

**CITY OF FOLEY
PLANNING COMMISSION**

**WORK SESSION
January 10, 2024
City Hall
Council Chambers
At 5:30 p.m.**

&

**MEETING
January 17, 2024
City Hall
Council Chambers
At 5:30 p.m.**

**PLANNING COMMISSION
WORK SESSION AGENDA JANUARY 10, 2024
&
MEETING AGENDA JANUARY 17, 2024
(Council Chambers of City Hall) 5:30 P.M.**

Page 1 of 3

The City of Foley Planning Commission will hold a work session on January 10, 2024 at 5:30 p.m. and a meeting on January 17, 2024 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

MINUTES:

Approval of the December 6, 2023 and December 13, 2023 meeting minutes.

AGENDA ITEMS:

1. Bay Street Village Phase 1 & Phase 2- Preliminary 3 Month Extension

The City of Foley Planning Commission has received a 3 month preliminary extension request for Bay Street Village Phase 1 & 2. Property is located at the NW corner of Michigan Ave. and S. Bay Street. Applicant is Goodwyn Mills Cawood, LLC.

Planning Commission Action:

2. *The Cove at Cotton Bayou Phase 1- Preliminary 1 Year Extension

The City of Foley Planning Commission has received a 1 year preliminary extension request for The Cove at Cotton Bayou Phase 1. Property is located E. of County Rd. 65 and N. of Arbor Walk Subdivision. Applicant is Jade Consultants, LLC.

Planning Commission Action:

3. Outpost Orchard- Preliminary 1 Year Extension

The City of Foley Planning Commission has received a 1 year preliminary extension request for Outpost Orchard. Property is located S. of E. Michigan Ave. and W. of S. Pecan St. Applicant is SE Civil, LLC.

Planning Commission Action:

4. Cox Pools Office/Warehouse- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for Cox Pools Office/Warehouse. Property is located S. of US Hwy. 98, between the Foley Beach Express and Barin Field Rd. Applicant is Pillar.

Planning Commission Action:

5. Stowaway Storage Phase II- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for Stowaway Storage Phase II. Property is located E. of Foley Beach Express & N. of Hwy. 98. Applicant is Pillar.

Planning Commission Action:

**PLANNING COMMISSION
WORK SESSION AGENDA JANUARY 10, 2024
&
MEETING AGENDA JANUARY 17, 2024
(Council Chambers of City Hall) 5:30 P.M.**

2

Page 2 of 3

6. *Resubdivision of Lot 2 Mills Community Park Section 24, Township 7 South, Range 3 East- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 2, Mills Community Park Section 24, Township 7 South, Range 3 East a minor subdivision which consists of 28.4 +/- acres and 4 lots. Property is located N. of Breckner Rd. and E. of Mills Rd. and is located in the City of Foley Planning Jurisdiction. Applicant is Survey Consults, Inc.

Public Hearing:

Planning Commission Action:

7. Resubdivision of Lot 4, Old Time Pottery Foley Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 4, Old Time Pottery Foley Subdivision a minor subdivision which consists of 20.76 +/- acres and 2 lots. Property is located S. of Keller Rd. and E. of State Hwy. 59. Applicant is Jade Consulting, LLC.

Public Hearing:

Planning Commission Action:

8. Tractor Supply Company- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for Tractor Supply Company. Property is located S. of Keller Rd. and E. of State Hwy. 59. Applicant is Jade Consulting, LLC.

Planning Commission Action:

9. OWA Tropic Falls Hotel- Site Plan

The City of Foley Planning Commission has received a request for a site plan approval for OWA Tropic Falls Hotel. Property is located E. of the Foley Beach Express and W. of S. OWA Blvd. Applicant is Goodwyn Mills Cawood, LLC.

Planning Commission Action:

10. The Village at Foley Crossroads Master Signage & Grocer- Site Plan

The City of Foley Planning Commission has received a request for a site plan for a Grocer and a master signage plan for The Village at Foley Crossroads. Property is located at the SW corner of the Foley Beach Express and County Rd. 20. Applicant is BRE Foley, LLC.

Planning Commission Action:

**PLANNING COMMISSION
WORK SESSION AGENDA JANUARY 10, 2024
&
MEETING AGENDA JANUARY 17, 2024
(Council Chambers of City Hall) 5:30 P.M.**

3

Page 3 of 3

11. *Resubdivision Lot C Curtis Creek South Addition to Curtis Cove- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision Lot C Curtis Creek South Addition to Curtis Cove a minor subdivision which consists of 2.9 +/- acres and 3 lots. Property is located N. of Cool Springs Dr. and E. of River Rd. N. and is located in the City of Foley Planning Jurisdiction. Applicant is Rowe Engineering and Surveying.

Public Hearing:**Planning Commission Action:****12. *Scurlock Subdivision- Minor**

The City of Foley Planning Commission has received a request for approval of the Scurlock Subdivision a minor subdivision which consists of 5 +/- acres and 4 lots. Property is located W. of Nall Rd. and N. of County Rd. 16 and is located in the City of Foley Planning Jurisdiction. Applicant is Weygand Wilson Surveying.

Public Hearing:**Planning Commission Action:****ADJOURN:**

**PLANNING COMMISSION
WORK SESSION MINUTES DECEMBER 6, 2023
(Council Chambers of City Hall) 5:30 P.M.**

4

The City of Foley Planning Commission held a work session on December 6, 2023 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Deborah Mixon, Vera Quaites, Ralph Hellmich, Wes Abrams, Calvin Hare, Phillip Hinesley, Tommy Gebhart and Bill Swanson. Absent member was: Larry Engel. Staff present were: Miriam Boone, City Planner; Chad Christian, City Engineer; Wayne Dyess, Executive Director of Infrastructure and Design; Angie Eckman, Environmental Manager; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

AGENDA ITEMS:

1. West Laurel Apartments- Request for 1 year Site Plan Extension

The City of Foley Planning Commission has received a 1 year site plan extension for West Laurel Apartments. Property is located N. of US Hwy. 98 and E. of N. Beech St. Applicant is the Engineer Design Group, LLC.

Mrs. Miriam Boone explained the LDP permit has been issued, ALDOT has approved the turnout and the building permit is in process. She stated staff is recommending approval of the requested site plan extension.

2. *Bedsole Moseley Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of Bedsole Moseley Subdivision, a minor subdivision which consists of 38.11 +/- acres and 2 lots. Property is located at the SW corner of Underwood Rd. and County Rd. 55 and is located in the City of Foley Planning Jurisdiction. Applicant is Engineering Design Group.

Mrs. Boone explained the request is to subdivide the property into two large lots. She stated the property is located in unzoned Baldwin County. She stated staff is recommending approval of the requested minor subdivision.

3. The Resubdivision of Lot 1B and the Replat of Lot 7 of the Replat of Woerner's Two Lots- Minor

The City of Foley Planning Commission has received a request for approval of The Resubdivision of Lot 1B and the Replat of Lot 7 of the Replat of Woerner's Two Lots, a minor subdivision which consists of 35.69 +/- acres and 3 lots. Property is located S. of County Rd. 20 (Mifflin Rd.) and E. of S. McKenzie St. Applicant is Goodwyn Mills Cawood, LLC.

Mrs. Boone stated the property is zoned B-1A. She explained staff are recommending approval of the requested minor subdivision.

Chairman Abrams asked about a previous approval for the area and the status of the road construction.

Mr. Chad Christian stated the plans have been submitted and approved but they have not moved forward with the construction at this time.

**PLANNING COMMISSION
WORK SESSION MINUTES DECEMBER 6, 2023
(Council Chambers of City Hall) 5:30 P.M.**

5

4. Mills- Initial Zoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the initial zoning of 170 +/- acres. Proposed zoning is R-4 (Residential Single Family and Duplex) and AO (Agricultural Open Space). Property is located N. of US Hwy. 98 and W. of County Rd. 65. Applicant is the City of Foley.

Mrs. Boone stated a public meeting was held regarding the proposed zoning. She explained the meeting was well attended and letters of support were received. She stated the R-4 zones allow manufactured and stick built homes. She explained there are a lot of existing manufactured homes in the area and the R-4 matches with the surrounding zoned area.

5. Mills Park- Initial Zoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the initial zoning of 4 +/- acres. Proposed zoning is OSP (Open Space/Preservation District). Property is located E. of Mills Rd. and N. of Breckner Rd. Applicant is the City of Foley.

Mrs. Boone explained the proposed zone is OSP. She stated she worked with David Thompson on the designated zone.

6. Live Oak Village- PUD Modification

The City of Foley Planning Commission has received a request for a PUD modification for Live Oak Village. The property is located W. of Cedar St. and N. of W. Peachtree Ave. Applicant is McCrory & Williams, Inc.

Mrs. Boone explained revisions were received due to staff concerns.

Mr. Christian stated the Engineering Department is ready to move forward with the request.

Mrs. Angie Eckman stated the wetland buffer and open space have been identified.

Mrs. Boone explained the request is for a PUD modification. She stated the next step will be to provide detailed engineer and environmental plans. She explained there will be a public hearing when the applicant applies for preliminary subdivision of the property.

Chairman Abrams asked if a traffic study would be required.

Mr. Christian stated he believes the preliminary subdivision request will trigger a traffic analysis.

Mr. Dyess explained at the time the staff report was done there were concerns. He stated since that time staff has received a revised plan which addressed the concerns.

Commissioner Hellmich asked if drainage concerns have been addressed.

**PLANNING COMMISSION
WORK SESSION MINUTES DECEMBER 6, 2023
(Council Chambers of City Hall) 5:30 P.M.**

6

Mr. Christian stated this is a conceptual plan. He explained the flow accumulator will be used and has been effective in predicting potential flood areas. He stated there may be a reduction in lots once the design details are completed.

Commissioner Hellmich stated if the new layout does not address and satisfy drainage concerns the item needs to be carried over. He explained we need to ensure the additional phase will not affect the drainage in the area in a negative way.

Mr. Wayne Dyess stated there can be slight alterations in the layout after the design details are completed.

Commissioner Hellmich stated his stipulation would be that the final design cannot make drainage worse for others in the area. He explained the design needs to maintain the drainage as it is now or improve the drainage. He stated the regulations will require sidewalks to be installed on both sides of the streets.

Chairman Abrams stated it appears the applicant is requesting for the sidewalks to be built at the time of home construction.

Mr. Christian stated they do have the ability to bond the sidewalks. He stated the sidewalks need to be put in up front.

Mr. Dyess stated there are ADA issues that arise when the sidewalks are done piece by piece.

Chairman Abrams stated several Live Oak residents are in attendance and have provided letters to staff and the Commission addressing their concerns.

Mr. Laney Smith stated he believes all staff concerns have been addressed. He explained the sidewalks can and will be done up front if required. He stated the reason for the revision is to revise the old master plan in order to meet the new regulations. He explained he has received copies of the residents' concerns and will be meeting with them in a week or so for their annual meeting.

7. Approval of the 2024 By-Laws

8. Election of 2024 Officers

WORK SESSION ONLY:

9. Riviera Utilities-Providing Training

Mr. Tony Schachle with Riviera Utilities presented training on water, wastewater and the sewer system and how they work.

ADJOURN:

Chairman Abrams adjourned the meeting at 6:20 a.m.

**PLANNING COMMISSION
MEETING MINUTES DECEMBER 13, 2023
(Council Chambers of City Hall) 5:30 P.M.**

7

The City of Foley Planning Commission held a meeting on December 13, 2023 at 5:30 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Deborah Mixon, Larry Engel, Ralph Hellmich, Wes Abrams, Calvin Hare, Phillip Hinesley and Bill Swanson. Absent members were: Vera Quaites and Tommy Gebhart. Staff present were: Miriam Boone, City Planner; Chad Christian, City Engineer; Angie Eckman, Environmental Manager; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

Chairman Wes Abrams called the meeting to order at 5:30 pm.

MINUTES:

Approval of the November 1, 2023 and November 8, 2023 meeting minutes.

Commissioner Hellmich made a motion to approve the November 1, 2023 and November 8, 2023 meeting minutes. Commissioner Swanson seconded the motion. All Commissioners voted aye.

Motion to approve the November 1, 2023 and November 8, 2023 meeting minutes passes.

AGENDA ITEMS:

1. West Laurel Apartments- Request for 1 year Site Plan Extension

The City of Foley Planning Commission has received a 1 year site plan extension for West Laurel Apartments. Property is located N. of US Hwy. 98 and E. of N. Beech St. Applicant is Engineer Design Group, LLC.

Mrs. Miriam Boone explained the LDP permit has been issued, ALDOT has approved the turnout and the building permit is in process. She stated staff is recommending approval of the requested site plan extension.

Planning Commission Action:

Commissioner Hellmich made a motion to approve the requested 1 year site plan extension. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to approve the requested 1 year site plan extension passes.

2. *Bedsole Moseley Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of Bedsole Moseley Subdivision, a minor subdivision which consists of 38.11 +/- acres and 2 lots. Property is located at the SW corner of Underwood Rd. and County Rd. 55 and is located in the City of Foley Planning Jurisdiction. Applicant is Engineering Design Group.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item.

A representative speaking on the behalf of the Underwood's residents of 14149 County Rd. 55 stated they know the property is under contract with DR Horton. She asked how many homes would be built on the property.

**PLANNING COMMISSION
MEETING MINUTES DECEMBER 13, 2023
(Council Chambers of City Hall) 5:30 P.M.**

8

Mrs. Boone explained at this time the request is to subdivide the property into two lots which consists of 6 +/- acres and 33 +/- acres. She stated the applicant will have to come back to further subdivide the property.

Commissioner Hellmich explained the property is located in unzoned Baldwin County.

Commissioner Engel stated if they subdivide the property into individual lots they will be required to meet the 100' minimum lot width and 30,000 sq. ft. minimum lot area.

Planning Commission Action:

Mrs. Boone stated staff is recommending approval of the requested minor subdivision.

Commissioner Swanson made a motion to approve the requested minor subdivision. Commissioner Nixon seconded the motion.

Commissioner Engel stated it appears to him that they are subdividing the property for a commercial property to be located on the corner lot.

Commissioner Hellmich stated it is possible the owners are retaining the corner which is considered a valuable piece of property.

The representative for the Underwood's stated they have concerns regarding drainage.

Commissioner Hellmich stated when the property is developed they will have to address drainage.

All Commissioners voted aye.

Motion to approve the requested minor subdivision passes.

3. The Resubdivision of Lot 1B and the Replat of Lot 7 of the Replat of Woerner's Two Lots- Minor

The City of Foley Planning Commission has received a request for approval of The Resubdivision of Lot 1B and the Replat of Lot 7 of the Replat of Woerner's Two Lots, a minor subdivision which consists of 35.69 +/- acres and 3 lots. Property is located S. of County Rd. 20 (Mifflin Rd.) and E. of S. McKenzie St. Applicant is Goodwyn Mills Cawood, LLC.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

Planning Commission Action:

Mrs. Boone stated staff is recommending approval of the minor subdivision.

**PLANNING COMMISSION
MEETING MINUTES DECEMBER 13, 2023
(Council Chambers of City Hall) 5:30 P.M.**

9

Commissioner Hellmich made a motion to approve the minor subdivision based on staff's recommendation. Commissioner Swanson seconded the motion. All members voted aye.

Motion to approve the minor subdivision based on staff's recommendation passes.

4. Mills- Initial Zoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the initial zoning of 170 +/- acres. Proposed zoning is R-4 (Residential Single Family and Duplex) and AO (Agricultural Open Space). Property is located N. of US Hwy. 98 and W. of County Rd. 65. Applicant is the City of Foley.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item.

Ms. Kathy Terry resident of 17277 US Hwy. 98 stated the parcel behind her is being proposed as an AO zone.

Commissioner Hellmich explained AO is our Agricultural Open Space zone and is often used as a holding pattern. He stated he is not aware of any plans the property owner has for the parcel.

Planning Commission Action:

Commissioner Hellmich made a motion to recommend the requested initial zoning to the Mayor and Council. Commissioner Hinesley seconded the motion.

Commissioner Hellmich thanked Mrs. Boone and the leaders of the Mills Community for working together to get the zoning completed.

All Commissioners voted aye.

Motion to recommend the requested initial zoning to the Mayor and Council passes.

5. Mills Park- Initial Zoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the initial zoning of 4 +/- acres. Proposed zoning is OSP (Open Space/Preservation District). Property is located E. of Mills Rd. and N. of Breckner Rd. Applicant is the City of Foley.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item.

Mr. William Franklin resident of 17210 Pettibone Ln. asked if any work had been started on the property.

Commissioner Hellmich stated they have a contractor in place to forest cut the lot. He stated they will be preserving any significant trees for shading purposes.

**PLANNING COMMISSION
MEETING MINUTES DECEMBER 13, 2023
(Council Chambers of City Hall) 5:30 P.M.**

10

Mrs. Boone stated staff is recommending approval of the requested initial zoning.

Planning Commission Action:

Commissioner Engel made a motion to recommend the requested initial zoning to the Mayor and Council. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to recommend the requested initial zoning to the Mayor and Council passes.

6. Live Oak Village- PUD Modification

The City of Foley Planning Commission has received a request for a PUD modification for Live Oak Village. The property is located W. of Cedar St. and N. of W. Peachtree Ave. Applicant is McCrory & Williams, Inc.

Commissioner Abrams explained several letters were received and on record regarding residents' concerns.

Mrs. Boone explained the staff report was modified due to the revisions that were submitted by the applicant. She stated staff is recommending a conditional approval.

Commissioner Hinesley asked when the original master plan was approved.

Commissioner Hellmich stated the master plan was approved in 1997 with several modifications after that time. He explained the proposed plan is a lower density than the original plan. He stated the original plan included commercial components which have also been reduced.

Mrs. Boone read the staff report provided by the Engineering Department which stated approved with the following conditions pouring sidewalks with the infrastructure and arranging lots to pass through off site water safety.

Commissioner Hinesley asked if there are apartments currently within the area.

Mr. Laney Smith representative with CHS explained the apartments being proposed are identical to the existing apartments in the development. He stated the apartments will be one story with 8 to 12 units per building.

Commissioner Hellmich stated the citizens expressed concerns in regards to the proposed storage units being rented to people living outside of Live Oak Village.

Mr. Smith stated the storage units were added at the request of some residents. He explained the units would strictly be for Live Oak Village residents only.

Mr. Ronnie Cook resident of 1669 Hudson Rd. stated he just arrived back in town and found out about the meeting. He asked for an explanation of the approval process.

Commissioner Hellmich explained the request is to have the Commission approve the conceptual design. He stated they will have to work with the Engineering Department to finalize the drainage

**PLANNING COMMISSION
MEETING MINUTES DECEMBER 13, 2023
(Council Chambers of City Hall) 5:30 P.M.**

11

plans to meet the new guidelines which may result in a slight change to the design and possible reduction in lots. He explained his understanding is the residents have a lot of concerns which many are internal community issues that will be discussed at the annual community meeting on Thursday. He stated the request is meeting the city guidelines with less density and concerns regarding traffic and drainage will have to be addressed.

Mrs. Boone explained the plan is a conceptual zoning plan. She stated if the property is subdivided into individual lots they will have to come before the Commission for approval which would include a public hearing.

Commissioner Hellmich stated they will be looking at internal drainage as well as up and down stream drainage. He explained the original development was done in the 90's and the design regulations have changed drastically since that time.

Commissioner Hinesley stated the proposed lots appear to be much smaller than the existing lots within the subdivision.

Mr. Smith explained the changes in the regulations are what prompted the modifications. He stated they cannot build what was previously approved and meet today's regulations. He explained there are currently over 40 acres of open space within the entire development which do not include drainage areas.

Commissioner Engel asked about the flood zones in the area which he stated appear to be close to the proposed lots.

Mrs. Boone explained Chuck Lay, the FloodPlain manager, had reviewed the proposed modification. She stated the design is conceptual and when they apply for preliminary a more intense review will be completed by staff.

Commissioner Engel stated it would be nice to see some larger lots mixed into the design.

Commissioner Hellmich recommended a conditional approval which shall include the comments from the Engineering Department in regards to the sidewalks, drainage and a traffic study. Commissioner Swanson seconded the motion. Commissioner Engel and Commissioner Hinesley voted nay. All other Commissioners voted aye.

Motion to approve the requested PUD modification passes.

7. Approval of the 2024 By-Laws

Commissioner Abrams made a motion to approve the 2024 by-laws. Commissioner Hellmich seconded the motion. All Commissioners voted aye.

Motion to approve the 2024 by-laws passes.

**PLANNING COMMISSION
MEETING MINUTES DECEMBER 13, 2023
(Council Chambers of City Hall) 5:30 P.M.**

12

8. Election of 2024 Officers

Commissioner Hellmich made a motion to nominate the current Chairman Wes Abrams and Vice Chairman Calvin Hare to serve as the 2024 officers. Commissioner Engel seconded the motion.

Motion to nominate the current Chairman Wes Abrams and Vice Chairman Calvin Hare to serve as the 2024 officers passes.

ADJOURN:

Chairman Abrams adjourned the meeting at 6:09 p.m.



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

13

STAFF RECOMMENDATION: Approve
PROJECT NAME: Bay Street Village Preliminary Extension
REQUEST: Application for Extension

OWNER / APPLICANT: GMC Daphne

ACREAGE: 16.96

NUMBER OF LOTS: 77

PIN#(s): 67668

LOCATION: NW Corner of E Michigan Ave & S Bay st

PROJECT DESCRIPTION: Bay Street Village Preliminary Extension

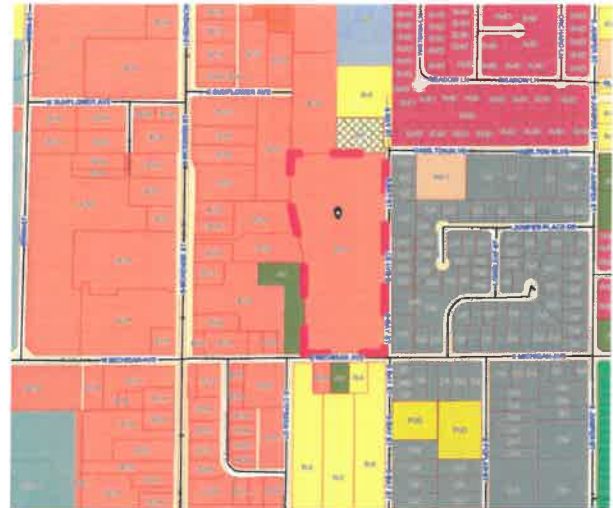
CURRENT ZONING: B-1A

REQUESTED ZONING: N/A

ADJACENT ZONING: AO, B-1A, PO, R-2, R-3

FUTURE LAND USE: MXU, Mixed Use
Commercial/Residential

EXISTING LAND USE: Under Construction



UTILITY LETTERS
RECEIVED: No
DEED RECEIVED: No
AGENT AUTHORIZATION: Yes

14

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. They received a 6-month extension on both phases in August 2023. They have submitted for final plat.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Approved

1. Engineering recommends the time extension. Contractor is completing punchlist items.

Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Approved

1. Environmental recommends extension approval to allow permanent stabilization of the site.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Building Safety and Floodplain Management are not opposed

sheet 2 of 2



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

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STAFF RECOMMENDATION: Approve
PROJECT NAME: Cove at Cotton Bayou Phase 1 Preliminary Extension
REQUEST: Application for Extension

OWNER / APPLICANT: Jade Consultants, LLC

ACREAGE: 20.5

NUMBER OF LOTS: 53

PIN#(s): 66266

LOCATION: E of Co Rd 65, N of Arbor Walk
Subdivision

PROJECT DESCRIPTION: Cove at Cotton Bayou
Phase 1 Preliminary Extension

CURRENT ZONING: Unzoned BC Dist 34

REQUESTED ZONING: N/A

ADJACENT ZONING: NORTH & SOUTH: City of
Foley R-1D; EAST & WEST: Unzoned BC Dist 34

FUTURE LAND USE: RL, Residential Low
Density (2-4)

EXISTING LAND USE: VACANT



UTILITY LETTERS
RECEIVED: No
DEED RECEIVED: No
AGENT AUTHORIZATION: Yes

18

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. This is their first request for an extension.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Approved

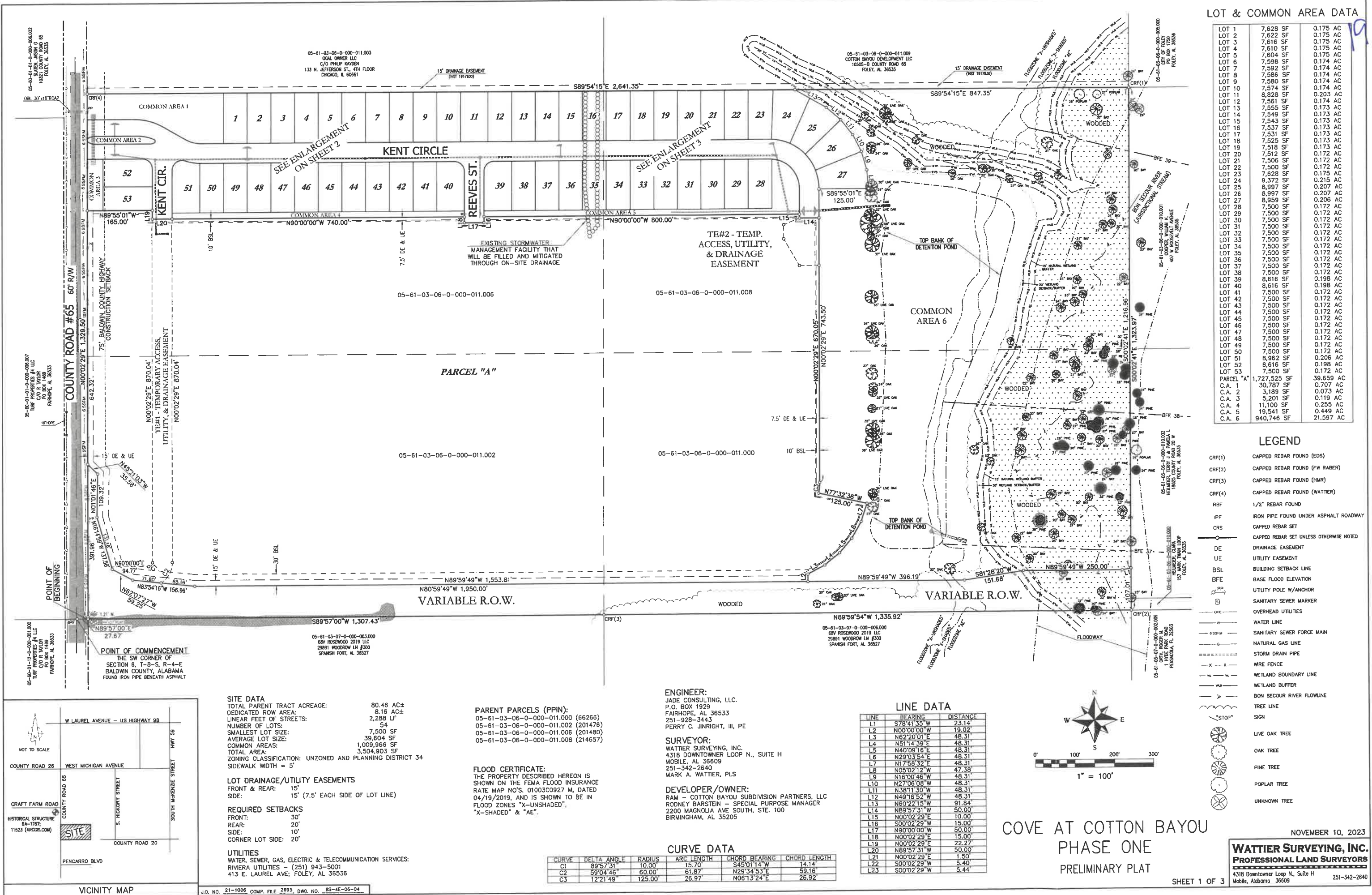
1. Engineering recommends the time extension

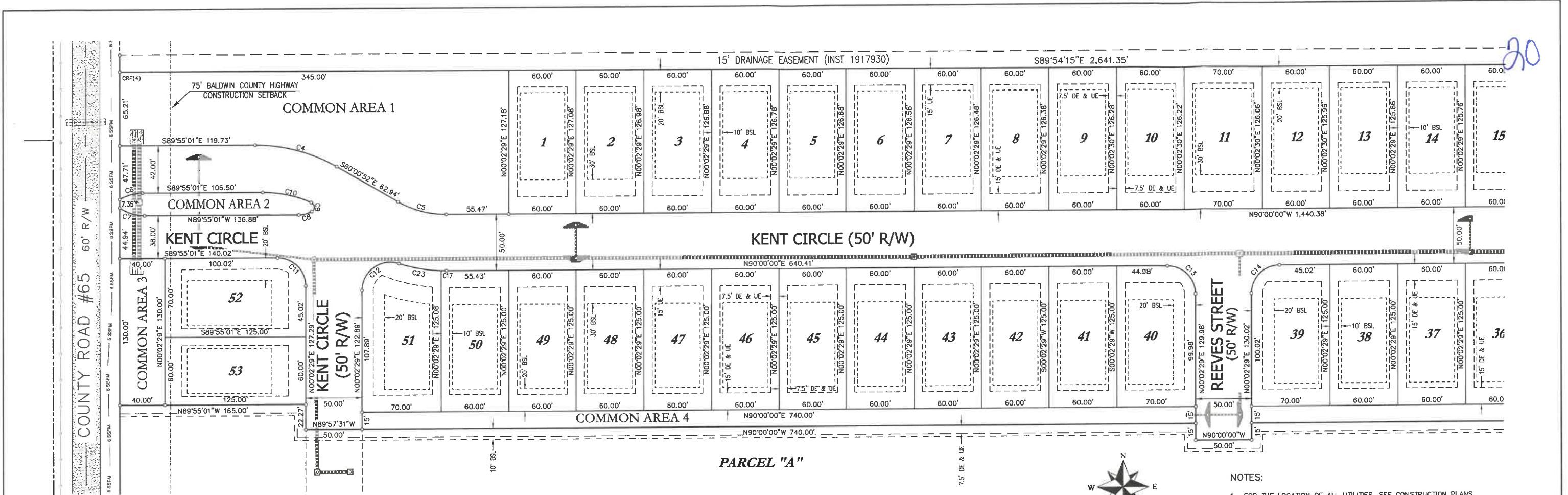
Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Approved

1. Environmental recommends extension approval.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Not in Foley Floodplain , however, 2 parcels are in the County Floodplain. No other comments





SURVEYOR'S CERTIFICATE

STATE OF ALABAMA
COUNTY OF BALDWIN

I, MARK A. WATTIER, A LICENSED SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF RAM - COTTON BAYOU SUBDIVISION PARTNERS, LLC SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON PIPE BENEATH ASPHALT AT THE SOUTHWEST CORNER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN NORTH 89°-57'-00" EAST A DISTANCE OF 27.67 FEET TO A CAPPED REBAR (WATTIER) ON THE EAST RIGHT-OF-WAY LINE OF COUNTY ROAD 65 (60' R/W) AND THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE RUN NORTH 00°-02'-29" EAST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 1,329.50 FEET TO A CAPPED REBAR (WATTIER) ON THE NORTH LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE RUN SOUTH 89°-54'-15" EAST ALONG SAID NORTH LINE AND ALONG THE NORTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6 A DISTANCE OF 2,641.35 FEET TO CAPPED REBAR (EDS) AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE RUN SOUTH 00°-02'-41" EAST ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6 A DISTANCE OF 1,323.97 FEET TO A CAPPED REBAR (FW RABER) AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 6; THENCE RUN NORTH 89°-59'-54" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6 A DISTANCE OF 1,335.92 FEET TO A CAPPED REBAR (HMR); THENCE RUN SOUTH 89°-57'-00" WEST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 6 A DISTANCE OF 1,307.43 FEET TO THE POINT OF BEGINNING. THE DESCRIBED PARCEL CONTAINS 80.46 ACRES, MORE OR LESS.

