-RESIDENTIAL)

Off-street parking for non-residential uses:

A. Required parking must be designated by pavement, gravel, cross-ties or some similar method.

B. Shall not be used for the parking or storage of automobile trailers, boat trailers, non-motorized recreational vehicles and similar vehicles.

14.1.6 R-2 RESIDENTIAL SINGLE FAMILY AND DUPLEX

DUPLEX:

Minimum Lot Area (duplex)

11,500 square feet*

Landscape Requirements (duplex)

10% of **Minimum** lot area

DEFINITIONS:

- i. Architectural Details - Include but are not limited to: porch railings; column size, taper, base and molding; dormer windows; shutters; transparency; and similar.
- ii. Building Facade Recesses - Porches or patios
- iii. Landscaping - ~~An area of mixed vegetation along the primary facade facing the street. Landscaping can consist of trees and/or shrubs.~~ **See Definition.**



14.1.7 R-4 RESIDENTIAL SINGLE FAMILY AND DUPLEX

DUPLEX:

Minimum Lot Area (duplex)

11,500 square feet*

Landscape Requirements (duplex)

10% of **Minimum** lot area

DEFINITIONS:

- iv. Architectural Details - Include but are not limited to: porch railings; column size, taper, base and molding; dormer windows; shutters; transparency; and similar.
- v. Building Facade Recesses - Porches or patios
- vi. Landscaping - ~~An area of mixed vegetation along the primary facade facing the street. Landscaping can consist of trees and/or shrubs.~~ **See Definition.**