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER, AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS, AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS. SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THUS AS HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20____.

SURVEYOR _____
ALABAMA LICENSE #20364

LINE DATA

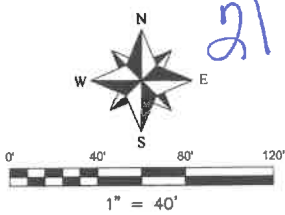
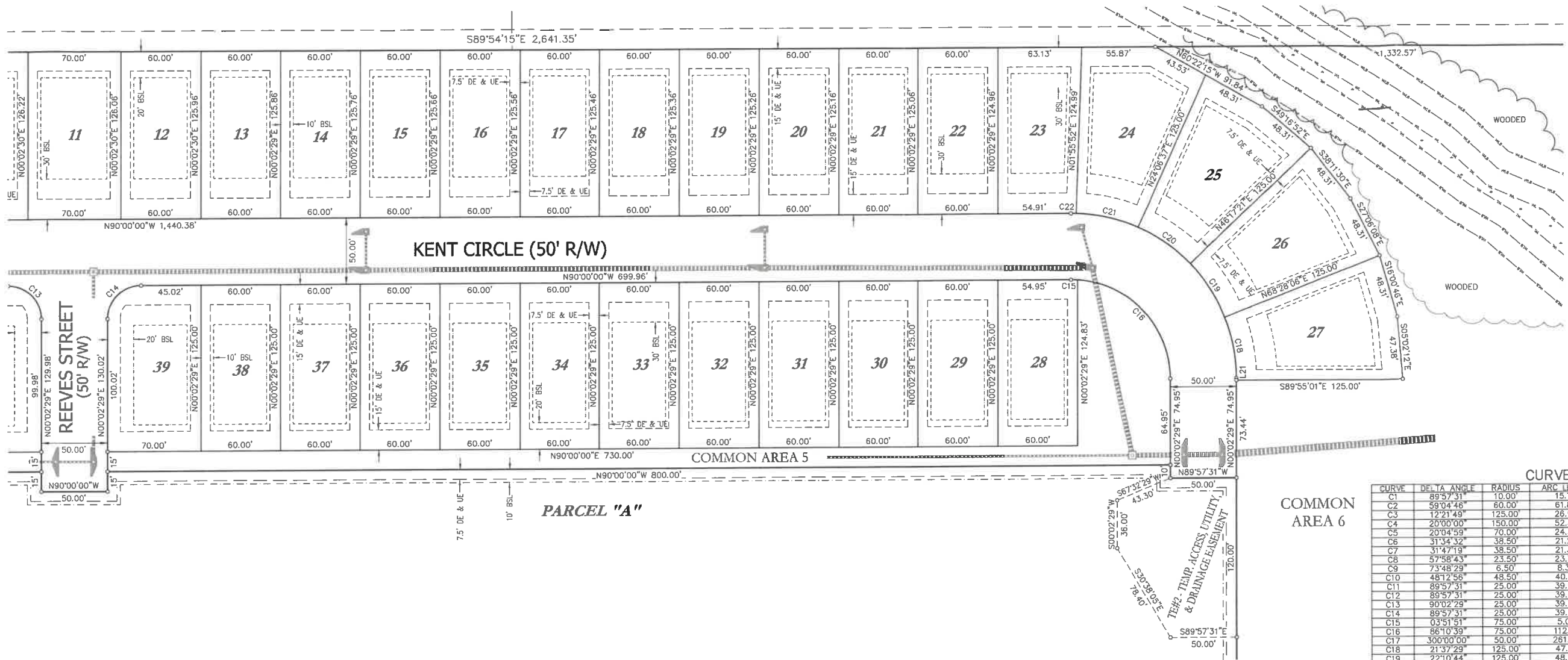
LINE	BEARING	DISTANCE
L1	S78°41'35" W	23.14
L2	N00°00'00" W	19.02
L3	N62°20'01" E	48.31
L4	N51°14'39" E	48.31
L5	N40°09'16" E	48.31
L6	N29°03'54" E	48.31
L7	N17°58'32" E	48.31
L8	N05°02'12" W	47.38
L9	N16°00'46" W	48.31
L10	N27°06'08" W	48.31
L11	N38°11'30" W	48.31
L12	N49°16'52" W	48.31
L13	N60°22'15" W	91.84
L14	N89°57'31" W	50.00
L15	N00°02'29" E	10.00
L16	S00°02'29" W	15.00
L17	N90°00'00" W	50.00
L18	N00°02'29" E	15.00
L19	N00°02'29" E	22.27
L20	N89°57'31" W	50.00
L21	N00°02'29" E	1.50
L22	S00°02'29" W	5.40
L23	S00°02'29" W	5.44

CURVE DATA

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	89°57'31"	10.00	15.70	S45°01'14" W	14.14
C2	59°04'46"	60.00	61.87	N29°34'53" E	59.16
C3	12°21'49"	125.00	26.97	N06°13'24" E	26.92
C4	29°54'09"	146.00	76.20	S74°57'57" E	75.34
C5	29°59'08"	85.00	44.48	S75°00'26" E	43.98
C6	31°35'24"	38.50	21.23	N74°17'17" E	20.96
C7	34°56'01"	38.50	23.47	S72°27'00" E	23.11
C8	28°46'46"	23.50	11.80	N75°41'36" E	11.68
C9	127°37'55"	4.50	10.02	N02°30'45" W	8.08
C10	23°35'09"	108.00	44.46	S78°07'17" E	44.15
C11	89°57'31"	25.00	39.25	S44°56'16" E	35.34
C12	108°00'36"	25.00	47.13	N45°02'48" E	40.45
C13	90°02'29"	25.00	39.29	S44°58'49" E	35.37
C14	89°57'31"	25.00	39.25	N45°01'15" E	35.34
C15	03°51'51"	75.00	5.06	S88°04'05" E	5.06
C16	86°10'39"	75.00	112.81	S43°02'50" E	102.47
C17	01°56'20"	135.00	4.57	N89°01'50" W	4.57
C18	21°37'29"	125.00	47.18	N10°46'15" W	46.90
C19	22°10'44"	125.00	48.39	N32°40'22" W	48.09
C20	22°10'44"	125.00	48.39	N54°51'06" W	48.09
C21	22°10'44"	125.00	48.39	N77°01'51" W	48.09
C22	01°52'47"	125.00	4.10	N89°03'36" W	4.10
C23	16°06'46"	135.00	37.96	S80°00'17" E	37.84

NOTES:

- FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
- THERE IS A DEDICATED DRAINAGE, UTILITY, AND MAINTENANCE EASEMENT OVER THE ENTIRETY OF COMMON AREAS 1, 2, 3, 4, 5 & 6.
- A HOME OWNERS ASSOCIATION (HOA) IS REQUIRED TO BE FORMED. THE HOA IS REQUIRED TO MAINTAIN ANY AND ALL STORM WATER FACILITIES AND STRUCTURES LOCATED OUTSIDE OF THE PUBLICLY ACCEPTED RIGHT-OF-WAY. THE HOA IS RESPONSIBLE FOR COMMON AREA MAINTENANCE.
- STORM WATER DETENTION AREAS AND OTHER WATER BODIES OR WATERCOURSES INCLUDING THE BON SECOUR RIVER ARE NOT THE RESPONSIBILITY OF BALDWIN COUNTY OR THE CITY OF FOLEY TO MAINTAIN.
- THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE, IF APPLICABLE, AND ENERGY COSTS OF THE STREET LIGHTS.
- THIS SURVEY DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN WHAT IS READILY VISIBLE ON THE SURFACE OR PROVIDED BY THE CLIENT.
- BEARINGS SHOWN HEREON ARE STATE PLANE COORDINATE GRID BEARINGS AND ARE NOT GEODETIC BEARINGS. CONVERGENCE ANGLE FROM GRID NORTH TO GEODETIC NORTH IS -00° 06' 25".
- CAPPED REBARS (WATTIER) HAVE BEEN SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
- TEMPORARY ACCESS, UTILITY, & DRAINAGE EASEMENTS TE#1 & TE#2 ARE TO BE VACATED IN R.O.W. EXTENSION OF FUTURE PHASES.
- PROJECT IS DEDICATING R.O.W. ALONG THE SOUTHERN BOUNDARY FOR EXTENSION OF CR 20 TO CR 65.
- PROJECT PROVIDES FOR 75' HIGHWAY CONSTRUCTION SETBACK FROM CENTERLINE OF CR 65.
- R.O.W. WITHIN THE DEVELOPMENT WILL BE PUBLIC R.O.W.
- PROPOSED STREETS TO PROVIDE 10' LANES WITH 30" VALLEY GUTTER.
- ALL LOTS HAVE 15' DRAINAGE AND UTILITY EASEMENTS, INTERIOR LOT LINES HAVE THE EASEMENT SPLIT 7.5' ON EACH SIDE.
- PROJECT PROPOSES NO OVERHEAD UTILITIES.
- SIDEWALKS WILL BE INSTALLED IN R.O.W. AND THE WIDTH WILL BE 5'.
- ALL OR PART OF THE PROPERTY CONTAINED WITHIN THIS SUBDIVISION LIES IN A FLOODWAY OR FLOOD PRONE AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FEDERAL INSURANCE RATE MAP. PURCHASERS OF PROPERTY WITHIN THIS SUBDIVISION ARE ADVISED THAT THE CONSTRUCTION OF IMPROVEMENTS MAY BE SUBJECT TO ADDITIONAL INSURANCE REQUIREMENTS AND BUILDING REGULATIONS.



LINE DATA		
LINE	BEARING	DISTANCE
L1	S78°41'35" W	23.14'
L2	N00°00'00" W	19.02'
L3	N62°20'01" E	48.31'
L4	N31°14'39" E	48.31'
L5	N40°09'18" E	48.31'
L6	N29°03'54" E	48.31'
L7	N17°58'32" E	48.31'
L8	N05°02'12" W	47.38'
L9	N16°00'48" W	48.31'
L10	N27°06'08" W	48.31'
L11	N38°11'30" W	48.31'
L12	N49°16'52" W	48.31'
L13	N60°22'15" W	91.84'
L14	N89°57'31" W	50.00'
L15	N00°02'29" E	10.00'
L16	S00°02'29" W	15.00'
L17	N90°00'00" W	50.00'
L18	N00°02'29" E	15.00'
L19	N00°02'29" E	22.27'
L20	N89°57'31" W	50.00'
L21	N00°02'29" E	1.50'
L22	S00°02'29" W	5.40'
L23	S00°02'29" W	5.44'

CURVE DATA					
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	89°57'31"	10.00'	15.70'	S45°01'14" W	14.14'
C2	59°04'46"	60.00'	61.87'	N29°34'53" E	59.16'
C3	12°21'49"	125.00'	26.37'	N06°13'24" E	26.92'
C4	20°00'00"	150.00'	52.36'	S79°55'01" E	52.09'
C5	20°04'59"	70.00'	24.54'	S79°57'31" E	24.41'
C6	31°34'32"	38.50'	21.22'	N74°22'48" E	20.95'
C7	31°47'19"	38.50'	21.36'	S75°00'39" E	21.09'
C8	57°58'43"	23.50'	23.78'	N61°05'45" E	22.78'
C9	73°48'29"	6.50'	8.37'	N04°47'51" W	7.81'
C10	48°12'56"	48.50'	40.81'	S65°48'33" E	39.62'
C11	89°57'31"	25.00'	39.25'	S44°56'16" E	35.34'
C12	89°57'31"	25.00'	39.25'	N45°01'15" E	35.34'
C13	90°02'29"	25.00'	39.29'	S44°58'45" E	35.37'
C14	89°57'31"	25.00'	39.25'	N45°01'15" E	35.34'
C15	03°51'51"	75.00'	5.06'	S88°04'05" E	5.06'
C16	86°10'39"	75.00'	112.81'	S43°02'50" E	102.47'
C17	300°00'00"	50.00'	261.80'	S89°59'24" W	50.00'
C18	21°37'29"	125.00'	47.18'	N10°48'15" W	46.90'
C19	22°10'44"	125.00'	48.39'	N32°40'22" W	48.09'
C20	22°10'44"	125.00'	48.39'	N54°51'06" W	48.09'
C21	22°10'44"	125.00'	48.39'	N77°01'51" W	48.09'
C22	01°52'47"	125.00'	4.10'	N89°03'36" W	4.10'

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION

THE WITHIN PLAT OF THE PAXTON FARMS SUBDIVISION, PHASE ONE, FOLEY, ALABAMA IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING AND ZONING COMMISSION, THIS THE _____ DAY OF _____, 20____.

CHAIRMAN, PLANNING COMMISSION

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

CITY ENGINEER

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES – POWER:

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES – WATER & SANITARY SEWER:

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES – GAS:

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES – TELECOMMUNICATIONS:

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITH PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 911:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY 911, HEREBY APPROVES THE WITH PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER

THE UNDERSIGNED, AS COUNTY ENGINEER OF THE COUNTY OF BALDWIN, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

COUNTY ENGINEER

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY PLANNING DIRECTOR:

THE UNDERSIGNED, AS DIRECTOR OF THE BALDWIN COUNTY PLANNING AND ZONING DEPARTMENT, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA THIS THE _____ DAY OF _____, 20____.

PLANNING DIRECTOR

CERTIFICATE OF APPROVAL BY THE FLOODPLAIN MANAGER:

THE UNDERSIGNED, AS BALDWIN COUNTY FLOODPLAIN MANAGER, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA THIS THE _____ DAY OF _____, 20____.

FLOODPLAIN MANAGER

CERTIFICATION OF OWNERSHIP AND DEDICATION

THIS IS TO CERTIFY THAT RAM – COTTON BAYOU SUBDIVISION PARTNERS, LLC, IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT THE SAME HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS _____ DAY OF _____, 20____.

OWNER: RAM – COTTON BAYOU SUBDIVISION PARTNERS, LLC
RODNEY BARSTEIN – SPECIAL PURPOSE MANAGER

CERTIFICATION BY NOTARY PUBLIC

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY THAT RODNEY BARSTEIN, WHOSE NAME AS SPECIAL PURPOSE MANAGER OF RAM – COTTON BAYOU SUBDIVISION PARTNERS, LLC, IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND AS SUCH OFFICER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

COVE AT COTTON BAYOU
PHASE ONE
PRELIMINARY PLAT

NOVEMBER 10, 2023

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 Downlamer Loop N., Suite H
Mobile, Alabama 36609 251-342-2640



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

STAFF RECOMMENDATION: Approve
PROJECT NAME: Outpost Orchard Extension Request
REQUEST: Application for Extension

OWNER / APPLICANT: SE Civil, LLC

ACREAGE: 30.7

NUMBER OF LOTS: 247

PIN#(s): 69285

LOCATION: 1034 ALMOND CIR LOT 73

PROJECT DESCRIPTION: Outpost Orchard Extension Request

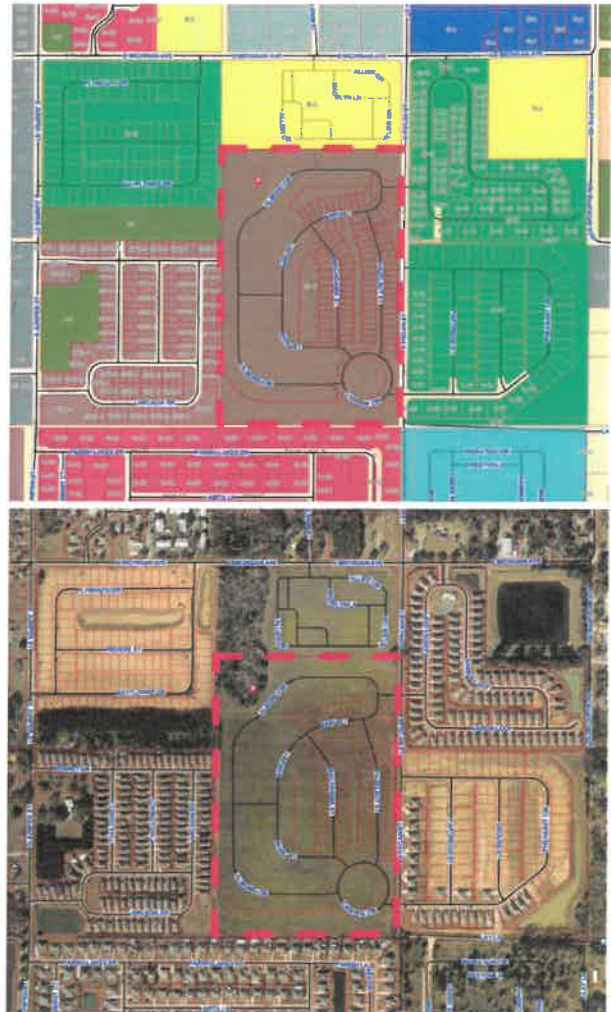
CURRENT ZONING: TH-1 (Townhouses Planned Zone)

REQUESTED ZONING: N/A

ADJACENT ZONING: NORTH: R-3; EAST: R-1D;
SOUTH: R-1C; WEST: GPH1, AO, R-1D

FUTURE LAND USE: RM, Residential Med. Density (4-7)

EXISTING LAND USE: Under Construction



UTILITY LETTERS
RECEIVED: No
DEED RECEIVED: No
AGENT AUTHORIZATION: Yes

23

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. This is their first request for an extension. They received final plat on Phase I in October (87 lots).

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Approved

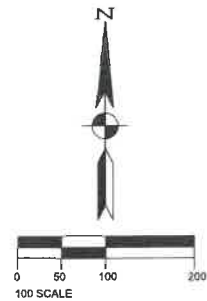
1. Engineering recommends approval. The LDP covers the three phases

Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Approved

1. Approval is recommended.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Building Safety and Floodplain Management not opposed



SITE DATA

CURRENT ZONING: TH-1
MINIMUM LOT SIZE: 2400 SF
LIN. FT. STREETS: 8,807 LF
NUMBER OF LOTS: 247
SMALLEST LOT: 4442 sf (Lot 67)
LARGEST LOT: 7305 sf (Lot 226)
COMMON AREAS: 21.86 AC (37%)
TOTAL AREA: 59.16 AC.

BUILDING SETBACKS:

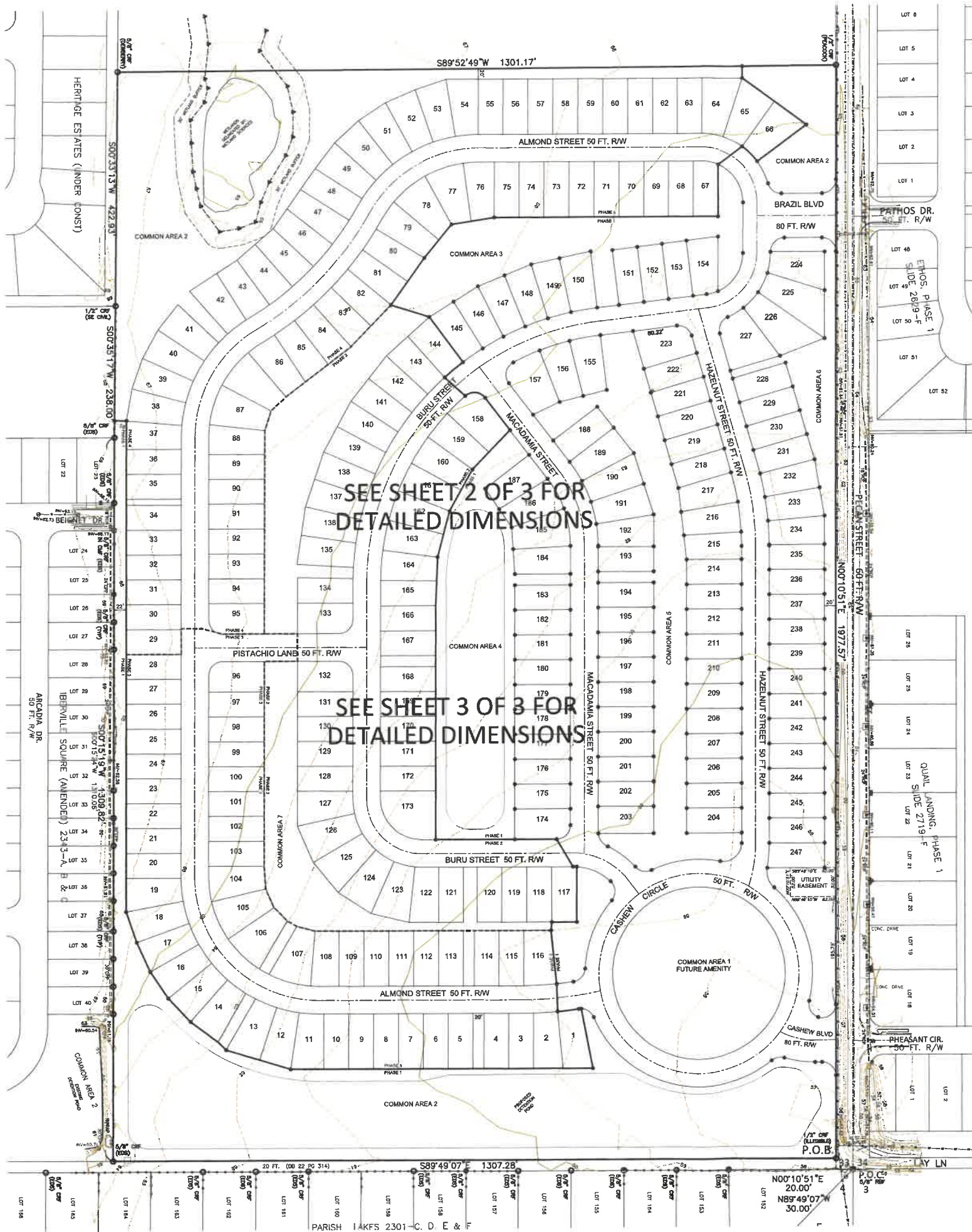
FRONT YARD = 20 FEET
REAR YARD = 15 FEET
SIDE YARD = 5 FEET
SIDE STREET = 15 FEET

UTILITY PROVIDERS

WATER SERVICE - RIVIERA UTILITIES
SEWER SERVICE - RIVIERA UTILITIES
ELECTRIC SERVICE - RIVIERA UTILITIES
GAS SERVICE - RIVIERA UTILITIES
TELEPHONE - RIVIERA UTILITIES

LEGEND

- CONCRETE MONUMENT F.D.
- REBAR F.D.
- CAPPED REBAR F.D.
- ORANGE INLET
- POWER POLE
- GUY WIRE ANCHOR
- SEWER MANHOLE
- ORANGE MANHOLE
- FIRE HYDRANT
- WATER METER
- SECTION LINE
- BURIED GAS MAIN
- BURIED SEWER MAIN
- BURIED WATER MAIN
- OVERHEAD POWER LINE
- WOOD PRIVACY FENCE
- WIRE FENCE
- WETLAND MARKER
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- R/W RIGHT-OF-WAY
- PG PAGE
- DB DEED BOOK
- MB MAP BOOK
- ROP REINFORCED CONCRETE PIPE
- CPP CORRUGATED PLASTIC PIPE
- INV INVERT



SEE SHEET 2 OF 3 FOR
DETAILED DIMENSIONS

SEE SHEET 3 OF 3 FOR
DETAILED DIMENSIONS

**CERTIFICATE OF APPROVAL BY
THE CITY OF FOLEY PLANNING COMMISSION**
THE WITHIN PLAT OF HERITAGE LANDING, FOLEY, ALABAMA, IS HEREBY
APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION.
THIS THE ____ DAY OF _____, 20__.

CITY PLANNING COMMISSION CHAIRMAN

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER
THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA,
HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE
PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
THIS THE ____ DAY OF _____, 20__.

CITY ENGINEER

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (WATER)
THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES HEREBY APPROVES
THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF
BALDWIN COUNTY, ALABAMA, THIS ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (SEWER)
THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES HEREBY APPROVES
THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF
BALDWIN COUNTY, ALABAMA, THIS ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF OWNERSHIP
ME, THE UNDERSIGNED, _____, AS PROPRIETOR(S),
HAVE CAUSED THE LAND EMBRACED IN THE WITHIN PLAT TO BE
SURVEYED, LAID OUT AND PLATTED TO BE KNOWN AS HERITAGE LANDING,
FOLEY, ALABAMA, AND THAT THE STREETS AND EASEMENTS, AS SHOWN
ON SAID PLAT, ARE HEREBY DEDICATED TO THE USE OF THE PUBLIC.
DATED THIS ____ DAY OF _____, 20__.

PRINT NAME SIGNATURE

CERTIFICATE OF NOTARY PUBLIC:
STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN
SAID STATE, HEREBY CERTIFY THAT _____, AS
OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING
INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON
THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT,
AND AS SUCH LEASEHOLD OWNER AND WITH FULL AUTHORITY, EXECUTED
THE SAME VOLUNTARILY.
GIVEN UNDER MY HAND AND OFFICIAL SEAL THE ____ DAY
OF _____, 20__.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

CERTIFICATE OF APPROVAL BY E-911 ADDRESSING:
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911
BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE
WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE
RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY,
ALABAMA, THIS ____ DAY OF _____, 20__.

AUTHORIZED SIGNATURE

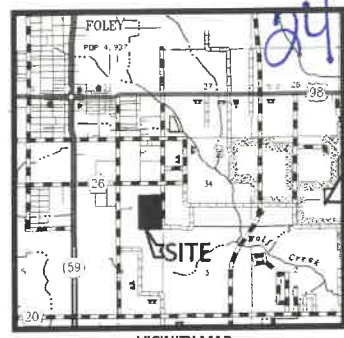
CERTIFICATE OF APPROVAL BY CENTURYLINK
THE UNDERSIGNED, AS AUTHORIZED BY CENTURYLINK HEREBY APPROVES THE
WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF
BALDWIN COUNTY, ALABAMA, THIS ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN EMC (ELECTRIC):
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC HEREBY APPROVES THE
WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF
BALDWIN COUNTY, ALABAMA, THIS ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

FLOOD STATEMENT
PROPERTY LIES IN FLOOD ZONE "X" AS SCALED FROM
FLOOD INSURANCE RATE MAP NUMBER 01003C00818M,
COMMUNITY NUMBER 010007, PANEL 0818, SUFFIX "M",
DATED APRIL 19, 2019.



- GENERAL NOTES:**
1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
 2. ALL COMMON AREAS, INCLUDING ALL STORMWATER DRAINAGE INFRASTRUCTURE WITHIN THOSE COMMON AREAS, ARE PRIVATE AND TO BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION AND WILL NOT BE MAINTAINED BY THE CITY OF FOLEY.
 3. ALL UTILITIES WILL BE CONSTRUCTED UNDERGROUND.
 4. THERE IS DEDICATED HEREWITH A 10 FOOT UTILITY EASEMENT ON ALL LOT LINES ADJACENT TO RIGHT-OF-WAYS AND A 10 FOOT (5 FEET EACH SIDE) UTILITY EASEMENT ALONG ALL SIDE LOT LINES.
 5. AT THE TIME OF HOUSE CONSTRUCTION ON EACH LOT, THE LOT OWNER WILL BE REQUIRED TO COMPLY WITH THE CITY'S TREE ORDINANCE.
 6. THE DEVELOPER HAS PROVIDED TO THE CITY OF FOLEY A PERFORMANCE BOND AS DEFINED IN PARAGRAPH 3.2 OF THE CITY OF FOLEY SUBDIVISION REGULATIONS IN LIEU OF CONSTRUCTING SIDEWALKS PRIOR TO THE RECORDING OF THIS PLAT. THIS BOND IS FOR A ONE YEAR PERIOD AT THE END OF WHICH TIME SIDEWALKS WILL HAVE BEEN CONSTRUCTED OR WILL BE CONSTRUCTED AT THAT TIME. SIDEWALKS WILL BE CONSTRUCTED WITHIN THE R.O.W. ALONG THE FRONT OF ALL LOTS AND COMMON AREAS, AND ALL SUCH SIDEWALKS SHALL BE COMPLIANT WITH THE CITY OF FOLEY CONSTRUCTION MANUAL AND THE AMERICANS WITH DISABILITIES ACT (ADA), WHICH MEANS THE SLOPE OF ALL DRIVEWAYS INSTALLED OVER THE PATH OF THE SIDEWALKS MUST MEET THE ADA.
 7. THERE IS DEDICATED HEREWITH A 10 FOOT UTILITY EASEMENT ON ALL COMMON AREAS ADJACENT TO RIGHT-OF-WAYS AND A 10 FOOT (5 FEET EACH SIDE) UTILITY EASEMENT ALONG ALL COMMON AREA SIDE LOT LINES, UNLESS OTHERWISE SHOWN HEREON.
 8. ALL LOTS SHALL ACCESS INTERIOR STREETS ONLY AND SHALL NOT HAVE DIRECT ACCESS TO PECAN STREET.

- SURVEYOR'S NOTES:**
1. THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
 2. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
 3. THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
 4. SURVEY WAS CONDUCTED ON MARCH 2021, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
 5. BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES, AND ARE BASED ON STATE PLANE GRID, ALABAMA MEAN ZONE USING OPS OBSERVATIONS.
 6. ELEVATIONS SHOWN HEREON ARE RELATED TO MEAN SEA LEVEL, BASED ON N.A.V.D. 1988 DATUM.
 7. THE UTILITY INFORMATION SHOWN HEREON WAS OBTAINED BY SURVEYING AND PLOTTING THE VISIBLE ABOVE GROUND UTILITY FEATURES.
 8. NO TITLE SEARCH OR REPORT WAS PROVIDED FOR THIS SURVEY.
 9. THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, EFFECTIVE JANUARY 1, 2017.

SURVEYOR'S CERTIFICATE
I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN
COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS
OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY
KNOWLEDGE, INFORMATION, AND BELIEF.

COMMENCE AT A 5/8 INCH REBAR FOUND AT THE SOUTHEAST CORNER OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA, AND RUN
THENCE NORTH 89 DEGREES 49 MINUTES 07 SECONDS WEST, A DISTANCE OF 30.00
FEET, THENCE RUN NORTH 00 DEGREES 10 MINUTES 51 SECONDS EAST, A DISTANCE
OF 20.00 FEET TO A CAPPED REBAR FOUND (ILLEGIBLE) ON THE WEST RIGHT OF WAY
OF PECAN STREET FOR THE POINT OF BEGINNING, THENCE CONTINUE NORTH 00
DEGREES 10 MINUTES 51 SECONDS EAST, ALONG SAID WEST RIGHT OF WAY, A
DISTANCE OF 1977.57 FEET TO A CAPPED REBAR FOUND (PEACOCK); THENCE
DEPARTING SAID WEST RIGHT OF WAY, RUN SOUTH 89 DEGREES 52 MINUTES 49
SECONDS WEST, A DISTANCE OF 1301.17 FEET TO A CAPPED REBAR FOUND
(DEWBERRY); THENCE RUN SOUTH 00 DEGREES 33 MINUTES 13 SECONDS WEST, A
DISTANCE OF 422.93 FEET TO A CAPPED REBAR FOUND (SE CIVIL); THENCE RUN
SOUTH 00 DEGREES 35 MINUTES 17 SECONDS WEST, A DISTANCE OF 238.00 FEET TO
A CAPPED REBAR FOUND (EDS) AT THE NORTHEAST CORNER OF IBERVILLE SQUARE
(AMENDED) AS SHOWN BY MAP OR PLAT THEREOF RECORDED AT SLIDE 2343-A
2343-B, AND 2343-C, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA; THENCE RUN
SOUTH 00 DEGREES 15 MINUTES 19 SECONDS WEST, ALONG THE EAST LINE OF SAID
IBERVILLE SQUARE, A DISTANCE OF 1309.82 FEET TO A CAPPED REBAR FOUND (EDS);
THENCE RUN SOUTH 89 DEGREES 49 MINUTES 07 SECONDS EAST, A DISTANCE OF
1307.28 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 59.16 ACRES, MORE OR
LESS, AND LIES IN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 7 SOUTH,
RANGE 4 EAST, BALDWIN COUNTY, ALABAMA.

(DESCRIPTION COMPOSED FROM PROBATE RECORDS AND AN ACTUAL FIELD SURVEY)

AND THAT THE MAP OR PLAT CONTAINED HEREIN IS A TRUE AND CORRECT MAP
SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED GIVING
THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND
ITS NUMBERS SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS AND GIVING THE
BEARINGS, LENGTH AND WIDTH AND NAMES OF THE STREETS, SAID MAP FURTHER
SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND
THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THUS (o) AS
HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING
HAVE BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM
TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF
ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

DAVID E. DIEHL AL. P.L.S. NO. 26014 DATE 11-23-2021
SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

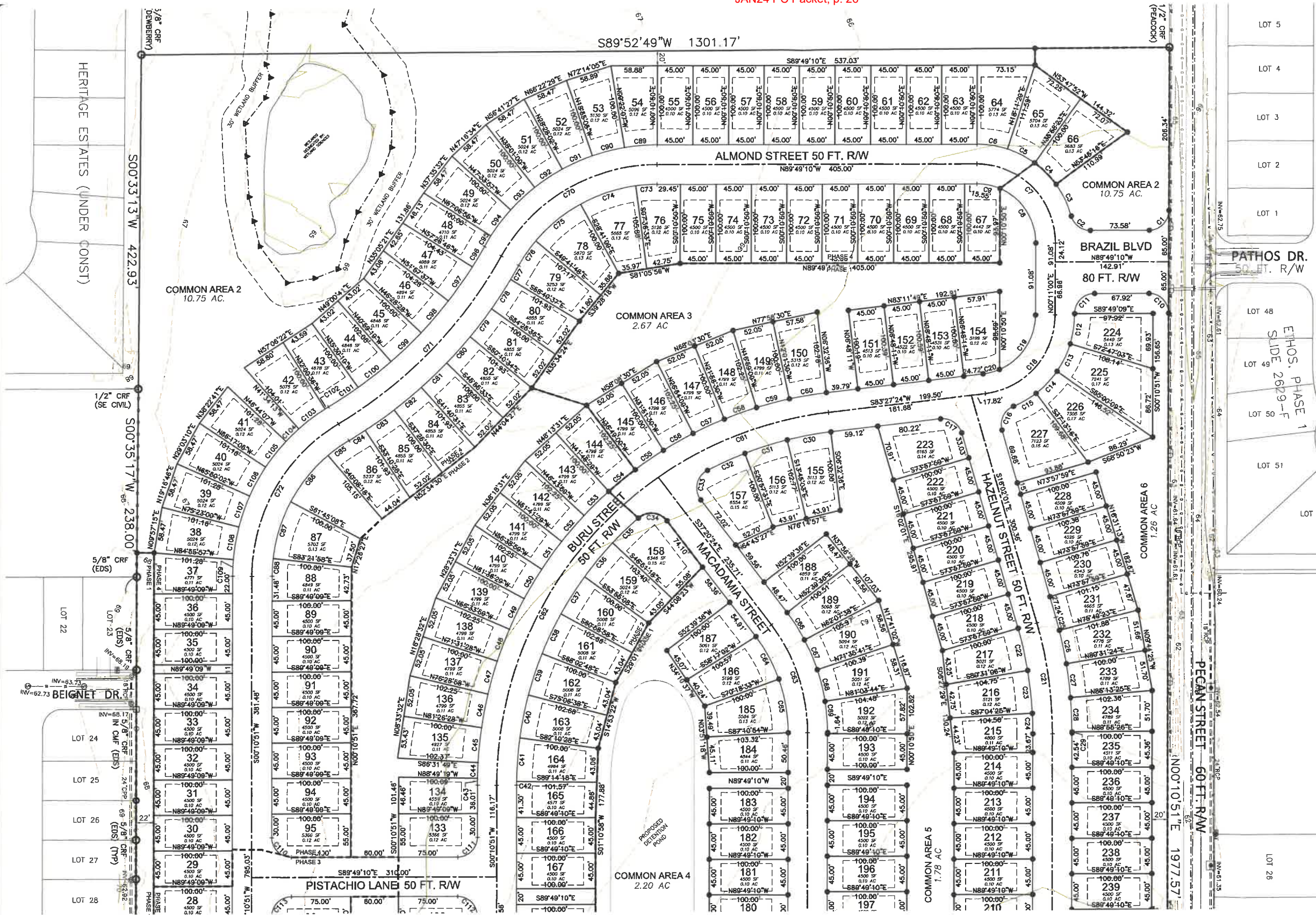
OWNER/DEVELOPER
OOAL OWNER, LLC
133 N JEFFERSON ST.
CHICAGO, IL 60661

SURVEYOR / ENGINEER
S.E. CIVIL
880 HOLCOMB BLVD
FAIRHOPE, AL 36532

OUTPOST ORCHARD
PRELIMINARY PLAT - NOT FOR FINAL RECORDING

S.E. Civil Engineering & Surveying
880 HOLCOMB BLVD
FAIRHOPE, AL 36532
(251) 990-4566

DRAWN		RDC	
CHKD.	JAF	PROJ MGR	DED
SCALE	1"=100'	PROJECT	20210928
FILE	20210928-PRELM	SHEET	1 OF 3



* SEE SHEET 3 OF 3 *

LEGEND

- CONCRETE MONUMENT FD.
- REBAR FD.
- CAPPED REBAR FD.
- DRAINAGE INLET
- POWER POLE
- GLY WIRE ANCHOR
- SEWER MANHOLE
- DRAINAGE MANHOLE
- FIRE HYDRANT
- WATER METER
- SECTION LINE
- BURIED GAS MAIN
- BURIED SEWER MAIN
- BURIED WATER MAIN
- OVERHEAD POWER LINE
- WIND/BROOKLYN FENCE
- WETLAND MARKER
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- R/W RIGHT-OF-WAY
- PG PAGE
- DB DEED BOOK
- MB MAP BOOK
- RCP REINFORCED CONCRETE PIPE
- CIP CORRUGATED PLASTIC PIPE
- INV INVERT

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25.00'	39.27'	S45°10'51"W	35.36'
C2	25.00'	32.37'	N52°43'31"W	30.16'
C3	125.00'	44.97'	N25°56'18"W	44.73'
C4	125.00'	38.79'	N45°08'11"W	38.64'
C5	125.00'	38.79'	N62°55'04"W	38.64'
C6	125.00'	39.29'	N80°48'50"W	39.13'
C7	100.00'	157.08'	N44°49'05"W	141.42'
C8	75.00'	87.54'	N33°15'21"W	82.68'
C9	75.00'	30.27'	N78°15'26"W	30.06'
C10	25.00'	39.27'	N44°49'09"W	35.36'
C11	25.00'	39.60'	S44°48'27"W	35.58'
C12	125.00'	38.79'	S08°19'31"W	38.64'
C13	125.00'	38.79'	S26°06'24"W	38.64'
C14	125.00'	38.79'	S43°53'17"W	38.64'
C15	125.00'	32.92'	S60°18'24"W	32.82'
C16	25.00'	36.61'	S25°55'02"W	33.42'
C17	25.00'	35.13'	N56°17'18"W	32.31'
C18	100.00'	145.34'	S41°49'12"W	132.88'
C19	75.00'	87.53'	S33°37'05"W	82.65'
C20	75.00'	21.47'	S75°15'17"W	21.40'
C21	503.34'	142.50'	S07°55'35"E	142.02'
C22	478.54'	54.72'	S17°45'27"E	54.69'
C23	478.54'	54.75'	S06°12'14"E	54.72'
C24	478.54'	25.95'	S01°22'22"E	25.95'
C25	528.54'	17.13'	S11°06'19"E	17.13'
C26	528.54'	43.36'	S11°49'36"E	43.35'
C27	528.54'	43.36'	S07°07'35"E	43.35'
C28	528.54'	45.73'	S02°17'52"E	45.71'
C29	528.54'	43.36'	S02°25'34"E	43.35'
C30	450.00'	56.61'	S00°03'08"W	2.37'
C31	450.00'	56.61'	S72°38'43"W	56.57'
C32	450.00'	51.86'	S65°44'23"W	51.83'
C33	25.00'	43.54'	S12°32'57"W	38.24'
C34	25.00'	40.91'	N84°13'00"W	36.49'
C35	450.00'	45.25'	S46°01'53"W	45.23'
C36	450.00'	55.48'	S39°36'47"W	55.44'
C37	450.00'	55.48'	S32°32'57"W	55.44'
C38	450.00'	55.48'	S25°29'07"W	55.44'
C39	450.00'	55.48'	S18°25'17"W	55.44'
C40	450.00'	55.48'	S11°21'27"W	55.44'
C41	450.00'	55.48'	S04°17'37"W	55.44'
C42	450.00'	4.56'	S00°28'17"W	4.56'
C43	500.00'	8.70'	N00°40'46"E	8.70'
C44	500.00'	20.00'	N02°19'26"E	20.00'
C45	500.00'	44.41'	N08°00'52"E	44.40'
C46	500.00'	43.27'	N11°02'17"E	43.26'
C47	500.00'	43.27'	N15°59'47"E	43.26'
C48	500.00'	43.27'	N20°57'16"E	43.26'
C49	500.00'	43.27'	N25°54'46"E	43.26'
C50	500.00'	43.27'	N30°52'16"E	43.26'
C51	500.00'	43.27'	N35°49'48"E	43.26'
C52	500.00'	43.27'	N40°47'16"E	43.26'
C53	500.00'	43.27'	N45°44'46"E	43.26'
C54	500.00'	43.27'	N50°42'15"E	43.26'
C55	500.00'	43.27'	N55°39'45"E	43.26'
C56	500.00'	43.27'	N60°37'15"E	43.26'
C57	500.00'	43.27'	N65°34'45"E	43.26'
C58	500.00'	43.27'	N70°32'15"E	43.26'
C59	500.00'	43.27'	N75°29'45"E	43.26'
C60	500.00'	47.84'	N80°42'57"E	47.82'
C61	475.00'	233.13'	S69°23'48"W	230.79'
C62	475.00'	457.10'	S27°46'05"W	439.86'
C63	225.00'	147.34'	S18°34'47"E	144.72'
C64	200.00'	61.61'	N28°30'56"W	61.36'
C65	200.00'	69.36'	S09°45'18"E	69.02'
C66	250.00'	41.31'	N32°36'23"W	41.26'
C67	250.00'	41.31'	S23°08'20"E	41.26'
C68	250.00'	41.31'	S13°40'18"E	41.26'
C69	250.00'	39.79'	S04°22'43"E	39.75'
C70	225.00'	238.70'	S59°47'20"W	227.66'
C71	575.00'	298.57'	S44°16'21"W	295.23'
C72	225.00'	231.56'	S29°39'52"W	221.48'
C73	200.00'	27.19'	S86°17'09"W	27.17'
C74	200.00'	73.57'	S71°51'09"W	73.16'
C75	200.00'	73.34'	S50°48'31"W	72.93'
C76	200.00'	38.07'	S34°51'01"W	38.01'
C77	600.00'	20.17'	S30°21'36"W	20.17'
C78	600.00'	44.51'	S33°26'53"W	44.50'
C79	600.00'	44.51'	S37°41'55"W	44.50'
C80	600.00'	44.51'	S41°56'56"W	44.50'
C81	600.00'	44.51'	S46°11'58"W	44.50'
C82	600.00'	44.51'	S50°26'59"W	44.50'
C83	600.00'	44.51'	S54°42'01"W	44.50'
C84	600.00'	24.32'	S57°59'13"W	24.32'
C85	200.00'	32.42'	S54°30'18"W	32.38'
C86	200.00'	75.45'	S39°03'17"W	75.00'
C87	200.00'	75.45'	S17°26'27"W	75.00'
C88	200.00'	22.53'	S03°24'27"W	22.51'
C89	250.00'	41.67'	S83°24'21"W	41.62'
C90	250.00'	41.67'	S75°51'24"W	41.62'
C91	250.00'	41.67'	S66°18'27"W	41.62'
C92	250.00'	41.67'	S56°45'29"W	41.62'
C93	250.00'	41.67'	S47°12'32"W	41.62'
C94	250.00'	41.67'	S37°39'34"W	41.62'
C95	250.00'	15.22'	S31°08'27"W	15.22'
C96	550.00'	30.31'	S30°58'32"W	30.30'
C97	550.00'	52.66'	S35°17'49"W	52.64'
C98	550.00'	52.66'	S40°46'58"W	52.64'
C99	550.00'	52.66'	S46°15'08"W	52.64'
C100	550.00'	52.66'	S51°45'15"W	52.64'
C101	550.00'	44.65'	S56°49'22"W	44.64'
C102	250.00'	5.05'	S58°34'09"W	5.05'
C103	250.00'	41.72'	S53°12'36"W	41.67'
C104	250.00'	22.54'	S45°50'50"W	22.53'
C105	250.00'	41.67'	S38°29'24"W	41.62'
C106	250.00'	41.67'	S28°56'27"W	41.62'
C107	250.00'	41.67'	S19°23'29"W	41.62'
C108	250.00'	41.67'	S09°50'32"W	41.62'
C109	250.00'	21.32'	S02°37'27"W	21.32'
C110	25.00'	39.27'	S44°49'09"W	35.36'
C111	25.00'	39.27'	S45°10'51"W	35.36'
C112	25.00'	39.27'	N44°49'09"W	35.36'

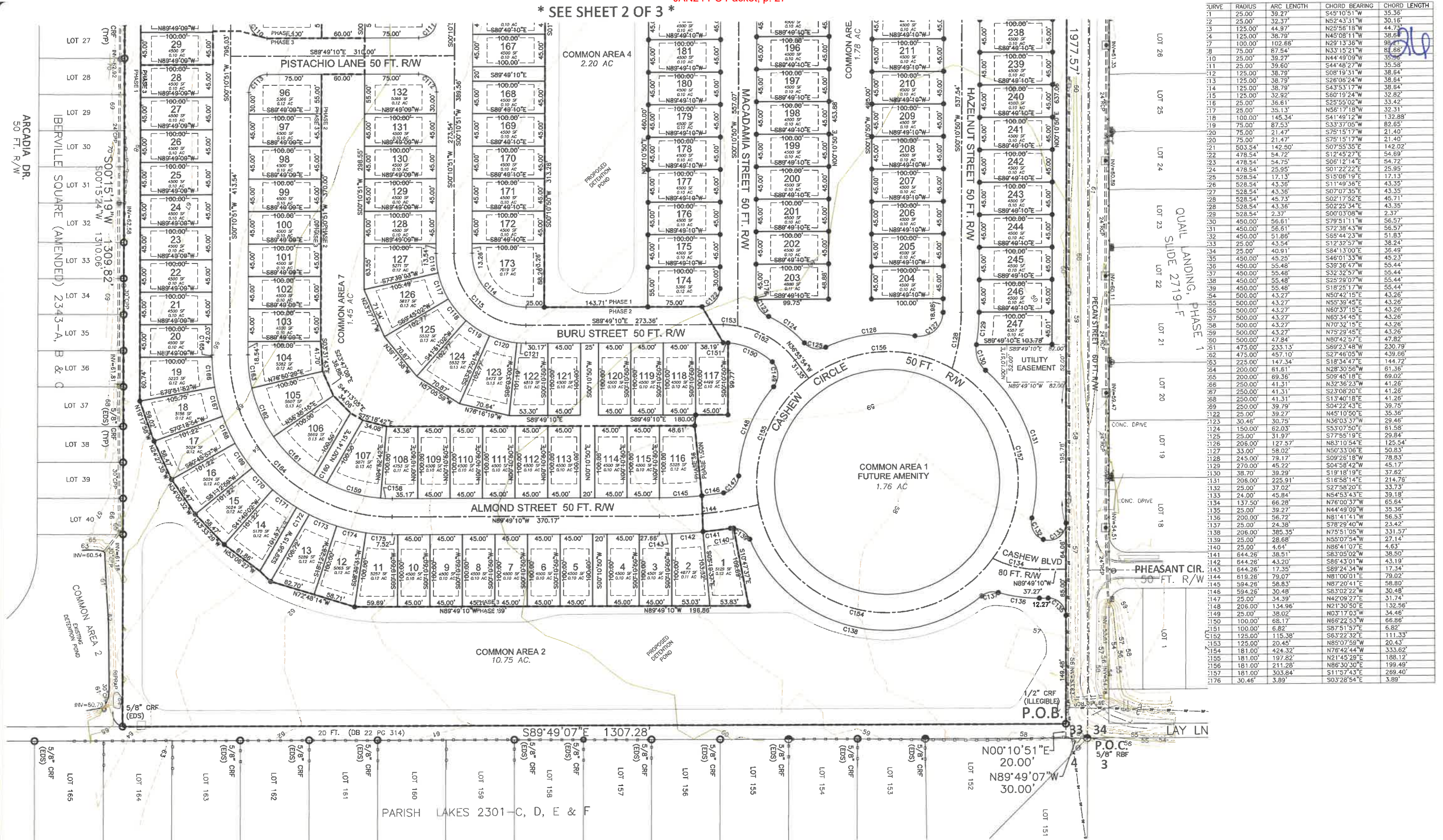
OUTPOST ORCHARD

PRELIMINARY PLAT - NOT FOR FINAL RECORDING

S.E. Civil
Engineering & Surveying
680 HOLCOMB BLVD
FAIRHOPE, AL 36532
(251) 990-6666

DRAWN	RDC
CHKD.	JAF
PROJ MGR	DED
SCALE	1"=60'
PROJECT	20210926
FILE	20210926-PRELM
SHEET	2 OF 3

* SEE SHEET 2 OF 3 *



LEGEND

- CONCRETE MONUMENT FD.
 - REBAR FD.
 - CAPPED REBAR FD.
 - DRAINAGE INLET
 - POWER POLE
 - GUY WIRE ANCHOR
 - SEWER MANHOLE
 - DRAINAGE MANHOLE
 - FIRE HYDRANT
 - WATER METER
 - SECTION LINE
 - BURIED GAS MAIN
 - BURIED SEWER MAIN
 - BURIED WATER MAIN
 - OVERHEAD POWER LINE
 - WOOD/FENCE
- P.O.C. POINT OF COMMENCEMENT
P.O.B. POINT OF BEGINNING
R/W RIGHT-OF-WAY
PG PAGE
DB DEED BOOK
MB MAP BOOK
RCP REINFORCED CONCRETE PIPE
CPP CORRUGATED PLASTIC PIPE
INV INVERT

SURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
1	25.00'	39.27'	S45°10'51"W	35.36'
2	25.00'	32.37'	N52°43'31"W	30.16'
3	125.00'	44.97'	N25°56'18"W	44.74'
4	125.00'	38.78'	N45°08'11"W	38.64'
5	100.00'	102.66'	N29°13'38"W	98.47'
6	75.00'	87.54'	N33°15'21"W	81.66'
7	25.00'	39.27'	N44°49'09"W	35.36'
8	25.00'	39.27'	S44°48'27"W	35.36'
9	125.00'	38.78'	S08°19'31"W	38.64'
10	125.00'	38.78'	S26°06'24"W	38.64'
11	125.00'	38.78'	S43°53'17"W	38.64'
12	125.00'	32.92'	S60°19'24"W	32.82'
13	25.00'	36.61'	S25°55'02"W	33.42'
14	25.00'	35.13'	N56°17'18"W	32.31'
15	100.00'	145.34'	S41°48'12"W	132.88'
16	75.00'	87.53'	S33°37'05"W	82.65'
17	75.00'	21.47'	S75°15'17"W	21.40'
18	75.00'	21.47'	S75°15'17"W	21.40'
19	503.54'	142.50'	S07°55'35"E	142.02'
20	478.54'	54.72'	S12°45'27"E	54.69'
21	478.54'	54.72'	S06°12'14"E	54.72'
22	478.54'	25.95'	S01°22'22"E	25.95'
23	528.54'	17.13'	S15°06'19"E	17.13'
24	528.54'	43.36'	S11°49'36"E	43.35'
25	528.54'	43.36'	S07°07'35"E	43.35'
26	528.54'	45.73'	S02°17'52"E	45.71'
27	528.54'	43.36'	S02°25'34"E	43.35'
28	528.54'	2.37'	S00°03'08"W	2.37'
29	450.00'	56.61'	S79°51'11"W	56.57'
30	450.00'	56.61'	S72°38'43"W	56.57'
31	450.00'	51.86'	S65°44'23"W	51.83'
32	25.00'	43.54'	S12°32'57"W	38.24'
33	25.00'	40.91'	S84°13'00"E	36.49'
34	450.00'	45.25'	S46°01'33"W	45.23'
35	450.00'	55.48'	S39°36'47"W	55.44'
36	450.00'	55.48'	S32°32'57"W	55.44'
37	450.00'	55.48'	S25°29'07"W	55.44'
38	450.00'	55.48'	S18°25'17"W	55.44'
39	500.00'	43.27'	N50°42'15"E	43.26'
40	500.00'	43.27'	N55°39'45"E	43.26'
41	500.00'	43.27'	N60°37'15"E	43.26'
42	500.00'	43.27'	N65°34'45"E	43.26'
43	500.00'	43.27'	N70°32'15"E	43.26'
44	500.00'	43.27'	N75°29'45"E	43.26'
45	475.00'	235.13'	S89°23'48"W	230.79'
46	475.00'	147.34'	S27°46'05"W	143.66'
47	225.00'	147.34'	S18°34'47"E	144.72'
48	200.00'	61.61'	N28°30'56"W	61.36'
49	200.00'	69.36'	S09°45'18"E	69.02'
50	250.00'	41.31'	N32°36'23"W	41.26'
51	250.00'	41.31'	S23°08'20"E	41.26'
52	250.00'	41.31'	S13°40'18"E	41.26'
53	250.00'	39.79'	S04°22'43"E	39.75'
54	25.00'	39.27'	N45°10'50"E	35.36'
55	150.00'	30.75'	N36°03'37"W	29.46'
56	150.00'	62.03'	S53°07'50"E	61.58'
57	25.00'	31.97'	S77°55'19"E	29.84'
58	206.00'	127.57'	N83°10'54"E	125.54'
59	33.00'	58.02'	N50°33'06"E	50.83'
60	245.00'	79.17'	S09°26'18"W	78.83'
61	270.00'	45.22'	S04°58'42"W	45.17'
62	38.70'	39.29'	S19°18'19"E	37.62'
63	206.00'	225.91'	S16°58'14"E	214.75'
64	25.00'	37.02'	S27°58'20"E	33.73'
65	24.00'	45.84'	N54°53'43"E	39.18'
66	137.50'	66.28'	N76°00'37"W	65.64'
67	25.00'	39.27'	N44°49'09"W	35.36'
68	200.00'	56.72'	N81°41'41"W	56.53'
69	25.00'	24.38'	S78°29'40"W	23.42'
70	206.00'	385.35'	N75°51'05"W	331.57'
71	25.00'	28.68'	N55°07'54"W	27.14'
72	25.00'	4.64'	N86°41'07"E	4.63'
73	644.26'	38.51'	S83°05'02"W	38.50'
74	644.26'	43.20'	S86°43'01"W	43.19'
75	644.26'	17.35'	S89°24'34"W	17.34'
76	618.28'	79.07'	N81°00'01"E	79.02'
77	594.26'	58.83'	N87°20'41"E	58.80'
78	594.26'	30.48'	S83°02'22"W	30.48'
79	25.00'	34.39'	N42°09'27"E	31.74'
80	206.00'	134.96'	N21°30'50"E	132.56'
81	25.00'	38.02'	N03°17'03"W	34.46'
82	100.00'	68.17'	N66°22'53"W	66.86'
83	100.00'	6.82'	S87°51'57"E	6.82'
84	125.00'	115.38'	S83°22'32"E	111.33'
85	125.00'	20.45'	N85°07'59"W	20.43'
86	181.00'	424.32'	N76°42'44"W	333.62'
87	181.00'	197.82'	N21°45'29"E	188.12'
88	181.00'	211.28'	N86°30'30"E	199.49'
89	181.00'	303.84'	S11°57'43"E	269.40'
90	30.46'	3.89'	S03°28'54"E	3.89'

OUTPOST ORCHARD
PRELIMINARY PLAT - NOT FOR FINAL RECORDING

S.E. Civil
Engineering
& Surveying
880 HOLCOMB BLVD
FAIRHOPE, AL 36532
(251) 994-6566

DRAWN	RDC
CHKD.	JAF
PROJ MGR	DED
SCALE	1"=60'
PROJECT	20210926
FILE	20210926-PRELIM
SHEET	3 OF 3



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

27

STAFF RECOMMENDATION: Approve
PROJECT NAME: Cox Pools Office/Warehouse- Site Plan
REQUEST: Zoning - Site Plan Approval

OWNER / APPLICANT: Pillar

ACREAGE: 5

NUMBER OF LOTS:

PIN#(s): 120260

LOCATION: S of US Hwy 98, E of Foley Beach Express

PROJECT DESCRIPTION: Cox Pools Office/Warehouse- Site Plan

CURRENT ZONING: B-3

REQUESTED ZONING: N/A

ADJACENT ZONING: NORTH: B-1A; EAST: B-3;
SOUTH: M-1; WEST: MH-1

FUTURE LAND USE: RCC - Retail Commercial Concentration

EXISTING LAND USE: VACANT



UTILITY LETTERS
RECEIVED: No
DEED RECEIVED: No
AGENT AUTHORIZATION: No



Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. This site plan appears to meet the site plan requirements.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Approved

1. Engineering recommends approval. An LDP will be required.


Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Approved

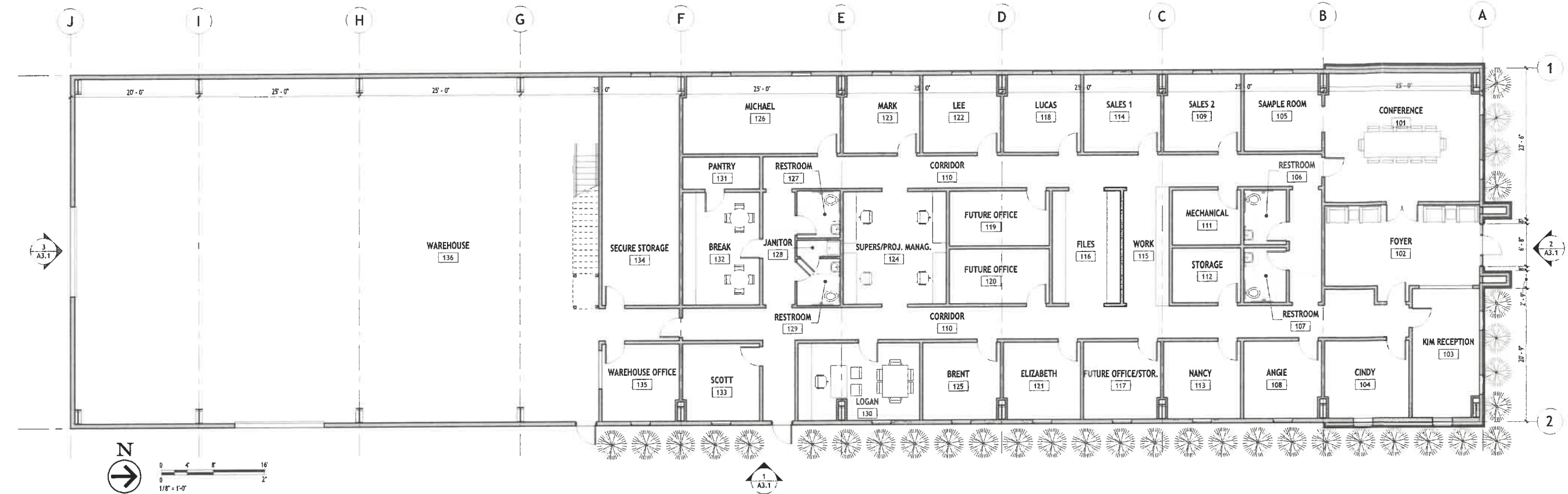
1. The site plan appears to meet the requirements.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

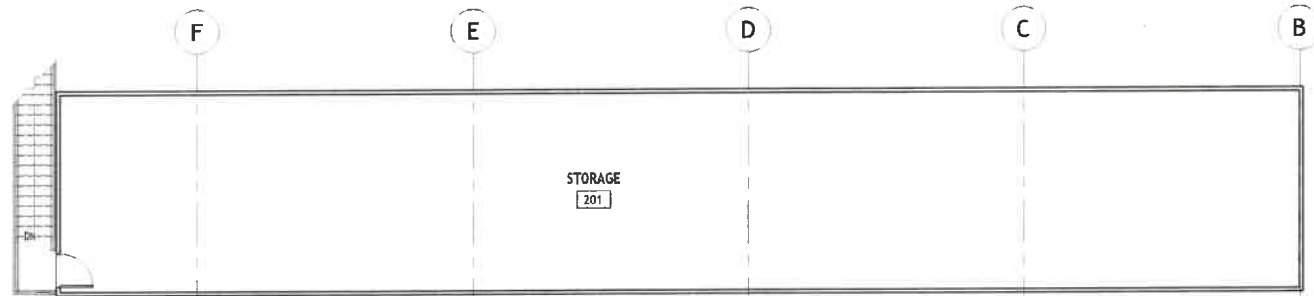
1. Building Safety and Floodplain Management are not opposed



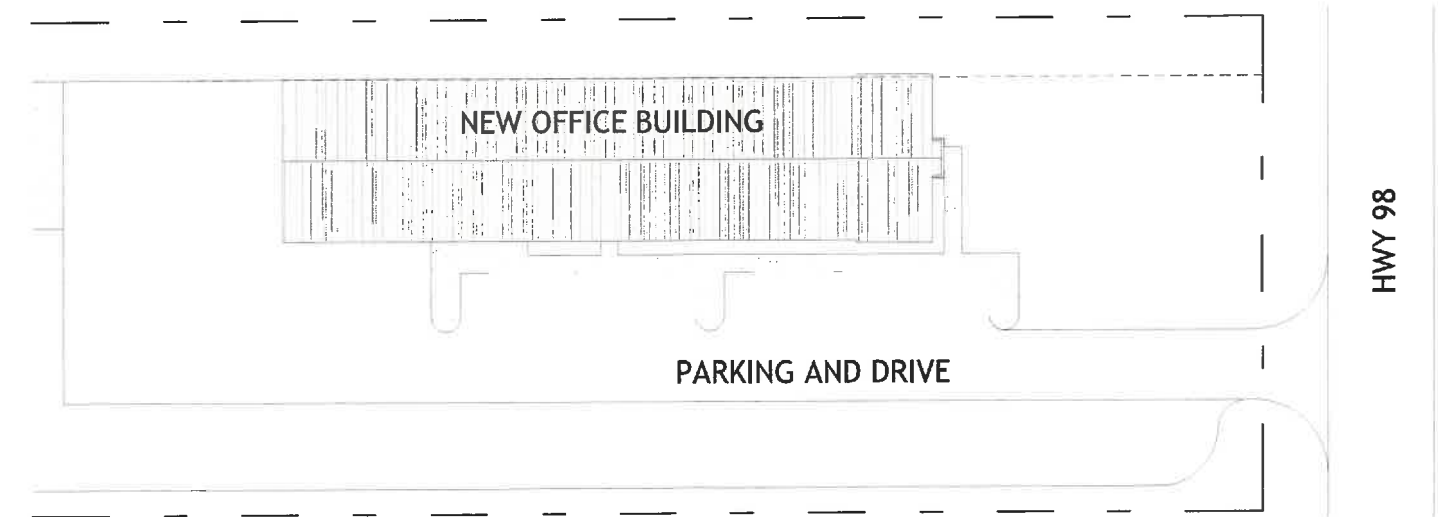
NUMBER:	REVISION:	DATE:	<div>GRAPHIC SCALE</div> <div></div>	<div>Pillar</div>		GEOMETRY & UTILITY PLAN		SCALE: 1"=40'
							DATE: 11-13-2023	
							DRAWN BY:	
							CHECKED BY: T.G.	
							SHEET: 4 OF 11	
						COX POOLS		
						U.S. HWY. 98, FOLEY, ALABAMA		



1 First Floor Architectural Plan
1/8" = 1'-0"



2 Second Floor Architectural Plan
1/8" = 1'-0"



3 Site Plan
1" = 30'-0"

30
McCOLLOUGH
ARCHITECTURE, INC.
P.O. BOX 6310
GULF SHORES, ALABAMA
36547-6310
PHONE: 251-968-7222

NOT FOR
CONSTRUCTION

A NEW OFFICE BUILDING
FOR
COX POOLS
BALDWIN COUNTY, ALABAMA

JOB NO.:
DRAWN: CLT
CHECKED: SBM
DATE: 2023.10.31
REVISION:

SCALE: NA

SHEET NO.:

A1.1

BUILDING PLANS

31



McCough
ARCHITECTURE, Inc.
P.O. BOX 6310
GULF SHORES, ALABAMA
36547-6310
PHONE: 251-968-7222

NOT FOR
CONSTRUCTION

A NEW OFFICE BUILDING
FOR
COX POOLS
BALDWIN COUNTY, ALABAMA

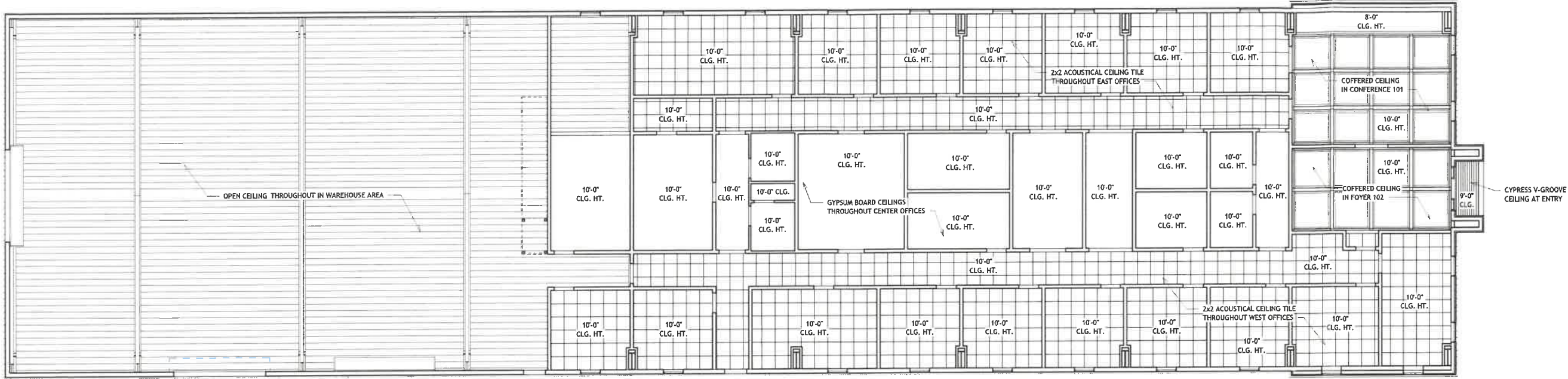
JOB NO.:
DRAWN: CLT
CHECKED: SBM
DATE: 2023.10.31
REVISION:

SCALE: NA

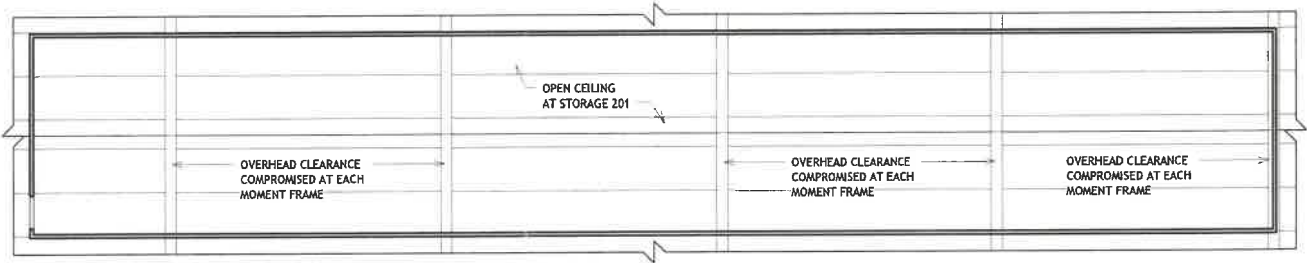
SHEET NO.:

A1.2

CEILING PLANS



1 First Floor Architectural Ceiling Plan
1/8" = 1'-0"



2 Second Floor Architectural Ceiling Plan
1/8" = 1'-0"



McCOLLOUGH
ARCHITECTURE, INC.
P.O. BOX 6310
GULF SHORES, ALABAMA
36547-6310
PHONE: 251-968-7222

NOT FOR
CONSTRUCTION

A NEW OFFICE BUILDING
FOR
COX POOLS
BALDWIN COUNTY, ALABAMA

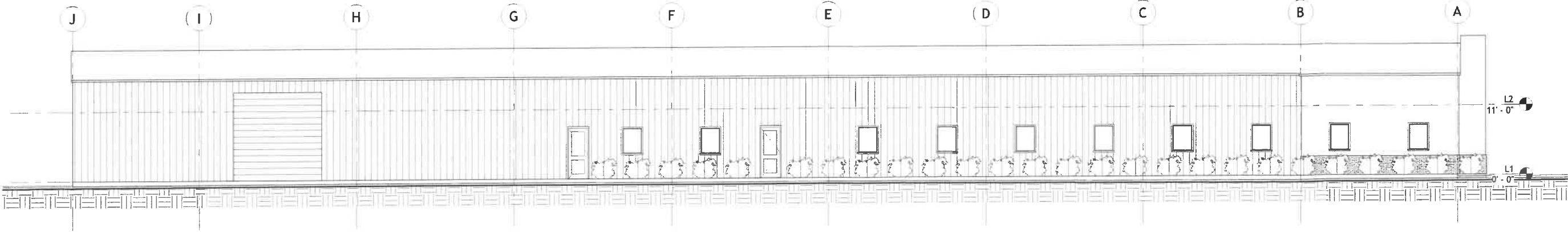
JOB NO.:	
DRAWN:	CLT
CHECKED:	SBM
DATE:	2023.10.31
REVISION:	

SCALE: NA

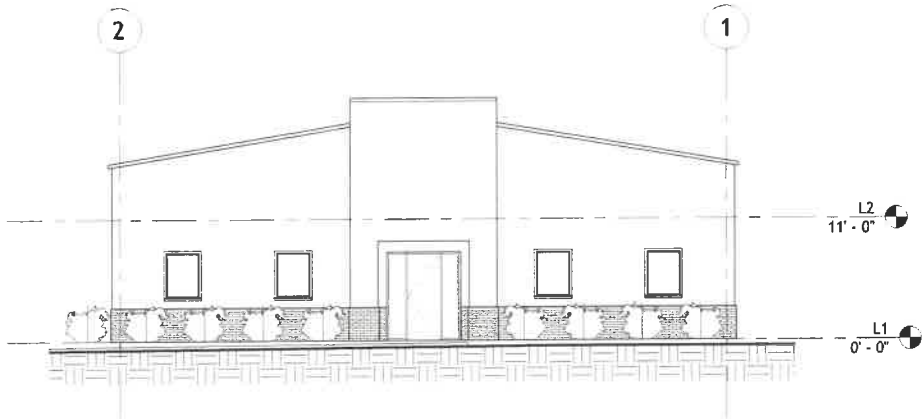
SHEET NO.:

A3.1

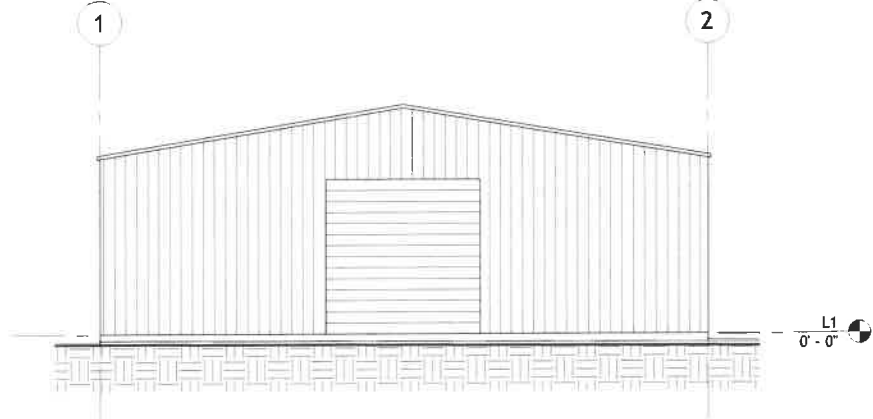
BUILDING ELEVATIONS



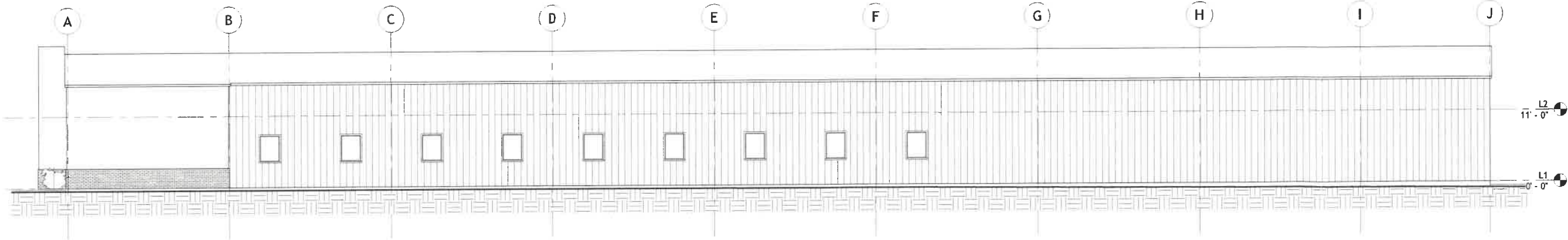
1 East Architectural Building Elevation
1/8" = 1'-0"



2 North Architectural Building Elevation
1/8" = 1'-0"



3 South Architectural Building Elevation
1/8" = 1'-0"



4 West Architectural Building Elevation
1/8" = 1'-0"

33



McCOLLOUGH
ARCHITECTURE, INC.
P.O. BOX 6310
GULF SHORES, ALABAMA
36547-6310
PHONE: 251-968-7222

NOT FOR
CONSTRUCTION

A NEW OFFICE BUILDING
FOR
COX POOLS
BALDWIN COUNTY, ALABAMA

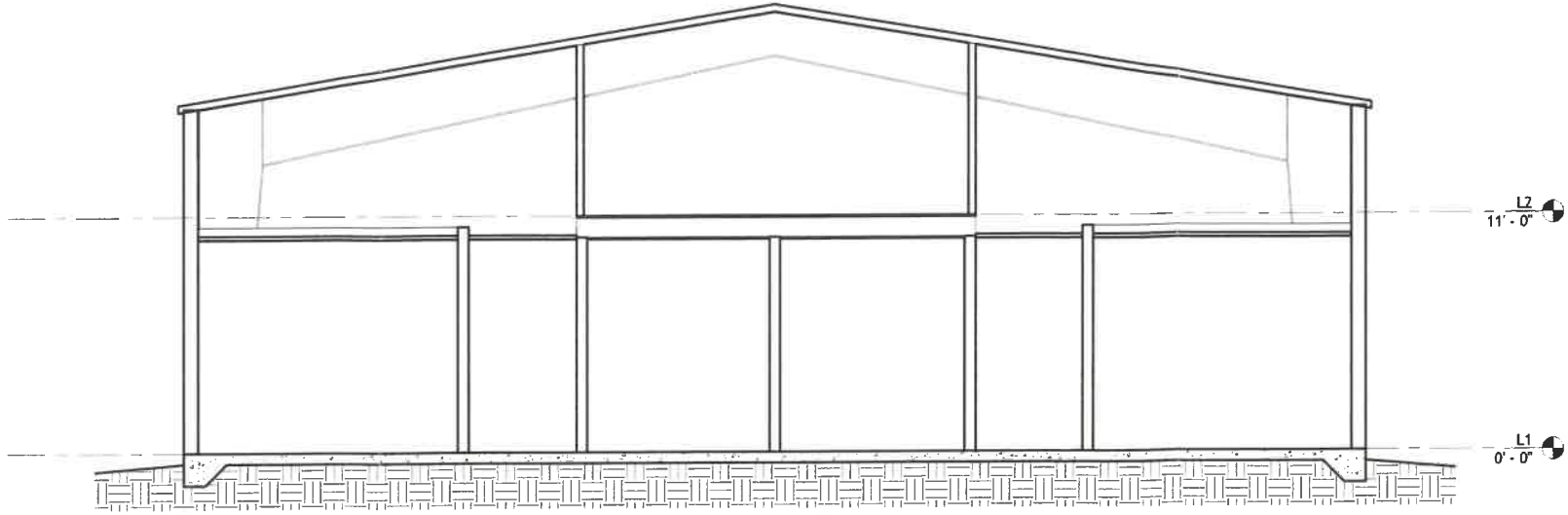
JOB NO.:
DRAWN: CLT
CHECKED: SBM
DATE: 2023.10.31
REVISION:

SCALE: NA

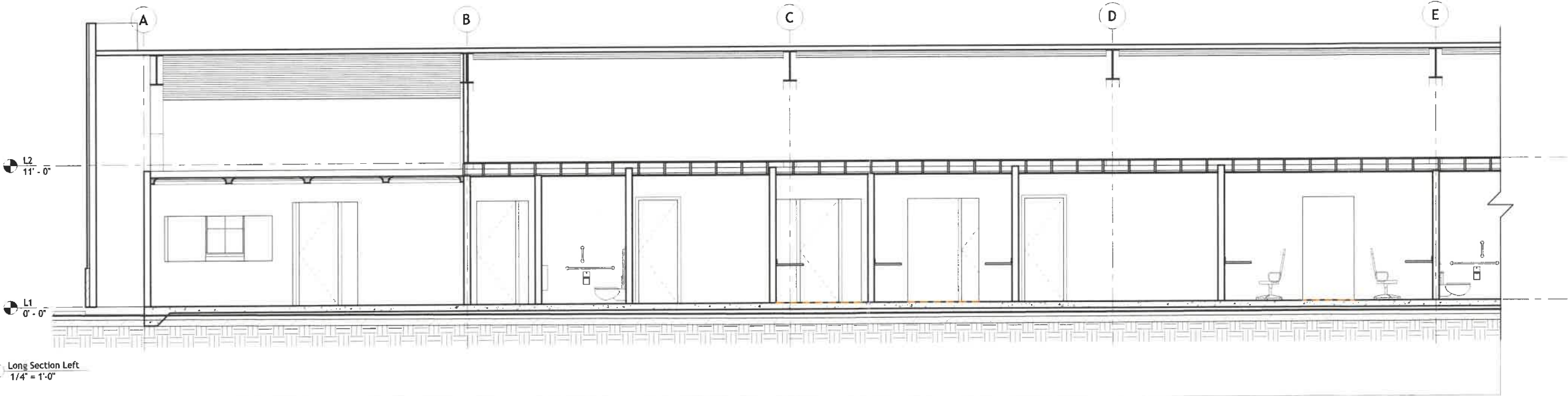
SHEET NO.:

A4.1

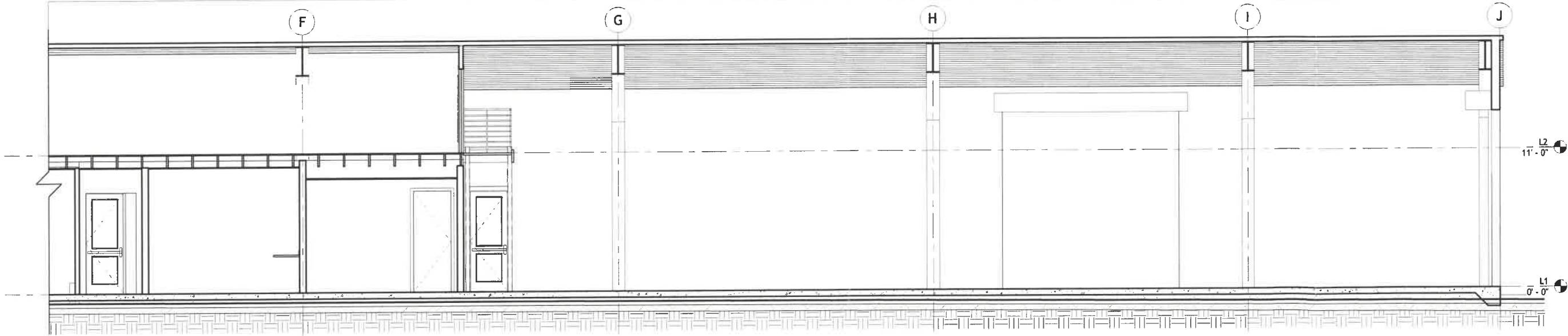
BUILDING SECTIONS



1 Cross Section
1/4" = 1'-0"



2 Long Section Left
1/4" = 1'-0"



3 Long Section Right
1/4" = 1'-0"



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

34

STAFF RECOMMENDATION: Approve
PROJECT NAME: Stowaway Storage Phase II-Site Plan
REQUEST: Zoning - Site Plan Approval

OWNER / APPLICANT: Pillar

ACREAGE: 16

NUMBER OF LOTS:

PIN#(s): 44223

LOCATION: 22323 -C U S Hwy 98

PROJECT DESCRIPTION: Stowaway Storage
Phase II-Site Plan

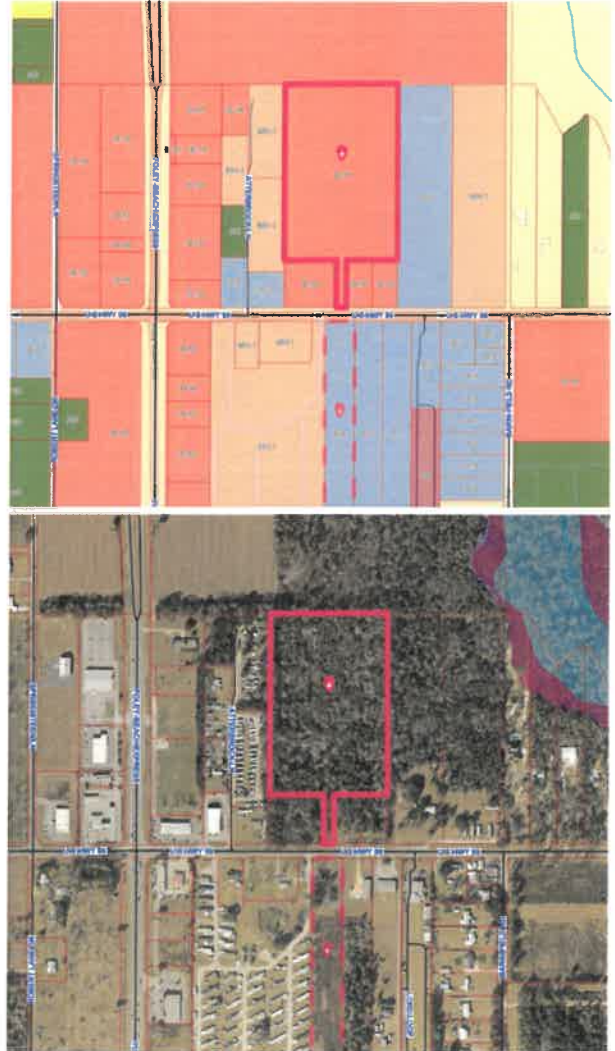
CURRENT ZONING: B-1A

REQUESTED ZONING: N/A

ADJACENT ZONING: NORTH: B-1A; EAST: B-3;
SOUTH: B-1A & B-3; WEST: MH-1 & B-3

FUTURE LAND USE: RCC - Retail Commercial
Concentration

EXISTING LAND USE: VACANT



**UTILITY LETTERS
RECEIVED:** No
DEED RECEIVED: No
AGENT AUTHORIZATION: No

35

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. This site plan appears to meet the zoning requirements.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Approved

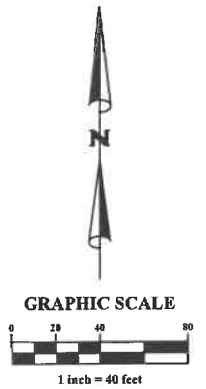
1. Engineering recommends approval. An LDP will be required for this phase

Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Approved

1. Approval is recommended.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Building Safety and Floodplain Management are not opposed



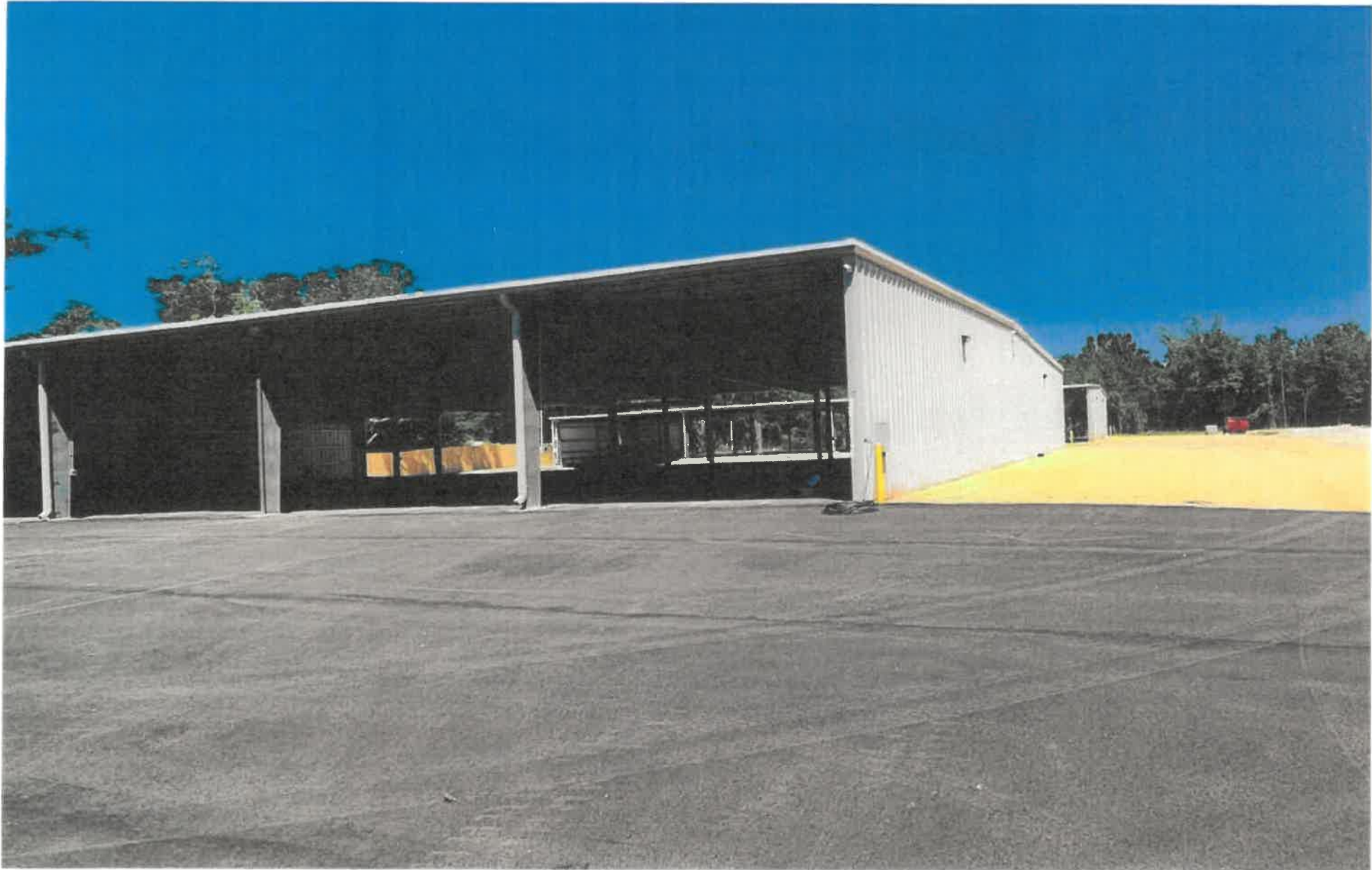
SCALE: 1"=40'
DATE: 12-12-23

Pillar





32



39





Stow Away Storage
StowAwayStorageAlabama.com
(251) 600-5661



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

42

**STAFF
RECOMMENDATION:** Approve

PROJECT NAME: Resubdivision of Lot 2, Mills Community Park Section 24, Township 7
South, Range 3 East

REQUEST: Subdivision

OWNER / APPLICANT: Survey Consults, Inc.

ACREAGE: 28.4

NUMBER OF LOTS: 4

PIN#(s): 4501

LOCATION: 17625 BRECKNER RD

PROJECT DESCRIPTION: Resubdivision of Lot 2,
Mills Community Park Section 24, Township 7
South, Range 3 East

CURRENT ZONING: Unzoned BC Dist 18

REQUESTED ZONING: n/a

ADJACENT ZONING: NORTH: City of Foley R-4;
SOUTH: City of Foley AO; EAST & WEST:
Unzoned BC

FUTURE LAND USE: RL - Residential Low
Density (2 - 4)

EXISTING LAND USE: vacant



**UTILITY LETTERS
RECEIVED:** Yes
DEED RECEIVED: Yes
AGENT AUTHORIZATION: Yes

43

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. This property has not yet annexed into the City so is currently in unzoned BC. All of the lots front on a right-of-way. The lot sizes range from 3+ acres to 10+ acres.

Reviewer: Engineering Team, Engineering
Review Status: Approved

1. Approved

Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Approved

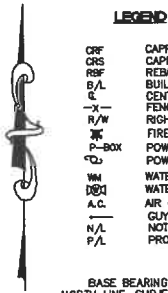
1. Environmental is not opposed to Resubdivision of lot 2

Reviewer: Brad Hall, 251-971-6028, bhall@cityoffoley.org, Fire Department
Review Status: Approved

1. Fire is not opposed of resubdividing of lot

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Not issues with building or floodplain management



BASE BEARING USED
NORTH LINE, SUBJECT PARCEL
BEING N89°53'05"E

SITE DATA

ZONED:.....UNZONED
TOTAL ACREAGE:.....28.37± ACRES
TOTAL LOTS:.....4
LARGEST LOT:.....LOT 1: 10.75± ACRES
SMALLEST LOT:.....LOT 3: 3.12± ACRES
FRONT SETBACK:.....35'
REAR SETBACK:.....30'
SIDE SETBACK:.....10'

ALL LOTS ARE SUBJECT TO A 10' DRAINAGE & UTILITY
EASEMENT ALONG ALL SIDE LOT LINES.
ALL LOTS ARE SUBJECT TO A 15' DRAINAGE & UTILITY
EASEMENT ALONG THE FRONT AND REAR LOT LINES.

AGENTS DEDICATION:

I, ROBERT BRECKNER, HAVE CAUSED THE LAND EMBRACED IN THE
WITHIN PLAT TO BE SURVEYED, STAKED, AND PLATTED TO BE KNOWN
AS, THE RESUBDIVISION OF LOT 2, MILLS COMMUNITY PARK, AND
THAT THE (STREETS, DRIVES, ALLEYS, EASEMENTS, ETC.) AS SHOWN
ON PLAT ARE HEREBY DEDICATED USE BY THE PUBLIC.

ROBERT BRECKNER DATE

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, A NOTARY IN AND FOR SAID COUNTY
AND STATE, HEREBY CERTIFY THAT ROBERT BRECKNER WHOSE NAME
IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO
ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED
OF THE CONTENTS OF THE INSTRUMENT, HE EXECUTED THE SAME
VOLUNTARILY AND WITH FULL AUTHORITY, GIVEN UNDER MY HAND
AND SEAL THIS ____ DAY OF _____, 2024.

NOTARY PUBLIC MY COMMISSION EXPIRES

FLOOD ZONE STATEMENT

THE PROPERTY SHOWN HEREON IS IN FLOOD ZONE X, AS SCALED FROM THE MAP PREPARED
BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION,
COMMUNITY PANEL, 601003008194 AND COMMUNITY #015000, BALDWIN COUNTY, ALABAMA
PURSUANT TO MAP DATED APRIL 19, 2019.

JASON W. BRASWELL, P.L.S. #30810 DATE

STATE OF ALABAMA
COUNTY OF BALDWIN
SURVEYOR'S CERTIFICATION

THE UNDERSIGNED, JASON W. BRASWELL, REGISTERED LAND SURVEYOR, LICENSE NO. 30810, STATE
OF ALABAMA, HEREBY CERTIFIES THAT THIS PLAT OR MAP WAS MADE PURSUANT TO A SURVEY
MADE BY SAID SURVEYOR AND THAT SAID SURVEY AND THIS PLAT OR MAP WERE MADE AT THE
INSTANCE OF ROBERT BRECKNER, THAT THIS PLAT OR MAP IS A TRUE AND CORRECT MAP OF LANDS
SHOWN THEREIN AND KNOWN AS THE RESUBDIVISION OF LOT 2, MILLS COMMUNITY PARK, SHOWING
THE SUBDIVISIONS INTO WHICH IT IS PROPOSED TO DIVIDE SAID LANDS, GIVING THE LENGTH, AND
ANGLES OF THE BOUNDARIES OF EACH LOT AND ITS NUMBER, SHOWING THE STREETS, ANGLES AND
PUBLIC GROUNDS, GIVING THE LENGTH, WIDTH AND NAME OF EACH STREET, AS WELL AS THE
NUMBER OF EACH LOT AND BLOCK, AND SHOWING THE RELATIONS OF THE LANDS TO THE
GOVERNMENT SURVEY, AND THAT MONUMENTS HAVE BEEN INSTALLED AT ALL LOT CORNERS AND
CURVE POINTS AS SHOWN AND DESIGNATED ON SAID PLAT OR MAP.
NOTE: BY APPROVAL OF THIS SUBDIVISION PLAT, THE CITY OF FOLEY ASSUMES NO RESPONSIBILITY
FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED
BY THE PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

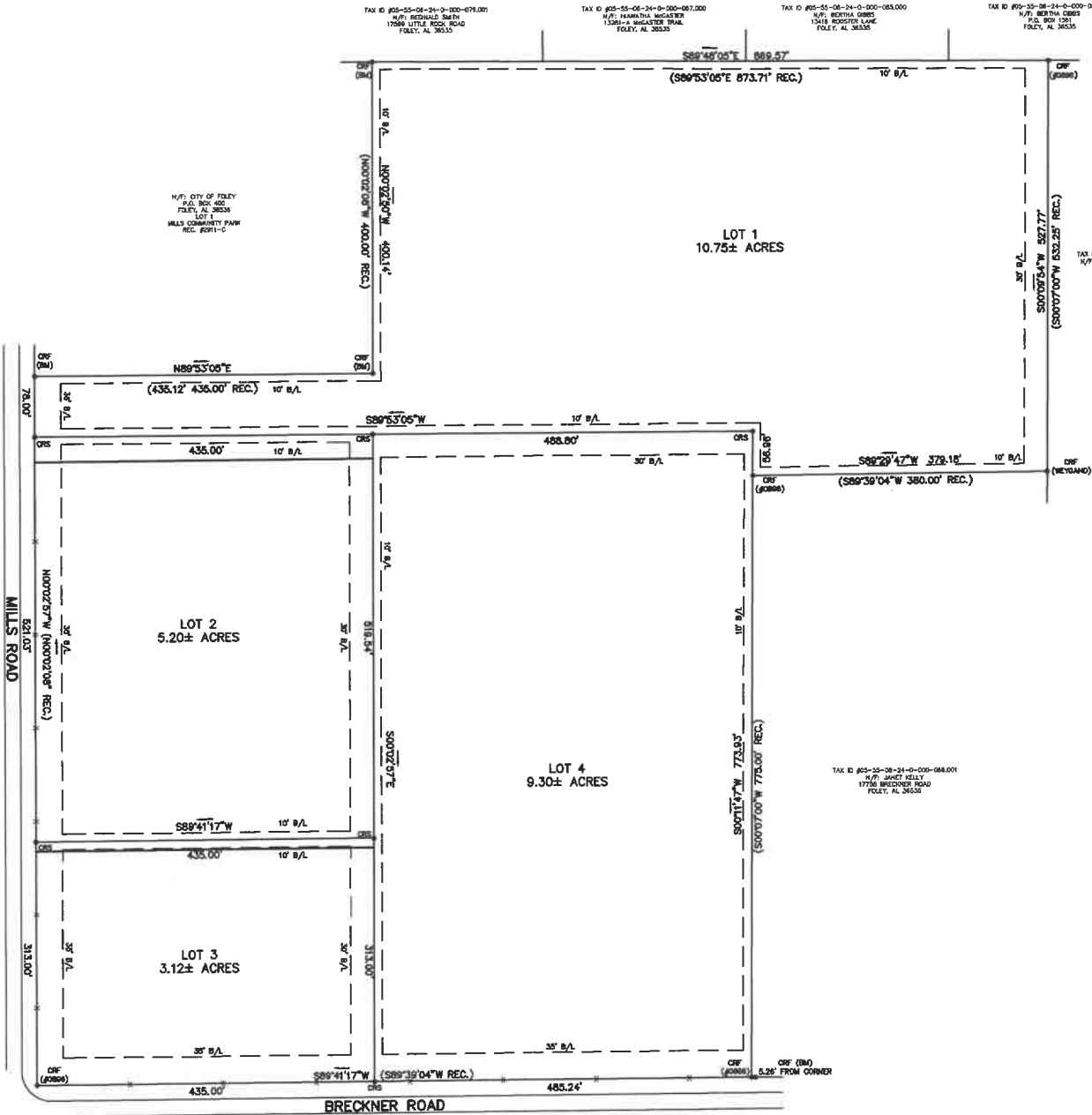
AND:

I, JASON W. BRASWELL, A REGISTERED LAND SURVEYOR IN THE STATE OF ALABAMA, HEREBY
CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE
WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE OF LAND SURVEYING IN THE
STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, AND THE
FOREGOING IS A PLAT OF THE DESCRIBED PROPERTY TO WIT:

LOT 2, MILLS COMMUNITY PARK AS RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE OF
BALDWIN COUNTY, ALABAMA ON SLIDE #2911-C.

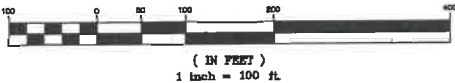
THERE ARE NO VISIBLE ENCROACHMENTS OF ANY IMPROVEMENTS OR UTILITIES, EXCEPT AS SHOWN.
ACCORDING TO MY SURVEY THIS, THE 14TH DAY OF NOVEMBER, 2023.

ALA. REG. NO. 30810



PLAT OF SURVEY OF RESUBDIVISION OF LOT 2, MILLS COMMUNITY PARK SECTION 24, TOWNSHIP 7 SOUTH, RANGE 3 EAST

GRAPHIC SCALE



DEVELOPER
ROBERT BRECKNER
1545 GULF SHORES PARKWAY
GULF SHORES, AL 36542

SURVEYOR
SURVEY CONSULTS, INC.
JASON W. BRASWELL - PLS NO. 30810
16961 ST. HWY. #180, SUITE D
GULF SHORES, AL 36542
OFFICE: (251) 968-2124
E-MAIL: SURVEYCONSULTS.GS@GMAIL.COM

SURVEYOR'S NOTES

1. NO TITLE SEARCH PROVIDED BY CLIENT OR DONE BY THIS FIRM.
2. THERE MAY BE EASEMENTS AFFECTING THIS PROPERTY THAT ARE NOT VISIBLE.
3. PREVIOUS DEEDS OF RECORD AND OR SURVEYS USED TO DETERMINE PROPERTY LINES.
4. FIELD WORK PERFORMED OVER SEVERAL DAYS IN NOVEMBER OF 2023.
5. CERTIFICATION IS MADE TO PERSON(S) NAMED HEREON AND IS NOT TRANSFERABLE TO OTHERS.
6. RIGHT-OF-WAY IS FOR GRAPHICAL PURPOSES ONLY.
7. OWNERS SHOULD CONSULT WITH LOCAL AUTHORITIES BEFORE MAKING ANY IMPROVEMENTS.
8. CERTIFICATION IS MADE TO PERSON(S) NAMED HEREON AND IS NOT TRANSFERABLE TO OTHERS.

WETLAND NOTICE

BY APPROVAL OF THIS PLAT, THE CITY OF FOLEY, THE DEVELOPER, THE
ENGINEER, AND THE SURVEYOR, MAKES NO REPRESENTATION OR
WARRANTY, EITHER EXPRESSED OR IMPLIED, THAT ANY LOT DELINEATED
ON THIS PLAT WHICH MAY BE ENCUMBERED BY ANY WETLANDS IS OR
WILL BE SUITABLE FOR IMPROVEMENT OR OTHER DEVELOPMENT.
PURCHASERS ARE ON NOTICE THAT IMPROVEMENT OF THE PROPERTY
ENCUMBERED BY WETLANDS WILL REQUIRE SEPARATE PERMITTING BY
FEDERAL AND/OR STATE AUTHORITIES UNDER SUCH LAW AND
REGULATIONS GOVERNING WETLANDS AS MAY BE IN EFFECT FROM TIME
TO TIME.



LOCATION MAP
N.T.S.

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES-WATER

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WATER SERVICES AS
INSTALLED AND REPRESENTED ON THIS PLAT FOR THE RECORDING OF SAME IN THE OFFICE OF THE
PROBATE JUDGE, BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 2024.

REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES-ELECTRIC

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE ELECTRICAL SERVICES
AS INSTALLED AND REPRESENTED ON THIS PLAT FOR THE RECORDING OF SAME IN THE OFFICE OF THE
PROBATE JUDGE, BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 2024.

REPRESENTATIVE

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING DIRECTOR

THE RESUBDIVISION OF LOT 2, MILLS COMMUNITY PARK IS HEREBY APPROVED BY THE CITY
OF FOLEY PLANNING COMMISSION, THIS THE ____ DAY OF _____, 2024.

CITY OF FOLEY PLANNING DIRECTOR

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERSIGNED, AS CITY ENGINEER FOR THE CITY OF FOLEY, ALABAMA, HEREBY APPROVED
THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE OFFICE OF THE PROBATE JUDGE,
BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 2024.

CITY ENGINEER

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THIS DIVISION LIES WITHIN AN AREA WHERE THE MUNICIPAL PLANNING COMMISSION EXERCISES
EXCLUSIVE JURISDICTION OVER THE REVIEW AND APPROVAL OF SUBDIVISIONS. THIS SUBDIVISION
HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH THE BALDWIN COUNTY SUBDIVISION
REGULATIONS. THE PROVISIONS OF ALABAMA CODE SECTION 45-2-261.17 SHALL NOT APPLY
TO THIS SUBDIVISION.

CERTIFICATE BY THE BALDWIN COUNTY ENGINEER

The undersigned, as County Engineer of the County of Baldwin of Alabama, hereby certifies
on this ____ day of _____, 20____, that the
Planning Commission has approved the within
subdivision and hereby approves the within plat for recording of same in the Probate Office
of Baldwin County, Alabama.

Baldwin County Engineer

CERTIFICATE BY THE BALDWIN COUNTY PLANNING DIRECTOR

The undersigned, as Director of the Baldwin County Planning and Zoning Department, hereby
certifies that the lots within this plat do not fall under the zoning jurisdiction of Baldwin
County and approves the within plat for the recording of same in the Probate Office of
Baldwin County, Alabama this the ____ day of _____, 20____.

Baldwin County Planning Director

SURVEY CONSULTS, INC.



PROFESSIONAL LAND SURVEYORS

16961 ST. HWY. #180, SUITE D GULF SHORES, AL 36542

251-968-2124

SURVEYCONSULTS.GS@GMAIL.COM

FILE: 10376
DWG. BY: RJP
CHKD BY: JWB
DATE:
NOV. 14, 2023
SCALE:
1"= 100'

SUBDIVISION FOR:

ROBERT BRECKNER

SHEET 1 OF 1



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

45

STAFF RECOMMENDATION: Approve
PROJECT NAME: Resubdivision of Lot 4 Old Time Pottery Foley Subdivision
REQUEST: Subdivision

OWNER / APPLICANT: Jade Consulting, LLC

ACREAGE: 20.76

NUMBER OF LOTS: 2

PIN#(s): 05-61-05-21-2-001-002.003

LOCATION: S of Keller Rd, E of State Hwy 59

PROJECT DESCRIPTION: Resubdivision of Lot 4
Old Time Pottery Foley Subdivision

CURRENT ZONING: PUD

REQUESTED ZONING: N/A

ADJACENT ZONING: NORTH & EAST: PUD;
SOUTH & WEST: B-1A

FUTURE LAND USE: RCC - Retail Commercial
Concentration

EXISTING LAND USE: vacant



**UTILITY LETTERS
RECEIVED:** Yes
DEED RECEIVED: Yes
AGENT AUTHORIZATION: Yes

44

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. This subdivision of property appears to meet the PUD requirements.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Approved

1. Approved

Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Approved

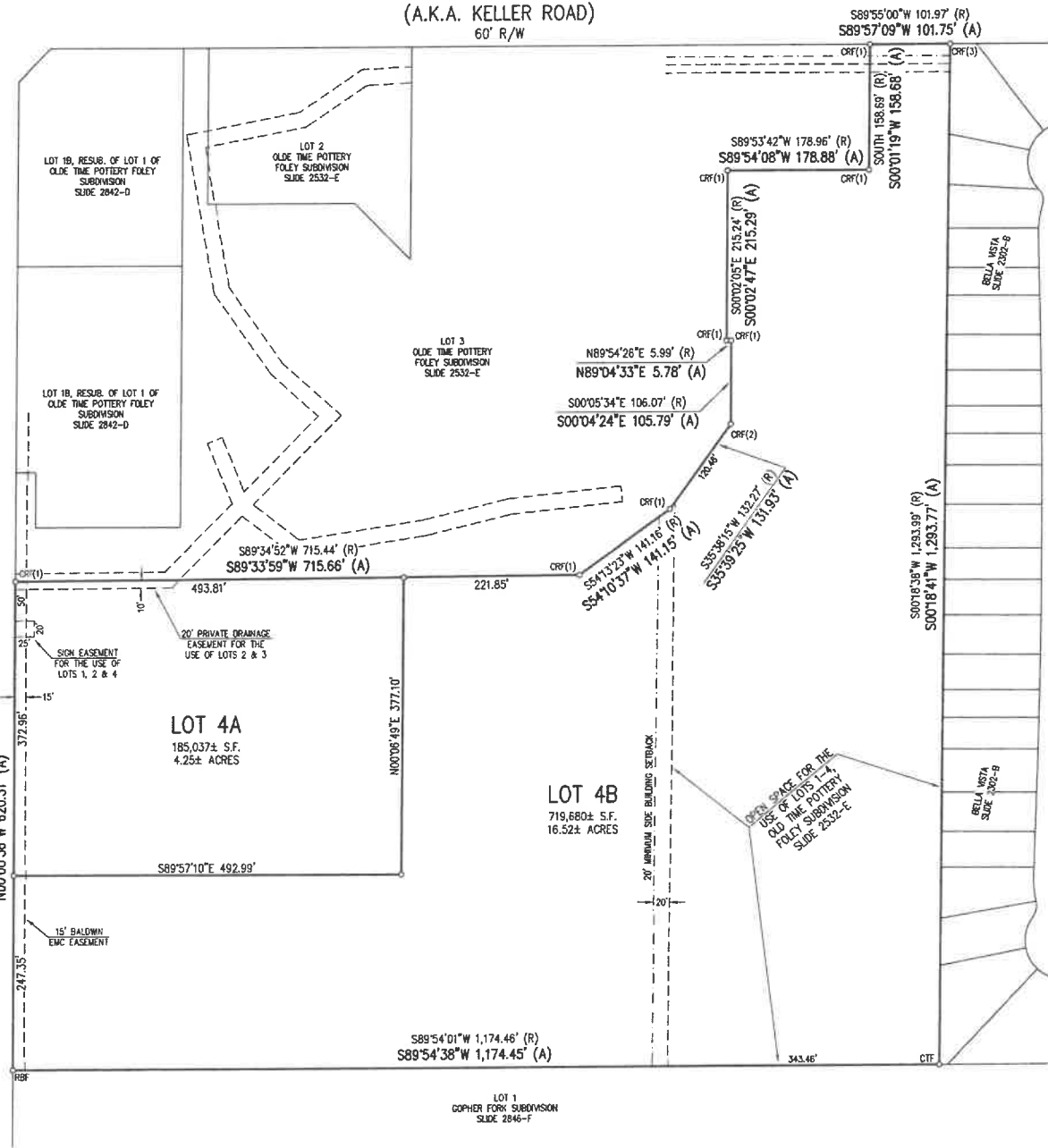
1. Not opposed to subdivision.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Building Safety and Floodplain Management not opposed to the split.

BALDWIN COUNTY HIGHWAY NO. 10
(A.K.A. KELLER ROAD)
60' R/W

ALABAMA STATE HIGHWAY NO. 59
215' R/W



NOTES:

- FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
- DISTANCES SHOWN HEREON ARE STATE PLANE COORDINATE GRID DISTANCE, SCALE FACTOR 0.99993711.
- BEARINGS SHOWN HEREON ARE STATE PLANE COORDINATE GRID BEARINGS, CONVERGENCE ANGLE FROM GRID NORTH TO GEODETIC NORTH IS -00°-05'-31" AT N 123553.906, E 1911064.563.
- THIS SURVEY DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN WHAT IS READILY VISIBLE ON THE SURFACE OR PROVIDED BY THE CLIENT.
- CAPPED REBARS (WATTIER) HAVE BEEN SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

SITE DATA

TOTAL PARENT TRACT ACREAGE: 20.72 AC±
DEDICATED ROW AREA: 0 AC±
LINEAR FEET OF STREETS: 0 LF
NUMBER OF LOTS: 2
SMALLEST LOT SIZE: 185,037 SF
AVERAGE LOT SIZE: 452,359 SF
COMMON AREAS: 0 SF
TOTAL AREA: 904,717 SF
ZONING CLASSIFICATION: PUD

LOT DRAINAGE/UTILITY EASEMENTS

FRONT & REAR: ??
SIDE: ?? EACH SIDE OF LOT LINE

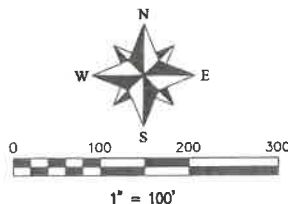
REQUIRED SETBACKS

FRONT YARD: ?? FEET
REAR YARD: ?? FEET
SIDE YARD: ?? FEET

UTILITIES

ELECTRIC:
BALDWIN EMC - 251-989-6247
PO BOX 220; SUMMERDALE, AL 36580

WATER, SEWER, GAS, & TELECOMMUNICATION SERVICES:
RIVERA UTILITIES - (251) 943-5001
413 E. LAUREL AVE; FOLEY, AL 36536



CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION

THE WITHIN PLAT OF EXCHANGE AT FOLEY, FOLEY, ALABAMA IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING AND ZONING COMMISSION, THIS THE ____ DAY OF ____ 20__

CHAIRMAN, PLANNING COMMISSION

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF ____ 20__

CITY ENGINEER

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 911:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY 911, HEREBY APPROVES THE WITH PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF ____ 20__

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN EMC - ELECTRICAL:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF ____ 20__

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES - WATER & SANITARY SEWER:

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF ____ 20__

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES - GAS:

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF ____ 20__

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES - TELECOMMUNICATIONS:

THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF ____ 20__

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BRIGHTSPEED:

THE UNDERSIGNED, AS AUTHORIZED BY BRIGHTSPEED, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF ____ 20__

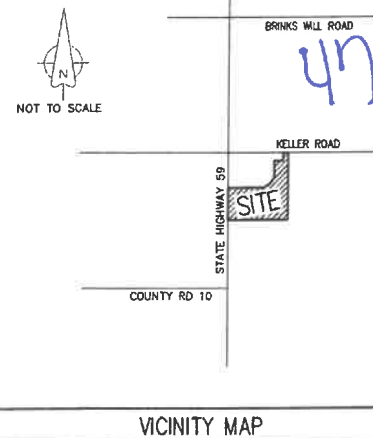
AUTHORIZED REPRESENTATIVE

PROPERTY CORNER DATA

POINT	NORTHING	EASTING	DESCRIPTION
BR701	122,758.09	1,910,857.39	5/8" REBAR
BR712	122,759.92	1,912,031.84	7/8" CRIMP TOP PIPE
BR711	124,053.67	1,912,038.87	CAPPED REBAR (ILLEGIBLE)
BR703	123,383.81	1,911,572.92	CAPPED REBAR (CA00033LS)
BR709	123,894.91	1,911,937.06	CAPPED REBAR (CA00033LS)
BR705	123,575.34	1,911,762.89	CAPPED REBAR (CA00033LS)
BR704	123,466.43	1,911,687.37	CAPPED REBAR (CA00033LS)
BR706	123,679.41	1,911,764.14	CAPPED REBAR (CA00033LS)
BR707	123,679.32	1,911,758.36	CAPPED REBAR (CA00033LS)
BR708	123,894.61	1,911,758.18	CAPPED REBAR (CA00033LS)
BR710	124,053.59	1,911,937.12	CAPPED REBAR (CA00033LS)

LEGEND

(R)	RECORD BEARING OR DISTANCE
(A)	ACTUAL BEARING OR DISTANCE
CRF(1)	CAPPED REBAR FOUND (CA00033LS)
CRF(2)	CAPPED REBAR FOUND (WATTIER)
CRF(3)	CAPPED REBAR FOUND (ILLEGIBLE)
CTF	CRIMP TOP PIPE FOUND
RRF	5/8" REBAR FOUND



CERTIFICATION OF OWNERSHIP AND DEDICATION

THIS IS TO CERTIFY THAT FOLEY PERLMIX, LLC IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT THE SAME HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS ____ DAY OF ____ 20__

SIGNATURE _____ PRINTED NAME _____ TITLE _____

CERTIFICATION BY NOTARY PUBLIC

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____ THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY THAT

_____, WHOSE NAME IS SIGNED AS _____ OF FOLEY PERLMIX, LLC, OWNER, WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED OF THE CONTENTS OF THE WITHIN INSTRUMENT, HE, WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY ON THE DAY THE SAME BEARS DATE.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS ____ DAY OF ____ 20__

NOTARY PUBLIC

SURVEYOR CERTIFICATE

STATE OF ALABAMA
COUNTY OF BALDWIN

I, MARK A. WATTIER, A LICENSED SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF FOLEY PERLMIX, LLC SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

LOT 4, OLDE TIME POTTERY FOLEY SUBDIVISION, AS RECORDED ON SLIDE 2532-E OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER, AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS, AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS. SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THUS O AS HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS THE ____ DAY OF ____ 20__

SURVEYOR
ALABAMA LICENSE #20364

PARENT PARCEL (PPIN):
05-61-05-21-2-001-002.003 (360427)

ENGINEER:
JADE CONSULTING, LLC.
P.O. BOX 1929
FAIRHOPE, AL 36533
251-928-3443
PERRY C. J. NORTON, II, PE

SURVEYOR:
WATTIER SURVEYING, INC.
4318 DOWNTOWN LOOP N., SUITE H
MOBILE, AL 36609
251-342-2640
MARK A. WATTIER, PLS

DEVELOPER/OWNER:
FOLEY PERLMIX, LLC
3456 HARDEE AVENUE
CHAMBLEE, GA 30341

FLOOD CERTIFICATE:
THE PROPERTY DESCRIBED HEREON IS SHOWN ON
THE FEMA FLOOD INSURANCE RATE MAP NO.
01003C0933 L, DATED 04/19/2019, AND IS SHOWN
TO BE IN FLOOD ZONE "X-UNSHADED".

RESUBIDIVISION OF LOT 4,
OLDE TIME POTTERY FOLEY SUBDIVISION
FINAL PLAT

DECEMBER 14, 2023

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 Downlamer Loop N., Suite H
Mobile, Alabama 36609 251-342-2640



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

48

STAFF RECOMMENDATION: Approve
PROJECT NAME: Tractor Supply Company- Site Plan
REQUEST: Zoning - Site Plan Approval

OWNER / APPLICANT: Jade Consulting, LLC.

ACREAGE: 20.76, project 4.25

NUMBER OF LOTS: N/A

PIN#(s): 360427

LOCATION: S of Keller Rd, E of State Hwy 59

PROJECT DESCRIPTION: Tractor Supply Company- Site Plan

CURRENT ZONING: PUD

REQUESTED ZONING: N/A

ADJACENT ZONING: NORTH & EAST: PUD;
SOUTH & WEST: B-1A

FUTURE LAND USE: RCC - Retail Commercial Concentration

EXISTING LAND USE: vacant



UTILITY LETTERS
RECEIVED: No
DEED RECEIVED: No
AGENT AUTHORIZATION: No

49

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department

Review Status: Approved

1. The site plan appears to meet the Zoning Ordinance requirements.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering

Review Status: Approved

1. Approved

Reviewer: Angie Eckman, Environmental

Review Status: Approved













1. Approval is recommended.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department

Review Status: Approved

1. Building Safety and Floodplain Management are not opposed to the plan

LEGEND

- | | | |
|---|---|---|
| |  | GRANITE ASPHALT PAVING |
| |  | GRANITE CEMENTITE |
| (APPROX. 40.4% S.F.) |  | PORTLAND CEMENT ASPHALT |
| (APPROX. 8.45% S.F. CIL-SITE)
(APPROX. 8.26% S.F. CILF-SITE) |  | PORTLAND CEMENT ASPHALT |
| (APPROX. 23.18% S.F.) |  | PORTLAND CEMENT ASPHALT
COLDCHIPS (GRANITE/PORTLAND) |
| (APPROX. 7.82% S.F. CIL-SITE)
(APPROX. 5.98% S.F. CILF-SITE) |  | GRANITE AND ASPHALT ASPHALT
COLDCHIPS (GRANITE/PORTLAND) |
| |  | PORTLAND CEMENT ASPHALT ASPHALT |
| |  | PORTLAND CEMENT ASPHALT ASPHALT |
| |  | PORTLAND CEMENT ASPHALT ASPHALT |
| |  | PORTLAND CEMENT ASPHALT ASPHALT |
| |  | PORTLAND CEMENT ASPHALT ASPHALT |
| |  | PORTLAND CEMENT ASPHALT ASPHALT |



WB-85	4x4		
Tractor Width	6.00	Lock to Lock Time	6.00
Trailer Width	8.50	Steering Angle	28.40
Tractor Track	8.00	Auto-Steering Angle	70.88
Trailer Track	8.50		

DRAFT

51

ADAMS STEWART
ARCHITECTS, LLC
Architecture, Planning
Interiors, Construction Administration



Tractor Supply Company

State Highway 59 North





Foley, Alabama 36535



TRACTOR SUPPLY COMPANY

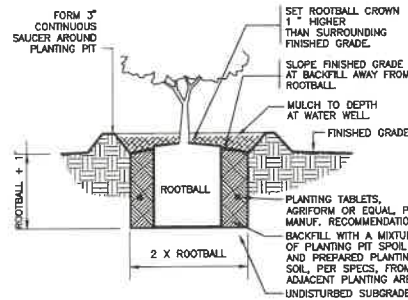
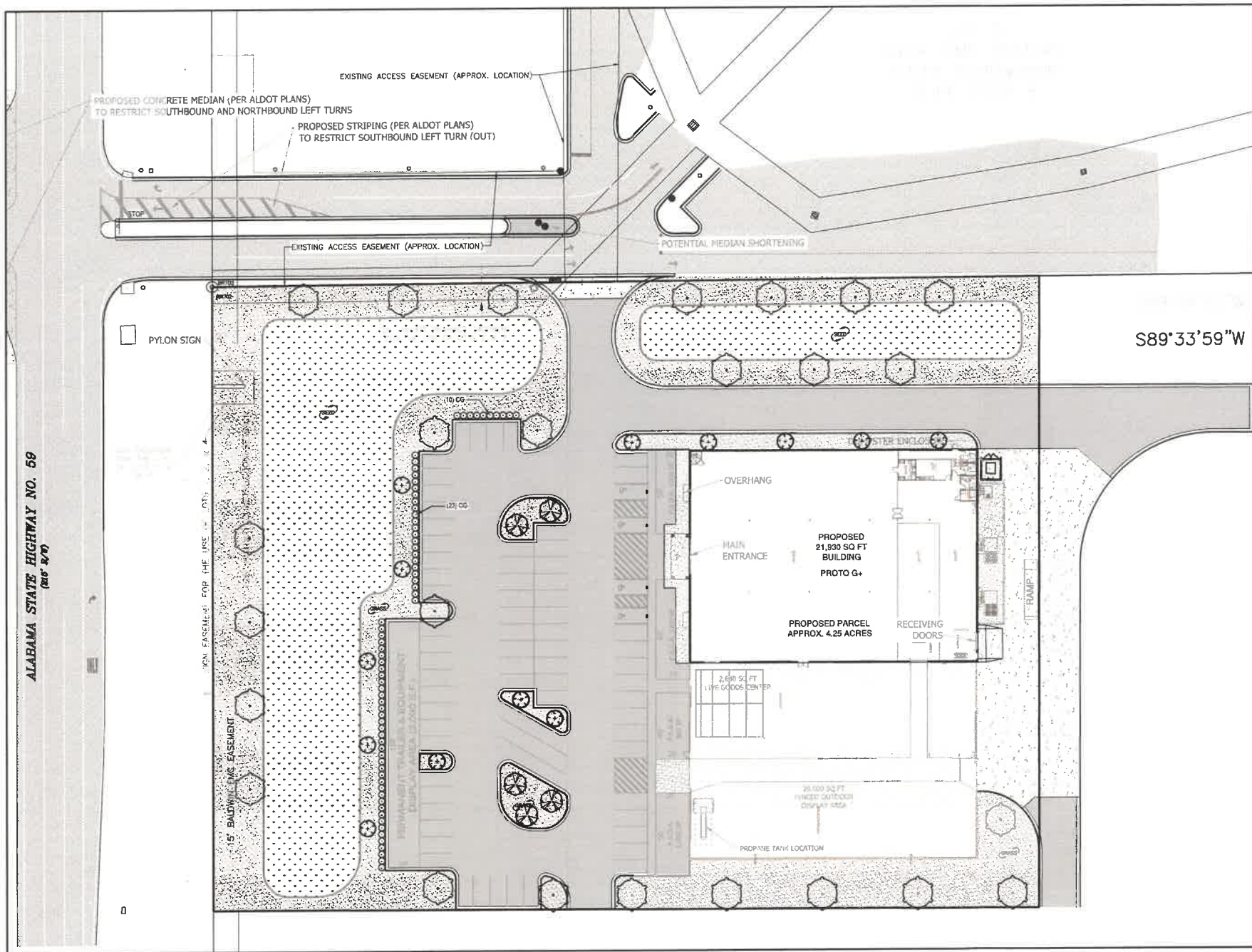
DATE	DESCRIPTION
DEC 18, 2023	CITY SITE PLAN SUBMITTAL
PROJECT NO:	23-019
SHEET NO:	LP200

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	GAL	HT	REMARKS	
TREES									
	IE	13	ILEX X ATTENUATA 'EAST PALATKA'	EAST PALATKA HOLLY	8.5B OR CONT	1.5" - 2"	6'-8"		
	LN	5	LAGERSTROEMIA INDICA 'NATCHEZ'	'NATCHEZ' GRAPE MYRTLE	30 GAL		8'-10'	MINIMUM 3 TRUNKS; FULL HEAD	
	QN	26	QUERCUS NUTTALLII	NUTTALL OAK	8.5B OR CONT	2.5" CAL	10'	FULL HEAD, SPECIMEN QUALITY	
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	W	SPACING	REMARKS
SHRUBS									
	CG	71	CAMELLIA SASANKUA 'SHISHI GASHIRA'	SHISHI GASHIRA CAMELLIA	3 GAL			48" o.c.	

LANDSCAPE REQUIREMENTS (Sec. 6.5-139)		
Total Developed Area:	185,130 sq ft	4.25 acres
10 trees per	1 acre	@ 4.25 acres = 42.50 trees
Total Trees Required on Site:		43 trees
Total Trees Provided on Site:		43 trees

PARKING LANDSCAPE REQUIREMENTS (Sec. 10.1.2)		
Total Parking Length:	450 ft	
1 tree per	50 ft	@ 727 ft = 14.54 trees
Total Trees Required:		14 trees
Total Trees Provided:		14 trees
5 shrubs per	1 tree	@ 14 trees = 70 shrubs
Total Shrubs Required:		70 shrubs
Total Shrubs Provided:		70 shrubs

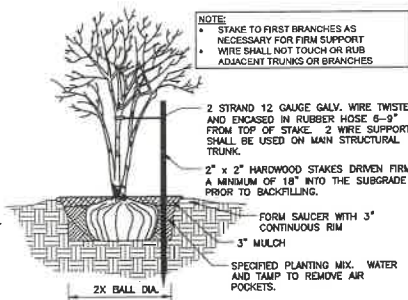


4 SHRUB PLANTING
1\"/>

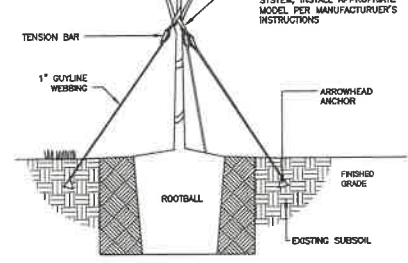
- GENERAL CONDITIONS
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAKING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
 - ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.
- LANDSCAPE AREA SOIL PREPARATION
- PLANTING SOIL SHALL BE CREATED BY AMENDING TOPSOIL WITH THE ADDITION OF COMPOST. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOO AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
 - INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOO AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS REQUIRED PER SOIL TEST (IF REQUESTED BY OWNER).
 - RAVE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNERS PROPERTY.
 - WATER THOROUGHLY AFTER PLANTING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.
- PLANT MATERIAL AND PLANTING
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
 - ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT ANY TIME.
 - PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
 - UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
 - FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24\"/>

- NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
- ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
 - ☐ 3\"/>
 - ☐ 4\"/>
 - ☒ 3\"/>
- TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
- TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
- ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

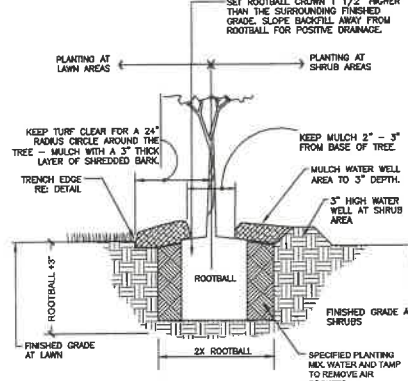
2 GENERAL PLANTING NOTES
1\"/>



5 MULTI-TRUNK TREE STAKING
1\"/>

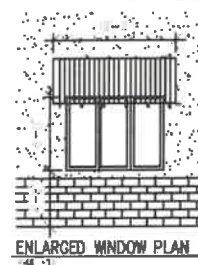


6 STAKING DETAIL



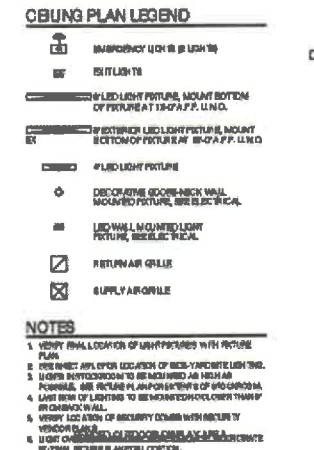
7 TREE PLANTING - GUY STRAP
1\"/>

1 LANDSCAPE PLANTING PLAN
Scale: 1\"/>



SHEET NO-
A-2

P.O. Box 529
22615 Highway 59 North
Robertsdale, Alabama 36567
Office: 251.947.3864
Fax: 251.947.3138

[illegible]

TRACTOR SUPPLY COMPANY

SHEET NO.
A-3



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

50

**STAFF
RECOMMENDATION:** Approve
PROJECT NAME: OWA Tropic Falls Hotel
REQUEST: Zoning - Site Plan Approval

OWNER / APPLICANT: GMC Daphne

ACREAGE: 99.6

NUMBER OF LOTS:

PIN#(s): 48909

LOCATION: E. of the Foley Beach Express & W.
of S. OWA Blvd.

PROJECT DESCRIPTION: OWA Tropic Falls
Hotel

CURRENT ZONING: PDD

REQUESTED ZONING: N/A

ADJACENT ZONING: PDD

FUTURE LAND USE: RCC - Retail Commercial
Concentration

EXISTING LAND USE: UNPAVED
PARKING/CONSTRUCTION MATERIALS
STORAGE



UTILITY LETTERS
RECEIVED: No
DEED RECEIVED: No
AGENT AUTHORIZATION: No

56

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. Zoning staff have reviewed & at this time don't see any particular issues with the site plan.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Approved

1. Engineering recommends approval

Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Approved

1. Approval is recommended.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Building Safety and Floodplain Management sre in favor of approval



SITE DATA:	
* TOTAL SF	
* HOTEL AREA =	154,693 SF
* FIRST FLOOR =	10,765 SF
* 8 STORIES =	132,311 SF
* 7 STORIES =	116,221 SF
* POOL AREA =	14,140 SF
* TOTAL ROOMS	
* 8 STORIES =	202
* 7 STORIES =	173
* TOP OF PARAPET	
* 8 STORIES =	93' - 4"
* 7 STORIES =	88' - 8"
* HIGHEST POINT	
* 8 STORIES =	97' - 4"
* 7 STORIES =	92' - 8"
* TOTAL PARKING	
* PREVIOUS =	136
* REMOVED =	94
* PROPOSED =	8
* ACCESSIBLE =	8
* TOTAL =	50
* EXISTING AREA	
* IMPERVIOUS =	108,352 SF
* PAVING =	54,908 SF
* GRAVEL =	53,444 SF
* PERVIOUS =	42,258 SF
* LANDSCAPE =	42,258 SF
* PROPOSED AREA	
* IMPERVIOUS =	96,078 SF
* PERVIOUS =	58,615 SF

DALE
PARTNERS

Architecture
Interiors
Planning

One Jackson Place
Suite 250
188 East Capitol Street
Jackson, MS 39201
p 601.352.5411

161 Lamouse Street
Suite 201
Biloxi, MS 39530
p 228.374.1409

dalepartners.com

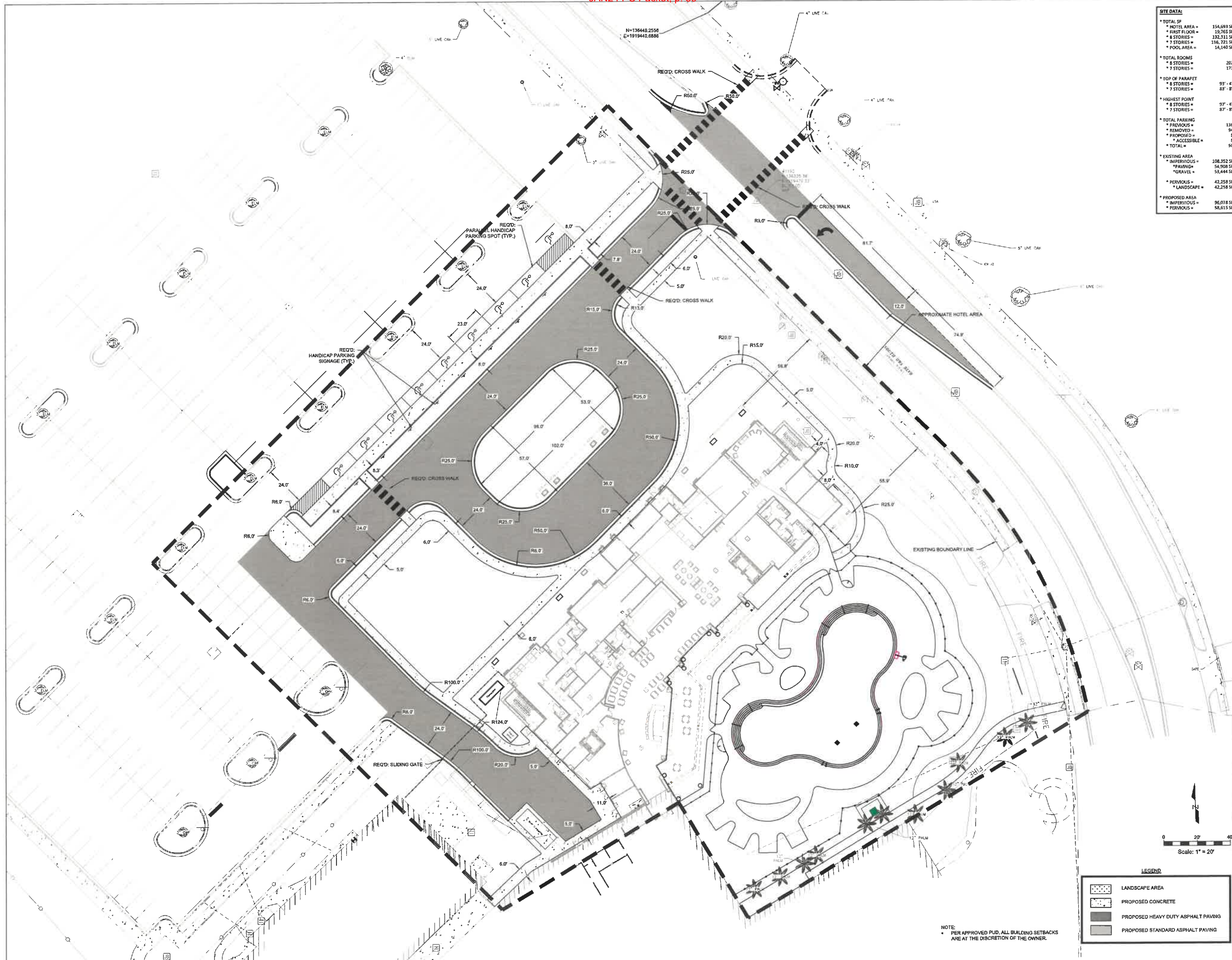
OWA Tropic Falls Hotel
Foley, AL

Issued For
Construction

Project No	22088
Date	11/06/2023
Drawn	al
Checked	JWS
Revisions	Rev Date
Foley Sub	12/14/2023

C-101

Site Plan



LEGEND	
[Pattern]	LANDSCAPE AREA
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED HEAVY DUTY ASPHALT PAVING
[Pattern]	PROPOSED STANDARD ASPHALT PAVING



DALE
PARTNERS

Architecture
Interiors
Planning

One Jackson Place
Suite 250
188 East Capital Street
Jackson, MS 39201
p 601.352.5411

161 Larnesse Street
Suite 201
Biloxi, MS 39530
p 228.374.1409
dalepartners.com

OWA Tropic Falls Hotel

Foley, AL

Issued For
Construction

Project No	22068
Date	11/06/2023
Drawn	all
Checked	JWS
Revisions	Rev Date
Foley Sub	12/14/2023

C-100

Overall Site Plan

60



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

STAFF RECOMMENDATION: Approve
PROJECT NAME: The Village at Foley Crossroads Master Signage & Grocer Site Plan
REQUEST: Zoning - Site Plan Approval

OWNER / APPLICANT: BRE Foley, LLC

ACREAGE: 10.0

NUMBER OF LOTS:

PIN#(s):

LOCATION: SW Corner of FBE & Co Rd 20

PROJECT DESCRIPTION: Site Plan Approval &
Master Sign Plan Approval

CURRENT ZONING: PUD

REQUESTED ZONING: n/a

ADJACENT ZONING: NORTH: PDD; EAST: B-1A; SOUTH & WEST: PUD

FUTURE LAND USE: RCC - Retail Commercial Concentration

EXISTING LAND USE: vacant



UTILITY LETTERS
RECEIVED: No
DEED RECEIVED: No
AGENT AUTHORIZATION: No

61

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. The proposed master signage plan for this portion of the PUD meets / exceeds the Zoning Ordinance requirements. The site plan appears to meet the zoning requirements.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Approved

1. Engineering recommends approval

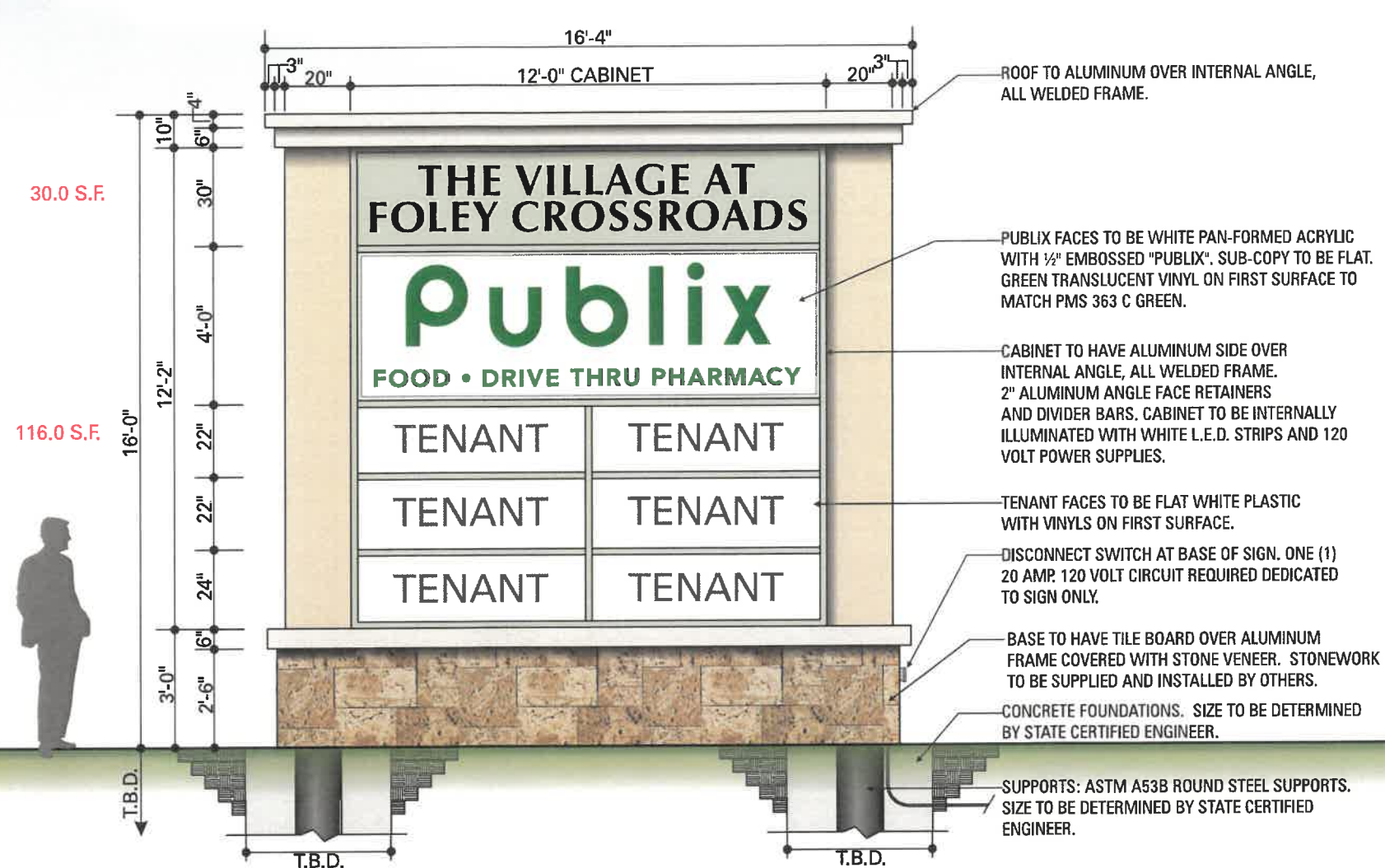
Reviewer: Angie Eckman , Environmental
Review Status: Approved

1. Environmental has no issue with the monument sign layout. The sign square footage falls below the threshold to require an erosion and sediment permit.

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

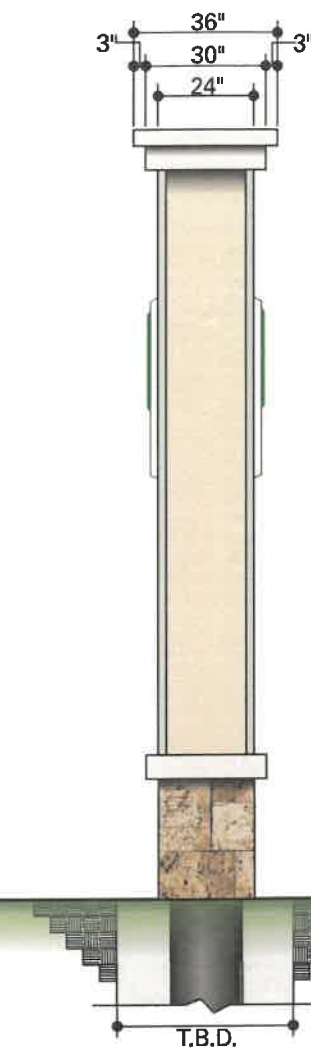
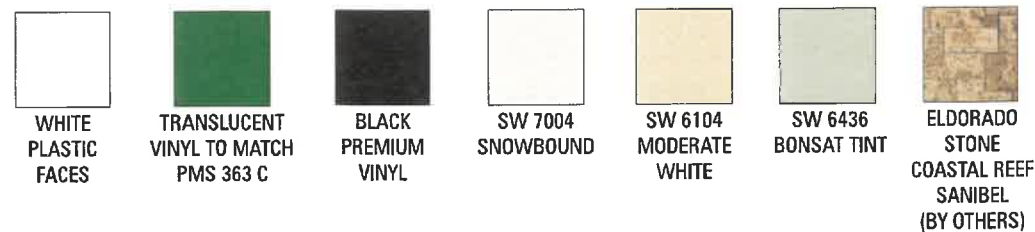
1. Ensure that signs are engineered to local wind load requirements. No concerns at this time

MONUMENT SIGN A

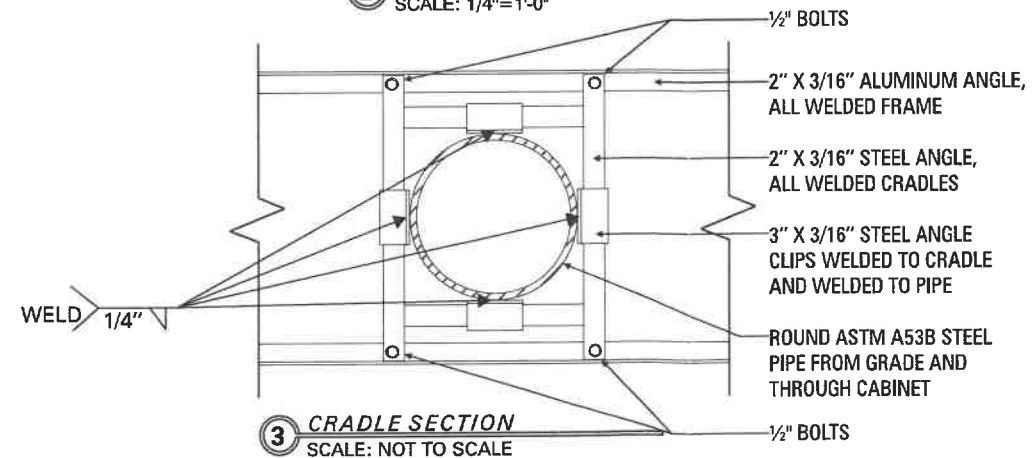


① MONUMENT FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ONE (1) DOUBLE FACE, INTERNALLY ILLUMINATED MONUMENT SIGN.
146.0 S.F.



② MONUMENT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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FLORIDA

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www.IntlSign.com

Client:
FOLEY CENTER
FOLEY BEACH EXPRESS
FOLEY, AL.

Date:
JANUARY 19, 2023

Drawing Number:
A23127-50-FOLEY CENTER

Revisions:

DATE:	DESCRIPTION:
1 00-00	NR
2 00-00	NR
3 00-00	NR
4 00-00	NR
5 00-00	NR
6 00-00	NR
7 00-00	NR
8 00-00	NR

Sales Person:
BETH RENFRO

Scale:
AS NOTED

Drawn by:
O. BARNITZ

CLIENT/LANDLORD APPROVAL

☐ APPROVED
☐ APPROVED AS NOTED
☐ REVISE AND RESUBMIT

Signature: _____

Title: _____

Date: _____

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SIGNS WILL COMPLY TO FLORIDA BUILDING CODE 2020 (7TH EDITION)

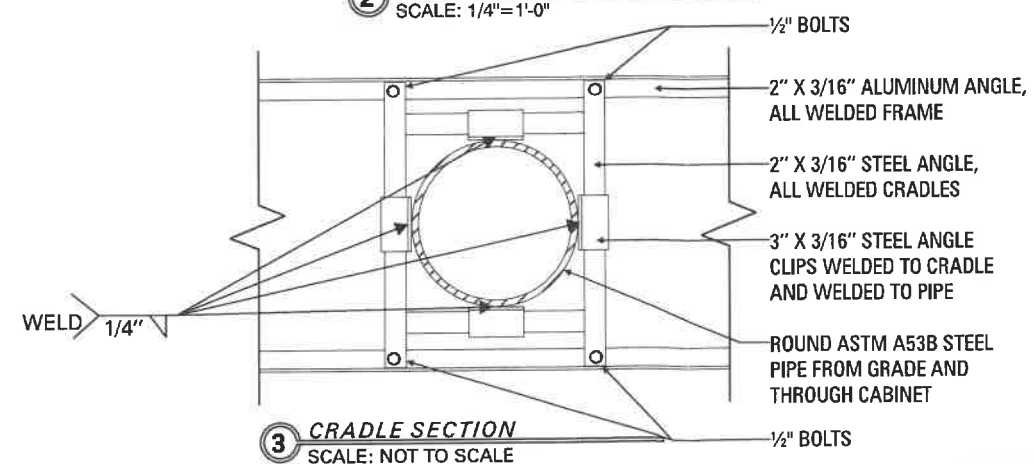
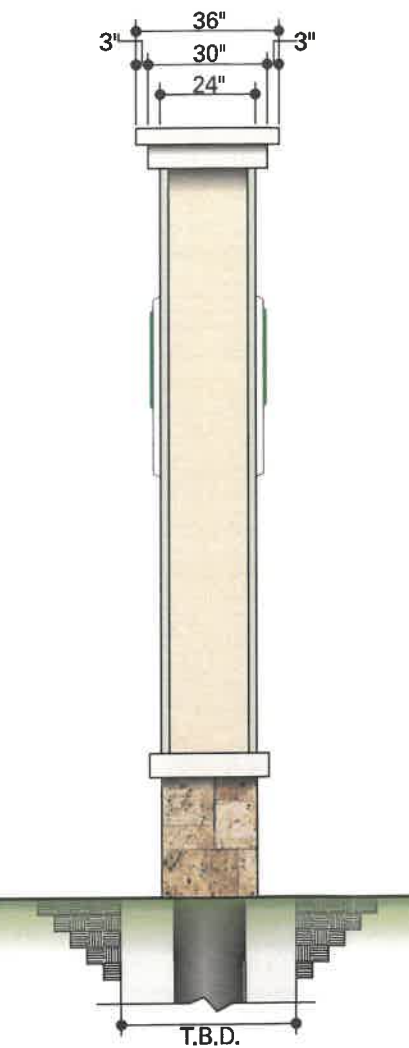
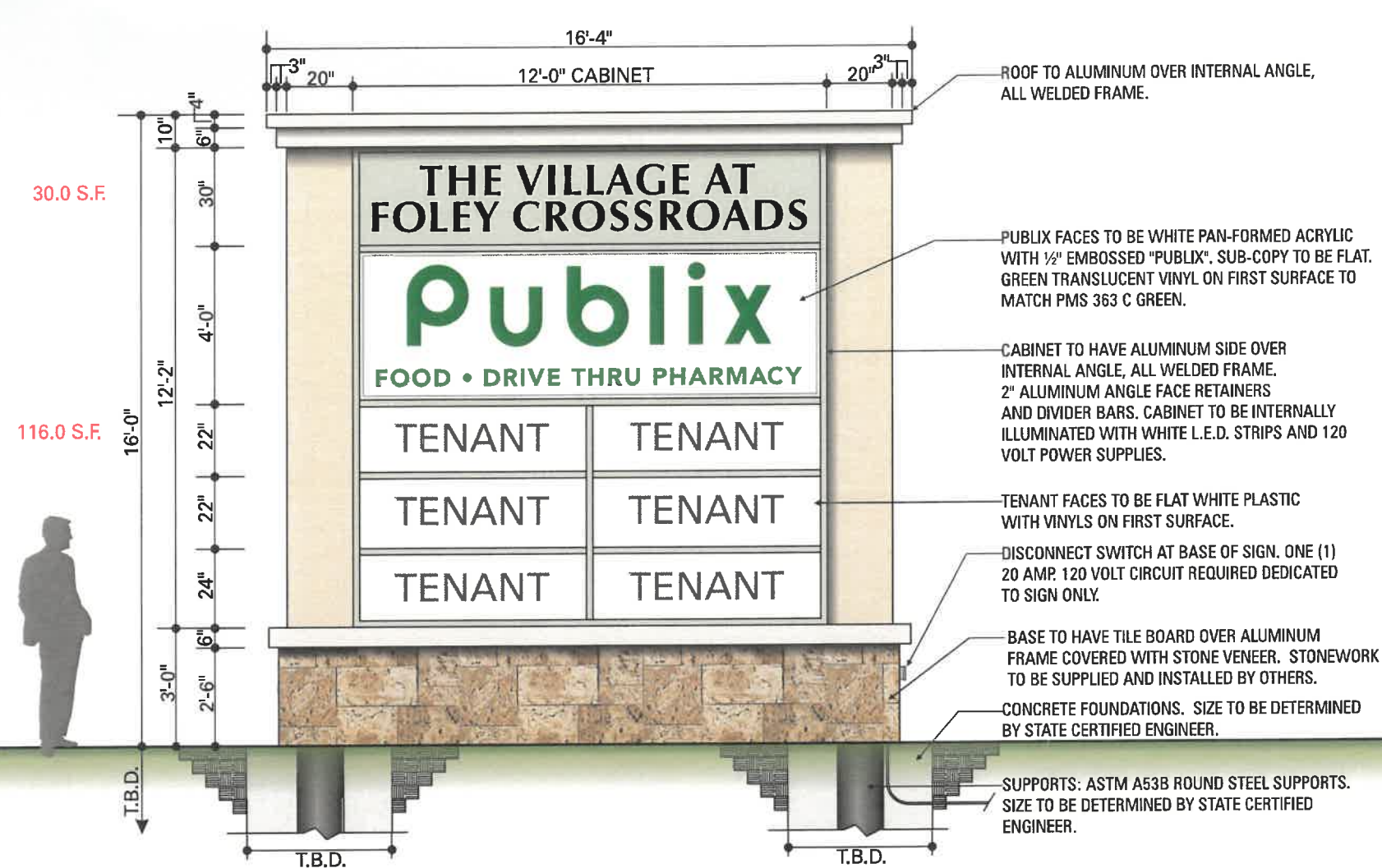
PRIMARY ELECTRICAL POWER TO SIGN TO BE BY OTHERS. ALL POWER TO BE 120 VOLT UNLESS OTHERWISE STATED.

ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS 2017

SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRIC CODE.

SHEET NO. 101

MONUMENT SIGN B

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8 00-00	NR

Sales Person:
BETH RENFRO

Scale:
AS NOTED

Drawn by:
O. BARNITZ

CLIENT/LANDLORD APPROVAL

☐ APPROVED
☐ APPROVED AS NOTED
☐ REVISE AND RESUBMIT

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Title: _____

Date: _____

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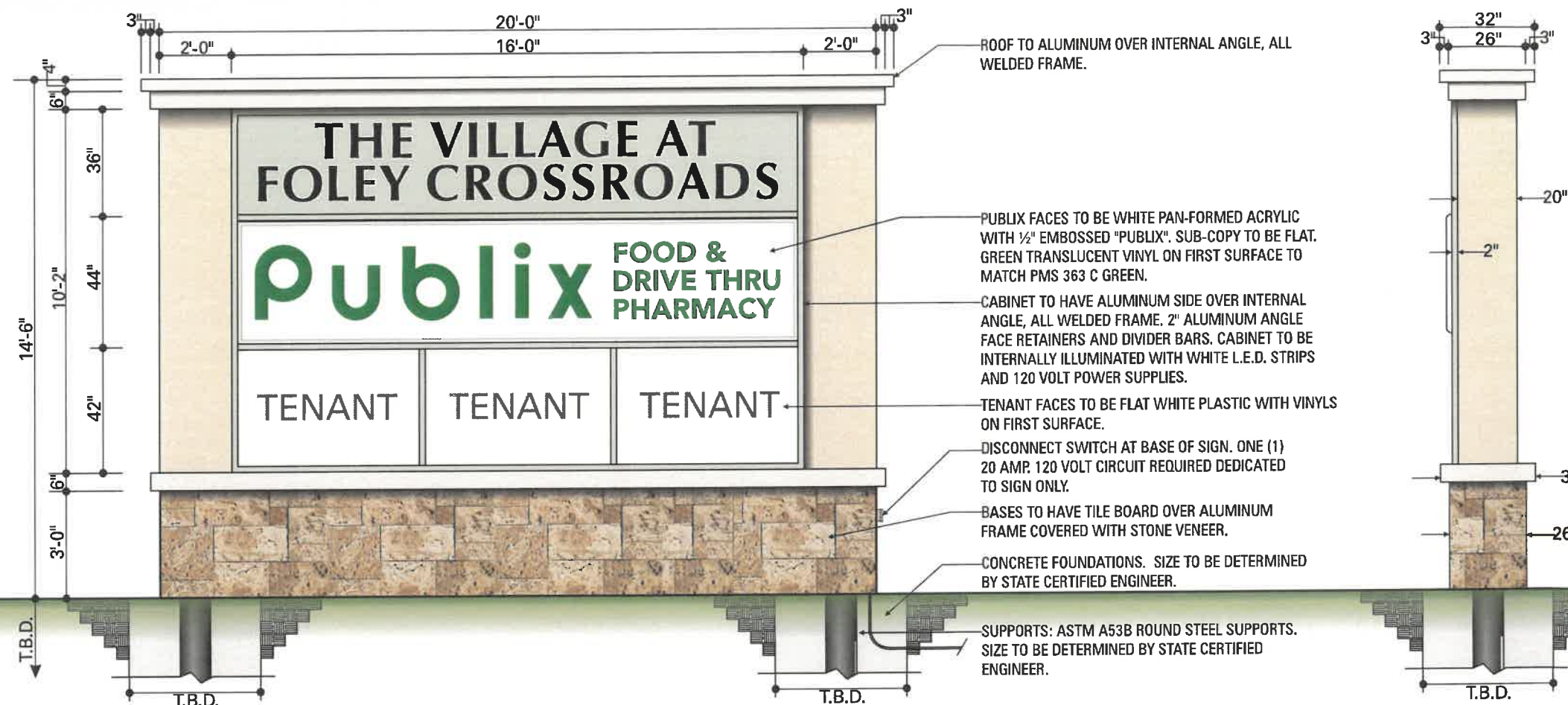
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LISTED
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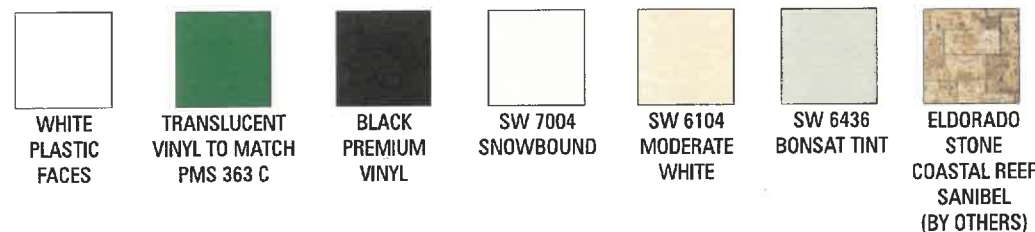
SHEET NO. 102

MONUMENT SIGN C

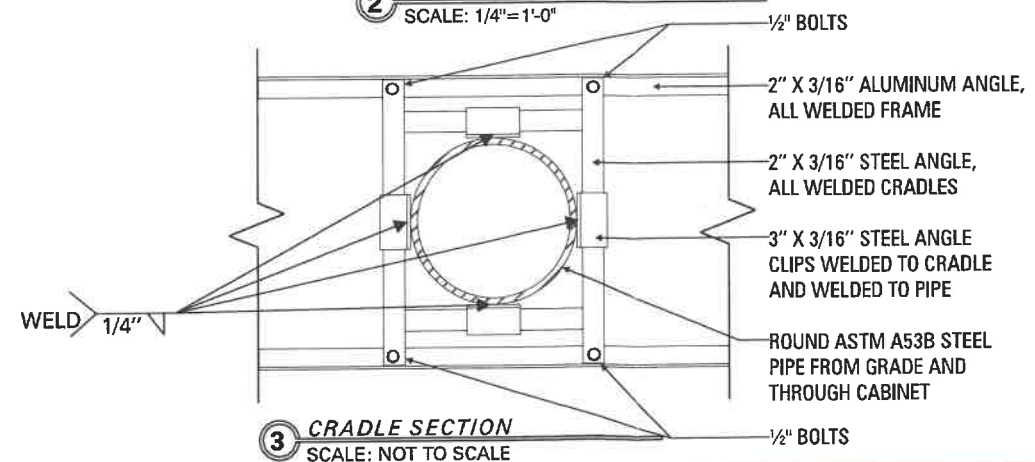


① MONUMENT FRONT ELEVATION
SCALE: 1/4"=1'-0"

ONE (1) SINGLE FACE, INTERNALLY ILLUMINATED MONUMENT SIGN.
162.65 S.F.



② MONUMENT SIDE ELEVATION
SCALE: 1/4"=1'-0"



③ CRADLE SECTION
SCALE: NOT TO SCALE

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8	00-00	NR

Sales Person:
BETH RENFRO

Scale:
AS NOTED

Drawn by:
O. BARNITZ

CLIENT/LANDLORD APPROVAL
☐ APPROVED
☐ APPROVED AS NOTED
☐ REVISE AND RESUBMIT

Signature: _____

Title: _____

Date: _____

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SHEET NO. 103

ELECTRICAL	SIGN
120V	A - MONUMENT SIGN
120V	B - MONUMENT SIGN
120V	C - MONUMENT SIGN

SQUARE FOOTAGE:

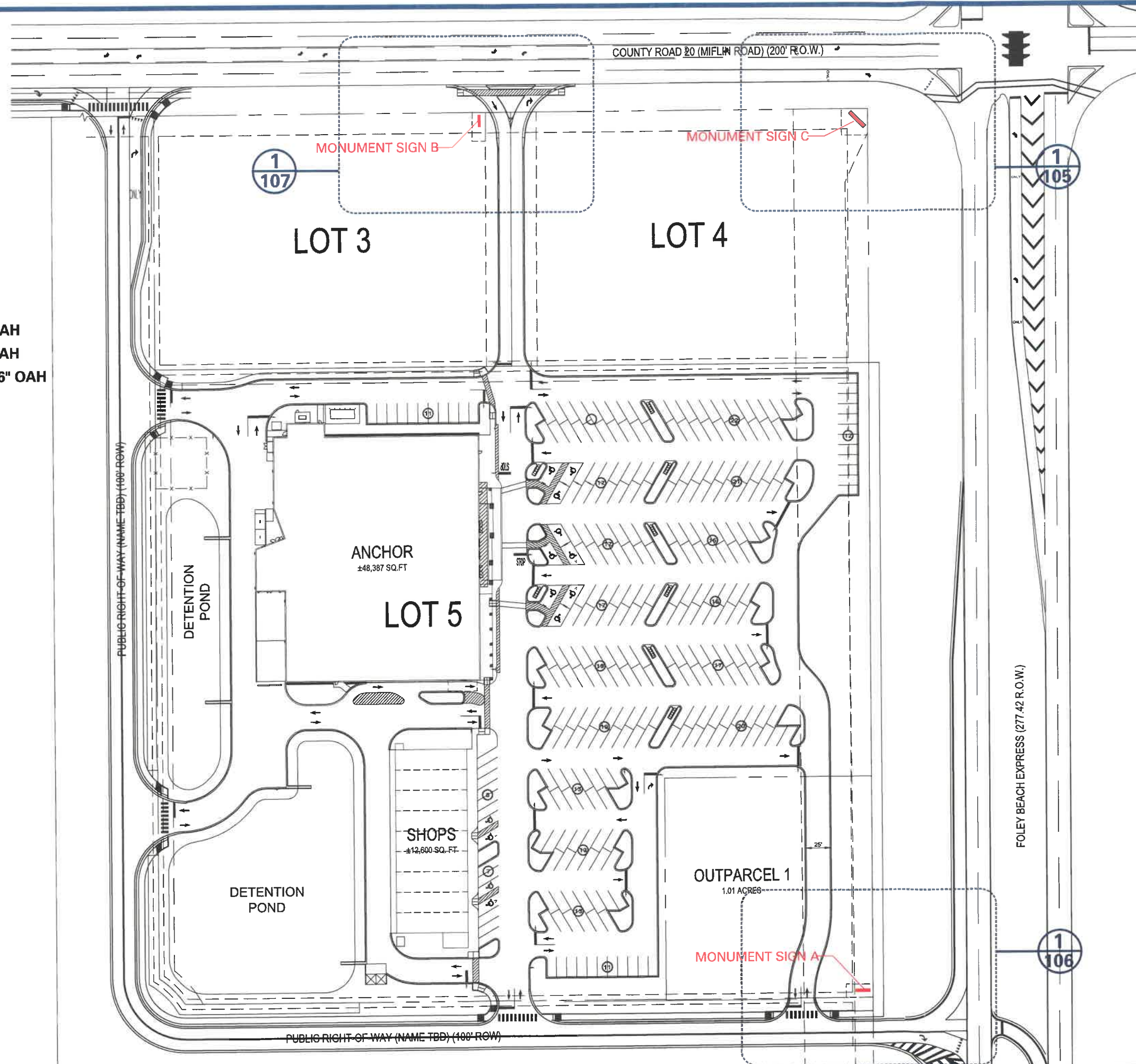
MONUMENT A - 146.0 SQUARE FEET @ 16' OAH

MONUMENT B - 146.0 SQUARE FEET @ 16' OAH

MONUMENT C - 162.65 SQUARE FEET @ 14'-6" OAH

TOTAL SQUARE FOOTAGE:

454.65

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AS NOTED

Drawn by:
O. BARNITZ

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☐ APPROVED
☐ APPROVED AS NOTED
☐ REVISE AND RESUBMIT

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SHEET NO. 104

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Client:
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Scale:
AS NOTED

Drawn by:
O. BARNITZ

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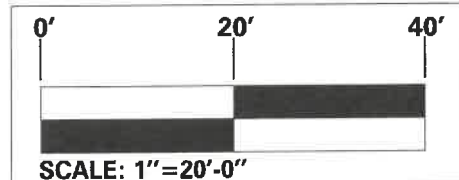
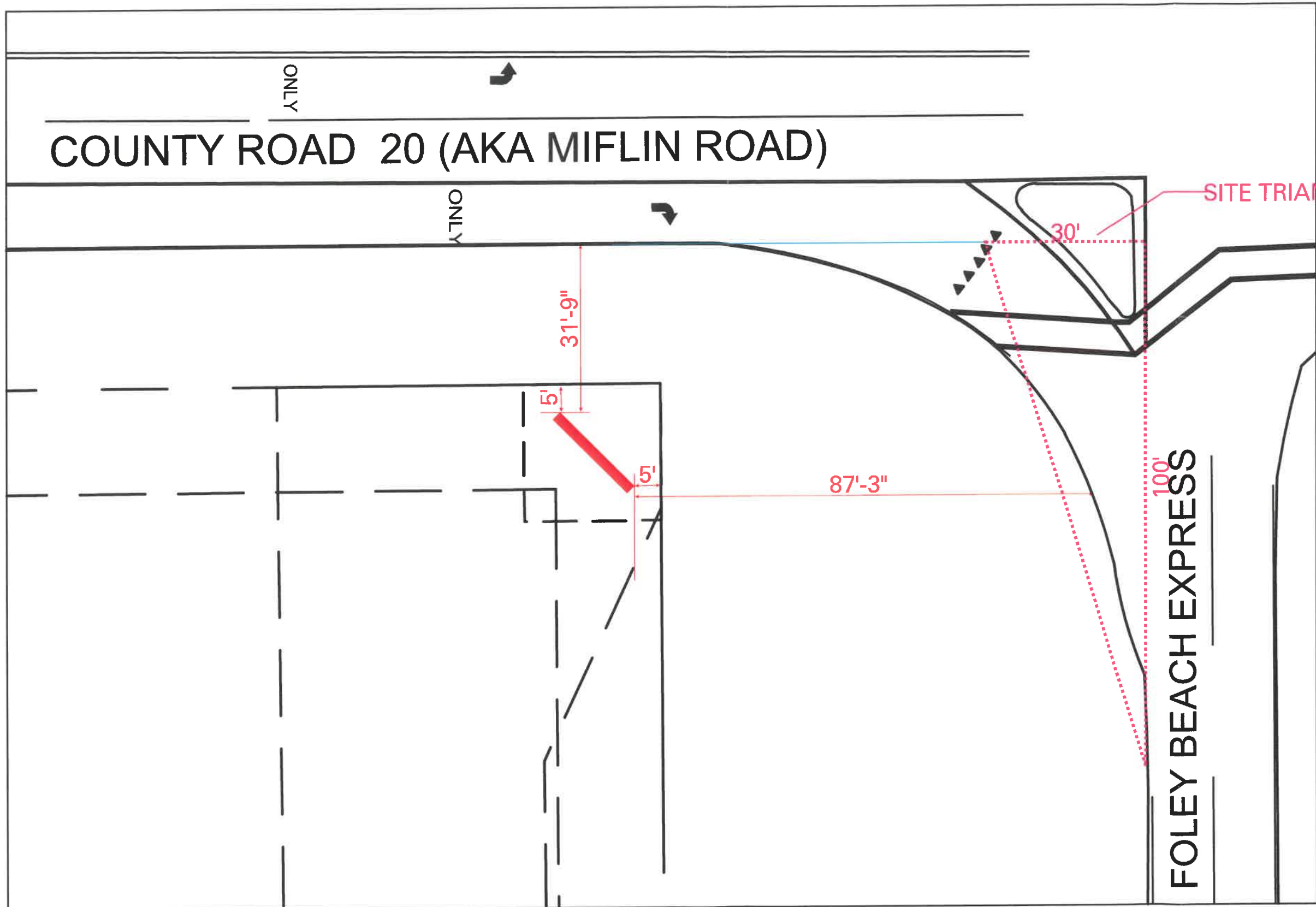
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Client:
FOLEY CENTER
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Date:
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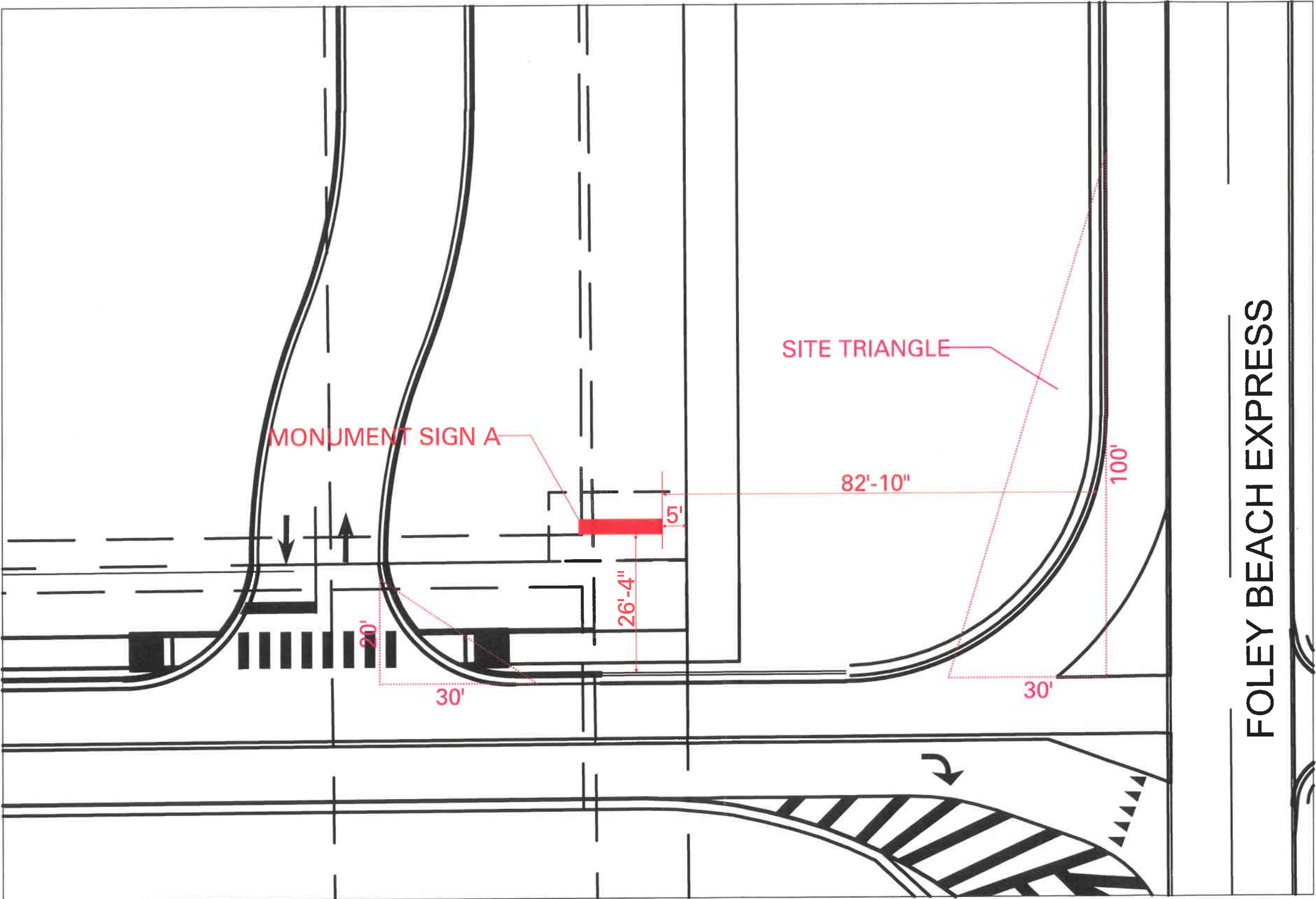
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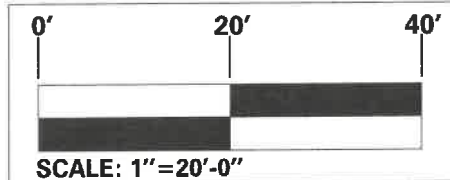
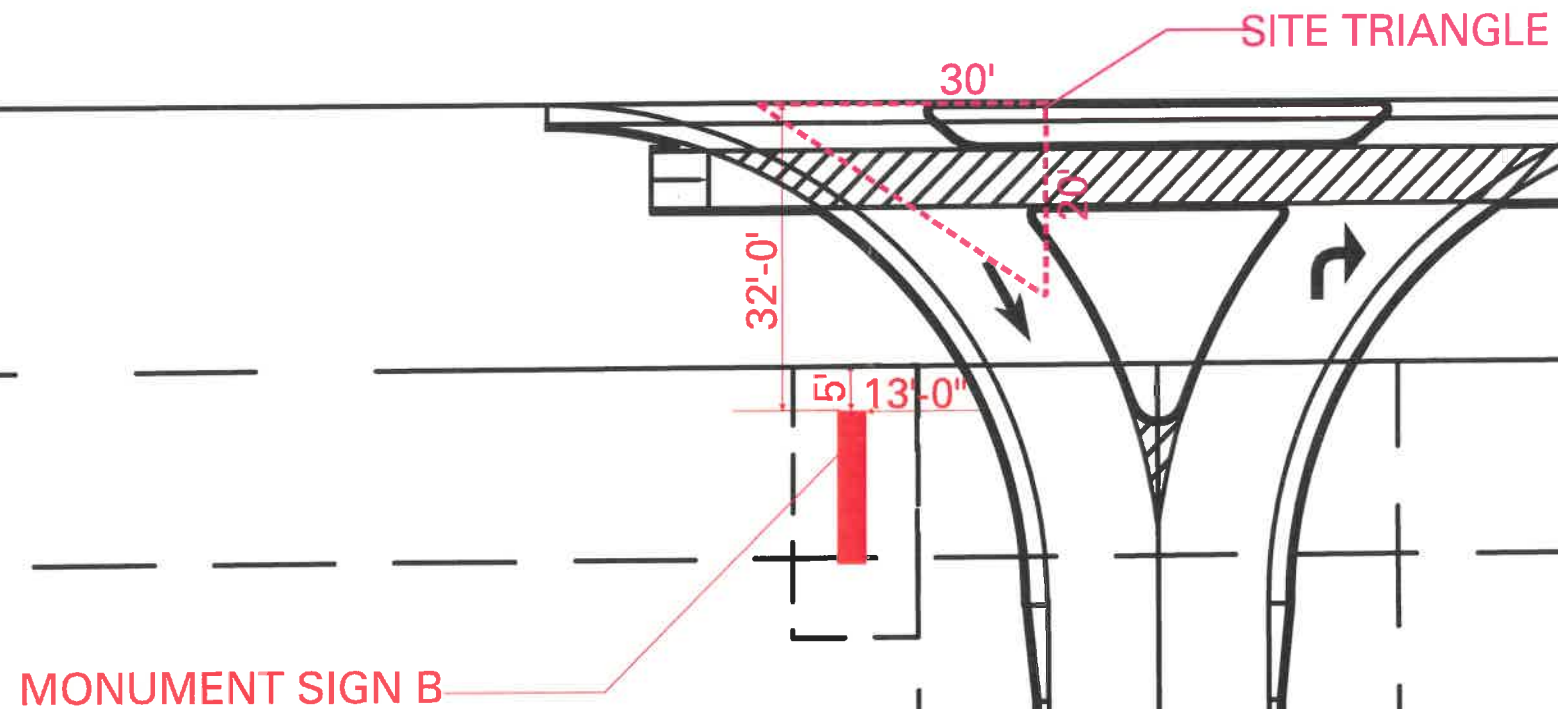
CLIENT/LANDLORD APPROVAL
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☐ APPROVED AS NOTED
☐ REVISE AND RESUBMIT
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COUNTY ROAD 20 (AKA MIFLIN ROAD)



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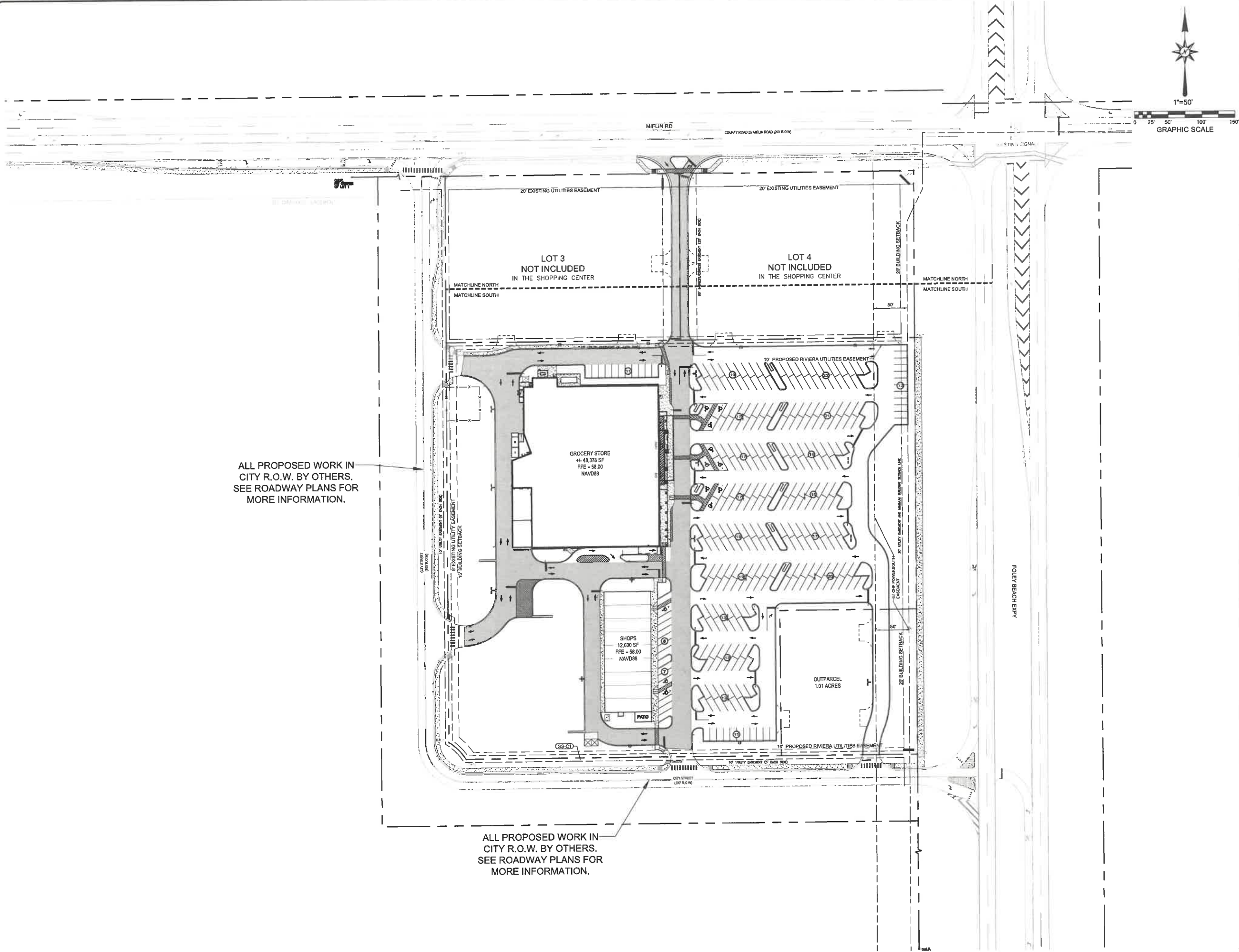
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U.S. LISTED ELECTRICAL COMPONENTS SHALL MEET ALL U.S. N.E.C. STANDARDS 2017

SIGN MUST BE GROUNDED IN COMPLIANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRIC CODE.

SHEET NO. 107



REVISIONS	
NO.	DESCRIPTION
0	ISSUED FOR PERMIT OUT TO BID
1	ADJUSTMENT #2

TITLE
OVERALL SITE LAYOUT PLAN
THE VILLAGE AT FOLEY CROSSROADS
SWC FOLEY BEACH EXPRESS & MIFFLIN ROAD
FOLEY, AL
BRE FOLEY, LLC
HOOVER, AL

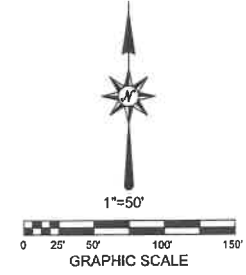
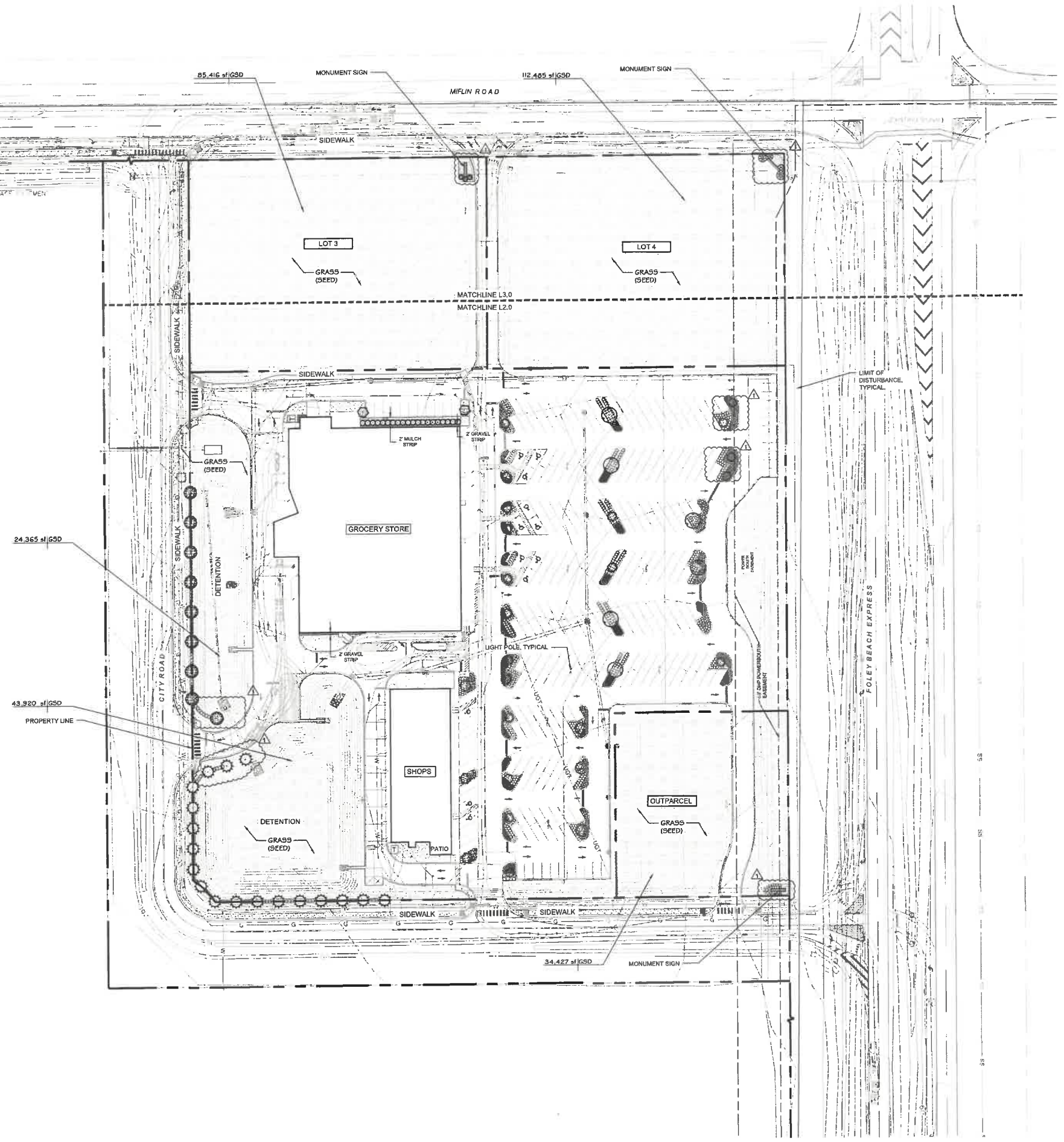
GONZALEZ - STRENGTH & ASSOCIATES, INC.
CIVIL ENGINEERING - TRANSPORTATION ENGINEERING - LAND SURVEYING
1050 WOODS OF FAVERGHAUSE DRIVE SUITE 200
HOOVER, ALABAMA 36244
PHONE: (205) 964-3333
FAX: (205) 964-3333
www.Gonzalez-Strength.com
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DWG. NO.
C200
PROJECT
23-0233

09

LANDSCAPE NOTES:
1.) LANDSCAPE ARCHITECT TO APPROVE
TREE STAKING PRIOR TO TREE
INSTALLATION.



REVISIONS	
NO.	DESCRIPTION
0	ISSUED FOR PERMIT / OUT TO BID
1	REVISED PER CITY COMMENTS

DATE: 12/15/23

TITLE: OVERALL LANDSCAPE PLAN
THE VILLAGE AT FOLEY CROSSROADS
FOLEY BEACH EXPRESS & CO. RD. 20
FOLEY, AL
BRE FOLEY, LLC
MOBILE, AL

GONZALEZ - STRENGTH & ASSOCIATES, INC.
CIVIL ENGINEERING, SURVEYING, AND LAND SURVEYING
PLANNING AND LANDSCAPE ARCHITECTURE
1550 WOODS OF RIVERCHASE DRIVE SUITE 200
HOOVER, ALABAMA 36244
PHONE: (205) 944-3033
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STATE OF ALABAMA
ROBIN L. GONZALEZ
LANDSCAPE ARCHITECT
316
12/15/23

DATE: 12/15/23
PROJECT: 23-0233

no



VILLAGE AT FOLEY CROSSROADS PLANT SCHEDULE							
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	SPACING	REMARKS
TREES							
	BAC	3	Bald Cypress / Taxodium distichum	2" Cal.	B&B	*SAS	8' Ht., 5' Clear Trunk Minimum
	CWM-FTG	9	Claudia W. Magnolia / Magnolia grandiflora 'Claudia Wannamaker'	8' Ht.	B&B	25' o.c.	Full to Ground
	EPH	5	East Palatka Holly / Ilex x strimusta 'East Palatka'	8' Ht.	B&B	*SAS	2" Cal., Standard, 3' Clear Trunk, Matching
	EBH	18	Emily Bruner Holly / Ilex x 'Emily Bruner'	8' Ht.	B&B	25' o.c.	2" Cal., Full To Ground
	IWC	20	Idylwild Red Cedar / Juniperus virginiana 'Idylwild'	6' Ht.	B&B	9' o.c.	Full to Ground, Matching
	SAG	3	Japanese Sago Palm / Cycas revoluta	30 gal.	Pot	6' o.c.	Full to Ground, Matching
	SAV	8	Savannah Holly / Ilex x attenuata 'Savannah'	6' Ht.	Pot	*SAS	8' Ht., 3' Clear Trunk Minimum
	SHO	6	Shumard Red Oak / Quercus shumardi	2" Cal.	B&B	*SAS	8' Ht., 3' Clear Trunk Minimum
	SBM	12	Sweetbay Magnolia / Magnolia virginiana	8' Ht.	B&B	*SAS	Multi-Trunk, 3-Stem Minimum, Matching
SHRUBS							
	CAH	143	Carissa Holly / Ilex cornuta 'Carissa'	***	Pot	36" o.c.	***Note
	DBH	61	Dwarf Burford Holly / Ilex cornuta 'Burfordii Nana'	3 gal.	Pot	48" o.c.	Full
	GAR	294	Frostproof Gardenia / Gardenia jasminoides 'Frostproof'	***	Pot	36" o.c.	***Note
	IBH	226	Inkberry Holly / Ilex glabra 'Densa'	***	Pot	36" o.c.	***Note
	PMG	60	Pink Nuthatch / Muhlenbergia capillaris 'Pink Cloud'	***	Pot	36" o.c.	***Note
	PIT	43	Variegated Karo Pittosporum / Pittosporum crassifolium 'Variegatum'	3 gal.	Pot	48" o.c.	Full
GROUND COVERS							
	MUL	273 sf	Mulch	---			Hardwood Mulch, 4" Depth
	GSD	299,725 sf	Grass	seed			See Civil for Seeding Notes
	AIR	907	African Iris / Dietes iridioides	1 gal.	Pot	15" o.c.	Full, White Flowers
	BES	4,863 sf	Bermuda Grass / Cynodon dactylon '419 Hybrid'	sod			
	EGL	1,494	Evergreen Giant Border Grass / Linopoe muscari 'Evergreen Giant'	1 gal.	Pot	15" o.c.	Full
	PAJ	77	Parsonii Juniper / Juniperus chinensis 'Parsonii'	3 gal.	Pot	36" o.c.	Full, 18" Spread
	LAN	236	Pot of Gold Lantana / Lantana montevidensis 'Pot of Gold'	1 gal.	Pot	15" o.c.	Full
	LIV	457	Variegated Lily Turf / Linopoe muscari 'Variegata'	1 gal.	Pot	15" o.c.	Full
	RR	396	Gravel				Washed Pea Gravel, 2" Depth

NOTES:

- *SAS = SPACING AS SHOWN
- **N/A = NOT APPLICABLE
- ***NOTE = SHRUBS ARE TO BE A MINIMUM 18" HT. AND 15" SPREAD AT THE TIME OF INSTALLATION PER GROCERY STORE REQUIREMENTS
- ALL MULCH TO BE HARDWOOD MULCH PER GROCERY STORE REQUIREMENTS
- TREES TO BE OF THE HIGHEST GRADE AND PURCHASED FROM THESE SELECTED VENDORS ONLY:

ALABAMA:	GEORGIA:	MISSISSIPPI:	FLORIDA:
- HUNTER TREES (866) 346-6637	- BOLD SPRINGS NURSERY, INC. (478) 783-4975	- BARNHILL FARMS NURSERY, INC. (601) 947-6281	- GTF NURSERY (850) 476-9901
- PLANTATION TREE CO. (334) 676-9176	- SELECT TREES (706) 743-5124	- MURRAY'S NURSERY (228) 588-5555	- PANHANDLE GROWERS, INC. (850) 625-0951
- GREEN VALLEY FARMS, INC. (205) 666-1376	- SOUTHEAST GROWERS, INC. (706) 310-1151		- PINELANDS NURSERY (850) 823-0602
- MARTIN'S NURSERY (251) 649-0169	- MID GEORGIA NURSERY, INC. (770) 567-3674		

- IF TREES ARE NOT AVAILABLE AT THE INDICATED NURSERIES, CONTRACTOR TO SUBMIT ALTERNATIVE NURSERIES. ALL TREES OBTAINED AT LISTED NURSERIES MUST MEET ALL OF THE SPECIFICATIONS REQUIRED.

- EVERGREEN PLANTS
- PERCENTAGE OF EVERGREEN PLANTS REQUIRED IN ZONE 9 = 50%
- PERCENTAGE OF EVERGREEN PLANTS PROVIDED = 75.8%
(3,344 EVERGREEN PLANTS / 3,869 TOTAL PLANTS) = 86%

LANDSCAPING NOTES:

- Examination of Site: Installer shall visit the site of work to acquaint himself with condition affecting his work. By submission of bid, installer acknowledges he has complied with all requirements and no additional compensation or relief from any obligation of Contract will be considered because of lack of knowledge of the site conditions.
- Notes on Drawings: Installer is responsible for all notes on drawings which call attention to particular requirements or conditions which may or may not be included in the written Specifications.
- Protection of Existing Work: It shall be the contractor's responsibility to perform all work in a manner that protects completed work by others, such as curbs, utilities, storm drainage, fences, driveway aprons, drives, vegetation, etc. The contractor shall be responsible for the cost of satisfactory repair of all damage in kind resulting from his failure to comply.
- Utilities: Prior to construction operations, installer shall verify locations of all utilities and structures which may or may not be indicated on the drawings. He shall conduct work so as to prevent interruption of services. Any damage shall be repaired to its original condition or satisfaction of utility company at no expense to Owner.
- Right-Of-Ways: Any work performed within a state, city or utility company's R.O.W., shall be properly permitted, approved and conform to that governing authority's specifications.
- Substitutions: No substitutions of products, plant types or sizes shall be made without the written approval of the owner and landscape architect. Requests for substitution shall be in writing, and shall state the reasons for the substitution request, the suggested alternative, and the changes in cost. Requests in plant materials shall state the names of nurseries who have been unable to supply the originally specified material.
- Quantities: Quantities of plants as shown by plant symbols on the plan shall govern over the quantities shown in the plant list. The contractor is to verify plant list totals with quantities shown on plan. The landscape architect shall be alerted by the contractor of any discrepancies prior to final bid negotiation.
- Plant Materials: All plant materials shall conform to the applicable standards of the American Association of Nurserymen, Inc. American Standard For Nursery Stock, ANSI Z60.1, latest edition. Plant materials shall have been grown under climatic conditions similar to those in the locality of the project. Botanical Names take precedence over Common Names. Note: plants budding into leaf or having tender growth, shall be sprayed with an anti-desiccant at grower prior to digging. All trees shall have a straight central leader.
- Installation: Install as per written Specifications and Planting Details. After placement of material, construct an earthen saucer around the root ball and fill with water. While watering, insert a rod into soil and rotate to release any air and continue until no more water will percolate into the soil. Fill holes left by rod and settlement. Remove all bamboo shafts and plastic tape from trunks prior to placing in tree pit. Remove soil from top of root ball in order to expose root flares.
- Tree Pits: Installer shall dig a test tree pit for percolation. Fill hole half way with water. If tree pit will not percolate at a rate sufficient enough to insure proper root growth and survival, raise the root ball to the minimum height above surrounding grade to insure proper root growth and survival.
- Topsoil: Unless otherwise specified, install a minimum of 4 inches of approved topsoil over all areas to be turfed and landscaped.
- Preparation of Island Planters: Where parking lot islands are installed, cut and remove any asphalt or gravel, and excavate to depths shown in the planting details, and backfill with approved topsoil.
- Guarantee & Maintenance: All plant materials and workmanship shall be guaranteed for a period of twelve months beginning at time of written acceptance. All sodded and areas shall be guaranteed until a full healthy stand of grass is achieved and acceptable to Owner. Trees, shrubs, and grass shall be maintained (as a part of the original bid) in a healthy growing condition until final inspection and approval by Owner. Maintain by watering on a regular basis, applications of fertilizer, insecticides and fungicides when required. "Straighten leaning plants and raise plants that have settled. Remove dead or dying plants and replace with a plant material as originally specified and carry same guarantee.

SODDING NOTES:

- Soil Test Report: Installer shall provide and pay for a Soil Test Report to determine type and quantities of fertilizers and other amendments necessary to establish proper pH factor and nutrients to bring existing soil to a satisfactory level for plant growth. Testing shall include existing soil and topsoil. Furnish copies of Soil Test Report to Landscape Architect and or Engineer. Contact local County Agent for testing.
- Preparation: install 4 inches of approved topsoil over all areas to be sodded. Rake smooth to finished grades shown. Add fertilizers and other soil amendments in quantities as recommended in the Soil Test Report, unless otherwise specified in the Specifications.
- Sod: Provide fresh well-rooted sod free of weeds, nutgrass, disease, insects, and other grasses. Sod shall be machine cut with clean sharp edges to a uniform thickness with 1 1/4 inches of topsoil and a turf height of 1 to 1 1/2 inches. Mow prior to cutting.
- Installation: Install with tight fitted joints. Lay perpendicular to direction of slope. Stagger strips to offset joints of adjacent courses. Set sod by rolling with a water ballast roller and water thoroughly to saturate sod and subsoil. Secure sod with staples on slopes 2.5:1 and steeper.
- Guarantee & Maintenance: All sodded areas shall be guaranteed and maintained in strict accordance with the Specification. Maintain also by watering, fertilizing, mowing, weeding, applications of herbicides, fungicides, insecticides, until a full healthy stand of grass, free from weeds, disease, and insects is achieved and acceptable to Owner. Replace any dead sod.

IRRIGATION NOTES:

- Irrigation Plan see sheets I1.0 - I6.0 for IRR.

SEEDING NOTES:

- See Civil for Seeding.

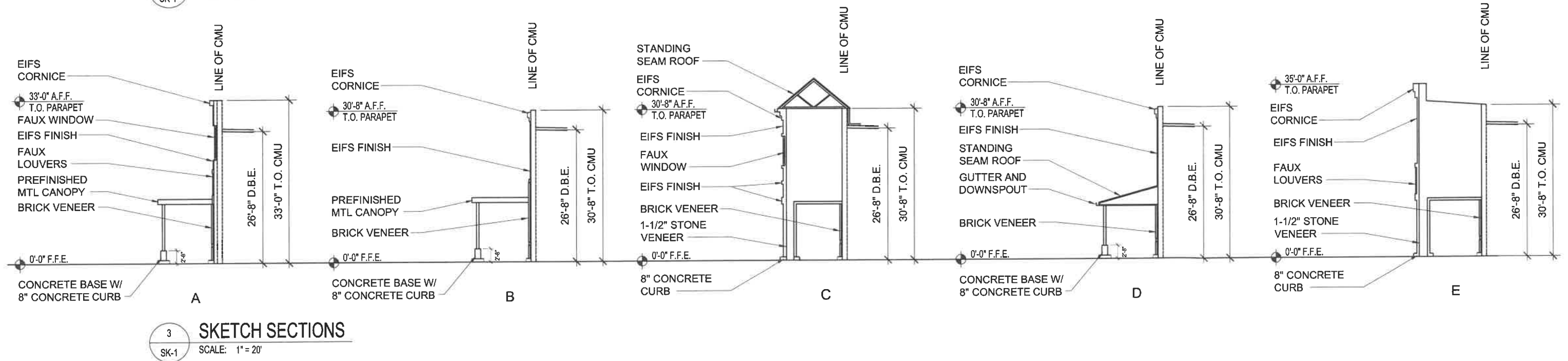
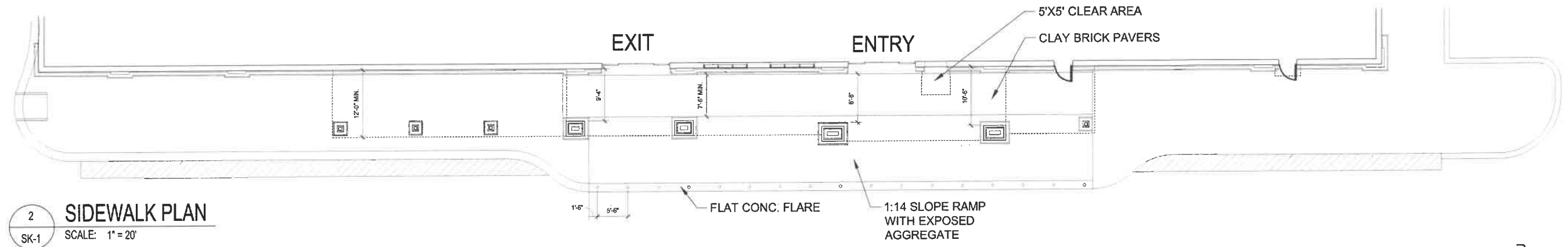
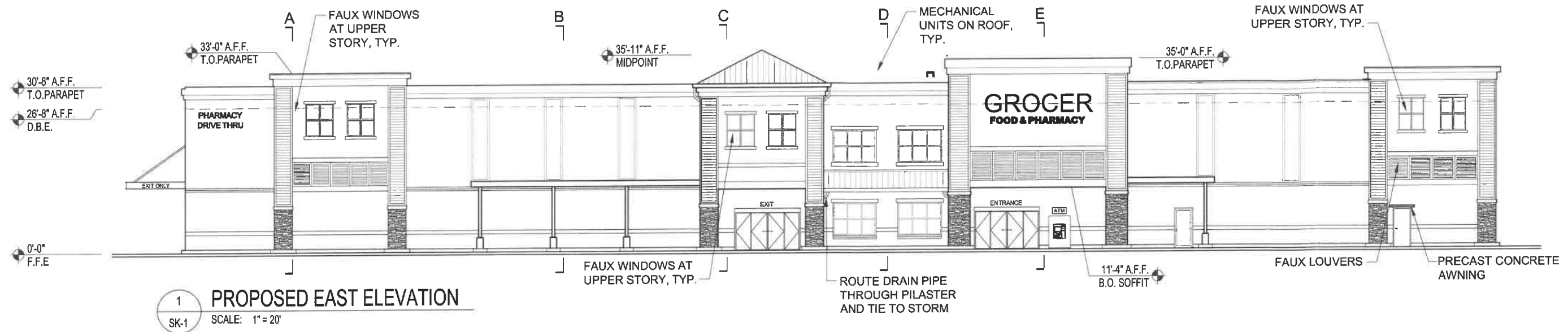
REVISIONS		DATE
NO.	DESCRIPTION	
1	REVISED FOR PERMIT / CUT TO RED	12/18/23
1	REVISED PER CITY COMMENTS	

LANDSCAPE SCHEDULE AND NOTES
THE VILLAGE AT FOLEY CROSSROADS
FOLEY BEACH EXPRESS & CO. RD. 20
BRE FOLEY, LLC
HOUSTON, TX

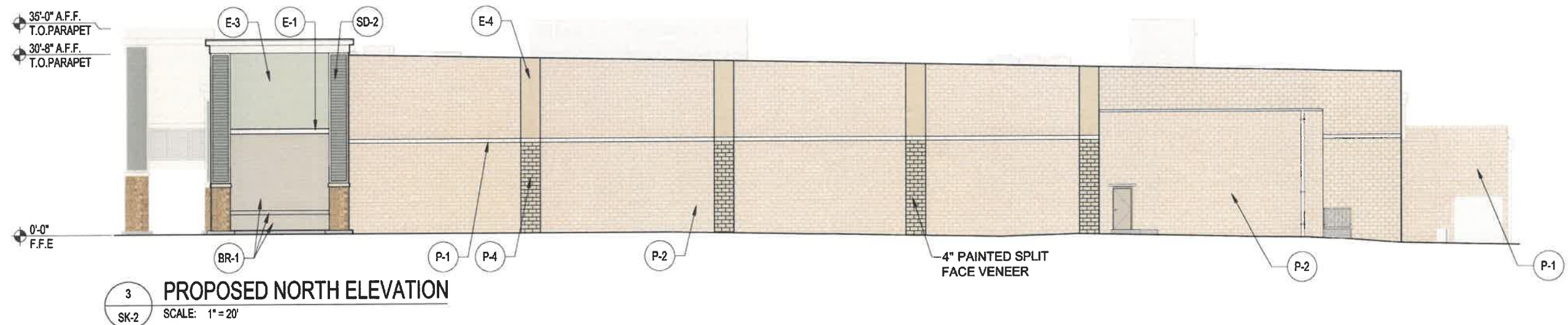
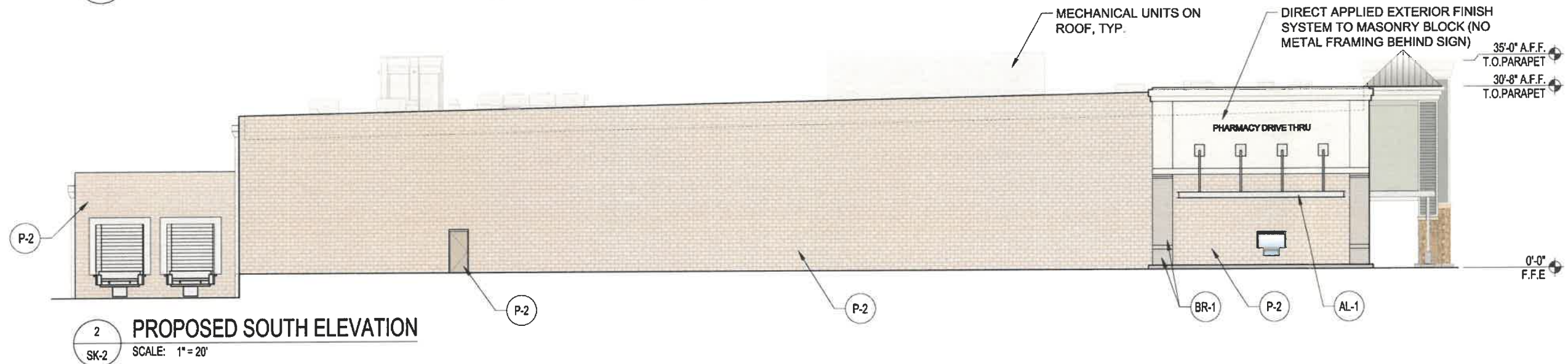
GONZALEZ STRENGTH & ASSOCIATES, INC.
CIVIL ENGINEERING - TRANSPORTATION ENGINEERING - LAND SURVEYING
LAND PLANNING - LANDSCAPE ARCHITECTURE
1560 WOODS CYPRESS BLVD SUITE 200
HOOPER, ALABAMA 35244
PHONE: (205) 942-3033
FAX: (205) 942-3033
www.Gonzalez-Strength.com



na



n3



BLACKWATER REAL ESTATE, LLC
700 MONTGOMERY HIGHWAY, SUITE 186
BIRMINGHAM, AL 35216
205.969.1000

FOLEY CROSSROADS
FOLEY, AL

JOB NUMBER: 2258602 | DATE: 09.14.23 | BY: TG / BAR

DRAWING: SK-2
PROPOSED OVERALL ELEVATIONS



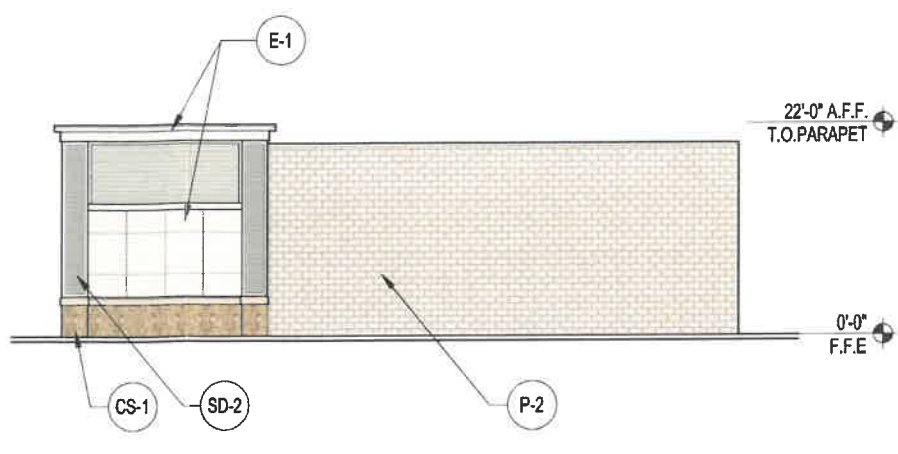
PHILLIPS
ARCHITECTURE • CONSULTANTS

5901 PEACHTREE DUNWOODY RD. • SUITE A450 • ATLANTA, GA 30328 • 770.394.1616

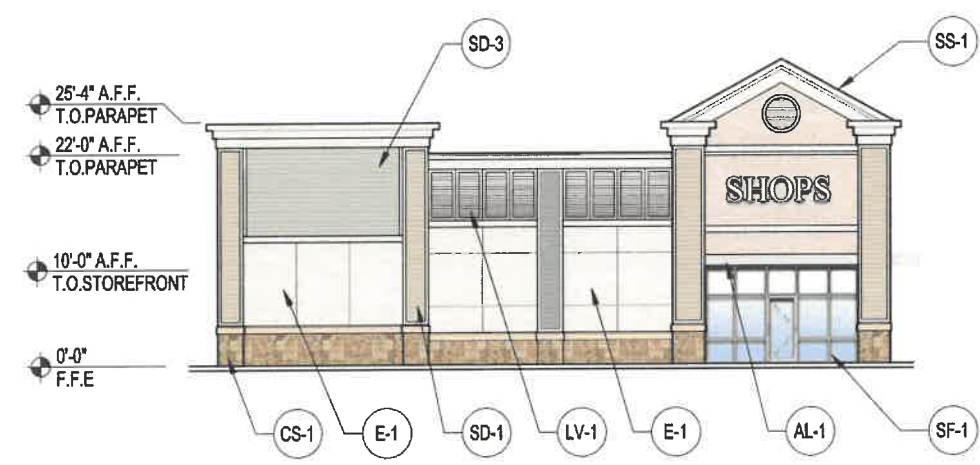
74



1 PROPOSED EAST ELEVATION
SK-3 SCALE: 1" = 20'



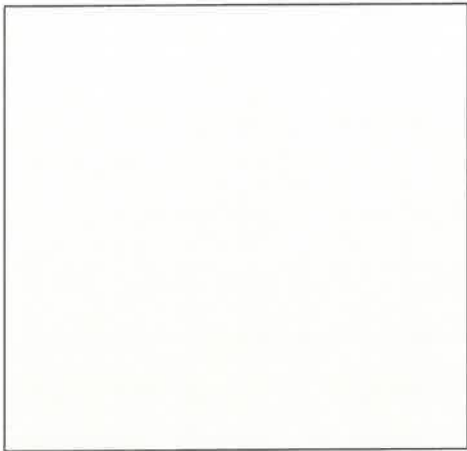
2 PROPOSED NORTH ELEVATION
SK-3 SCALE: 1" = 20'



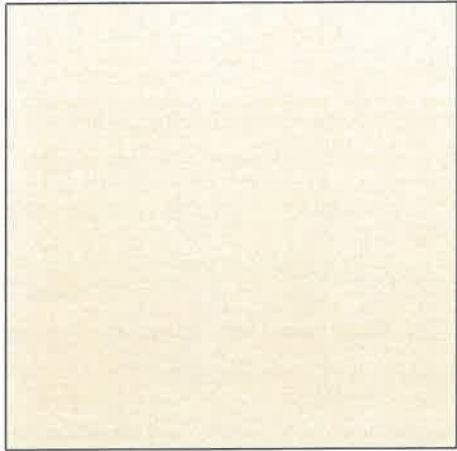
3 PROPOSED SOUTH ELEVATION
SK-3 SCALE: 1" = 20'

FINISH SCHEDULE	
FINISH CODE	DESCRIPTION
AL-1	PRE FINISHED EXTRUDED ALUMINUM CANOPY W/ CORRUGATED METAL DECK BY AWNINGS ABOVE OR APPROVED EQUAL - FINISH COLOR TO MATCH PAC CLAD ZINC
BR-1	MASONRY VENEER - ACME BRICK - FINISH COLOR: DOVE GRAY
CS-1	STONE VENEER - ELDORADO STONE COASTALREEF - FINISH COLOR "SANIBEL"
E-1	EIFS - COLOR TO MATCH: SHERWIN-WILLIAMS SW 7004 "SNOWBOUND"
E-2	EIFS - COLOR TO MATCH: SHERWIN-WILLIAMS SW 6140 "MODERATE WHITE"
E-3	EIFS - COLOR TO MATCH: SHERWIN-WILLIAMS SW 6436 "BONSAI TINT"
E-4	EIFS - COLOR TO MATCH: SHERWIN-WILLIAMS SW 6148 "WOOL SKEIN"
LV-1	PRE-FINISHED METAL FAUX SHUTTER W/ SOLID BACKER - FINISH COLOR TO MATCH PAC CLAD ZINC
P-1	PAINTED MASONRY BLOCK - COLOR TO MATCH: SHERWIN-WILLIAMS SW 7004 "SNOWBOUND"
P-2	PAINTED MASONRY BLOCK - COLOR TO MATCH: SHERWIN-WILLIAMS SW 6140 "MODERATE WHITE"
P-4	PAINTED MASONRY BLOCK - COLOR TO MATCH: SHERWIN-WILLIAMS SW 6148 "WOOL SKEIN"
SD-1	JAMES HARDIE "HARDIEPLANK SELECT CEDARMILL SIDING" - PAINT SHERWIN-WILLIAMS SW 6148 "WOOL SKEIN"
SD-2	JAMES HARDIE "HARDIEPLANK SELECT CEDARMILL SIDING" - PAINT SHERWIN-WILLIAMS SW 6213 "HALCYON GREEN"
SD-3	JAMES HARDIE "HARDIEPLANK SELECT CEDARMILL SIDING" - PAINT SHERWIN-WILLIAMS SW 6436 "BONSAI TINT"
SF-1	STOREFRONT - KAWNEER TRIFAB 451T - CLEAR ANODIZED ALUMINUM
SS-1	STANDING SEAM ROOFING ON ALUMINUM TUBE FRAME AWNING - ROOFING FINISH TO MATCH PAC-CLAD ZINC

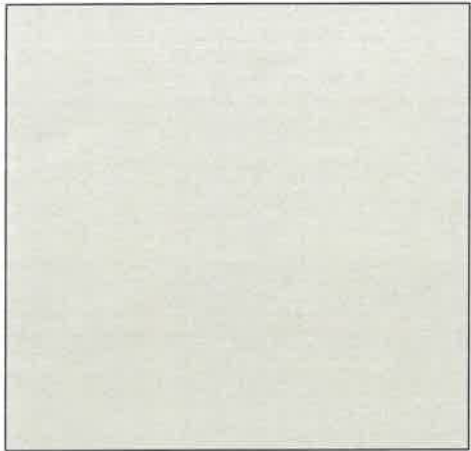
75



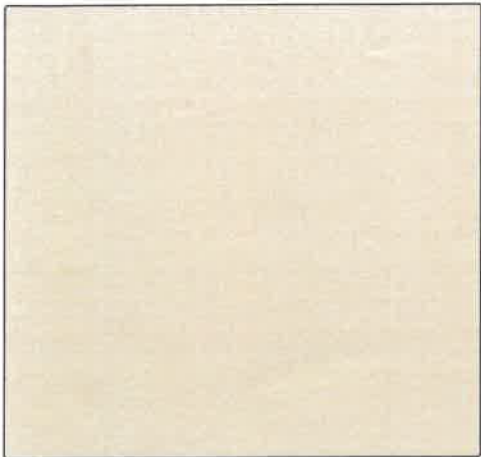
E-1 / P-1
EIFS FINISH
COLOR TO MATCH - SW 7004
SNOWBOUND



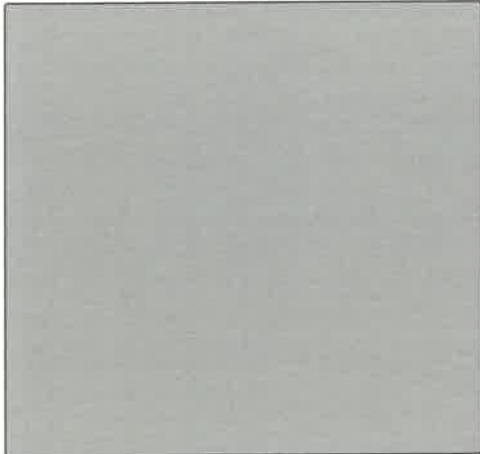
E-2 / P-2
EIFS FINISH
COLOR TO MATCH - SW 6140
MODERATE WHITE



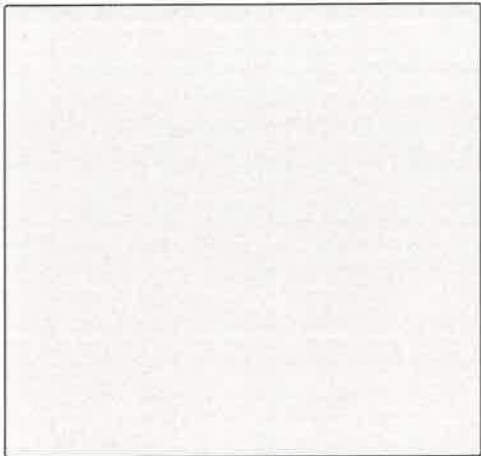
E-3 / SD-3
EIFS FINISH / HARDIEPLANK SIDING
COLOR TO MATCH - SW 6436
BONSAI TINT



E-4 / P-4 / SD-1
HARDIEPLANK SIDING
COLOR TO MATCH - SW 6148
WOOL SKEIN



SD-2
HARDIEPLANK SIDING
COLOR TO MATCH - SW 6213
HALCYON GREEN



LV-1
FAUX SHUTTERS W/ SOLID BACKER
PRE-FINSHED METAL
FINISH COLOR - ZINC



BR-1
BRICK VENEER
ACME BRICK
FINISH COLOR - DOVE GRAY



CS-1
STONE VENEER
ELDORADO STONE COASTALREEF
FINISH COLOR - SANIBEL





PLANNING COMMISSION JOINT STAFF REPORT: January 2024

76

**STAFF
RECOMMENDATION:**

Deny

PROJECT NAME:

Resubdivision of Lot C Curtis Creek South Addition to Curtis Cove

REQUEST:

Subdivision

OWNER / APPLICANT: Rowe Engineering and Surveying

ACREAGE: 2.9

NUMBER OF LOTS: 3

PIN#(s): 333429

LOCATION: 8550 -A RIVER RD

PROJECT DESCRIPTION: Resubdivision of Lot C Curtis Creek South Addition to Curtis Cove

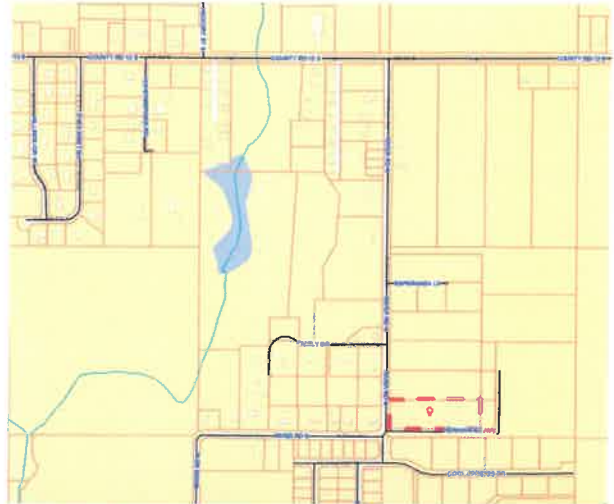
CURRENT ZONING: BC Dist 35, Zoned RSF-E

REQUESTED ZONING: n/a

ADJACENT ZONING: NORTH, EAST & SOUTH: RSF-E; WEST: RSF-1

FUTURE LAND USE: RM & RMH

EXISTING LAND USE: Single Family Residential



UTILITY LETTERS
RECEIVED: Yes
DEED RECEIVED: Yes
AGENT AUTHORIZATION: Yes

nn.

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Denied

1. According to County zoning staff, these lots do not meet the District 35 zoning requirement of 80,000 sf lots. Therefore we cannot approve the subdivision.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org, Engineering
Review Status: Under Review

1. Engineering recommends this item be carried over pending additional input from the County Planning and Zoning Department.

Reviewer: Angie Eckman, 251-923-4267 xt. 885, aeckman@cityoffoley.org, Environmental
Review Status: Under Review

1. A water service letter was provided, but it did not mention sewer. Is sewer service available at this location?

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Building and FPA not opposed

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES.
(Electric, Gas, Water, Cable & Internet)

The undersigned, as authorized by Rivera Utilities, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this
the ____ day of ____ 2023.

Authorized Signature _____

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER SERVICE, LLC.

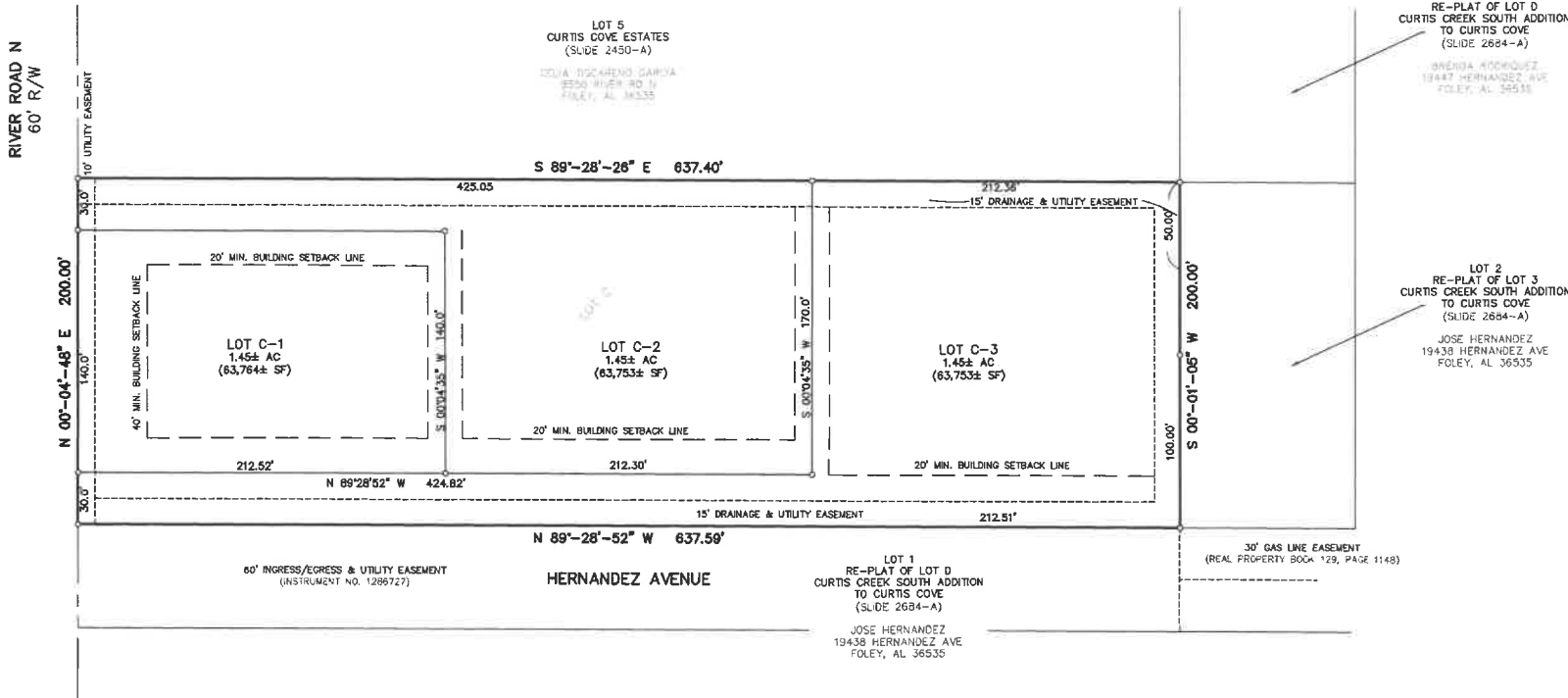
The undersigned, as authorized by Baldwin County Sewer Service, LLC, hereby approves the within plat for the recording of the same in the Probate Office of Baldwin County, Alabama, this
the ____ day of ____ 2023.

Authorized Signature _____

CERTIFICATE OF APPROVAL BY BALDWIN 9-1-1.

The undersigned, as authorized by Baldwin 9-1-1, hereby approves the within plat for the recording of the same in the Probate Office of Baldwin County, Alabama, this
the ____ day of ____ 2023.

Authorized Signature _____



CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER.

The undersigned, as the County Engineer of Baldwin County, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this
the ____ day of ____ 2023.

County Engineer _____

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER.

The undersigned, as the City Engineer of the City of Foley, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this
the ____ day of ____ 2023.

City Engineer _____

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION.

The within plat of (_____), Foley, Alabama, is hereby approved by the City of Foley Planning Commission, this
the ____ day of ____ 2023.

City Planning Commission Chairman _____

OWNER(S) ACCEPTANCE.

The undersigned owner, River Court Estate 8550 Trust, does hereby accept and approve this plat and subdivision.

By _____
Authorized Signature

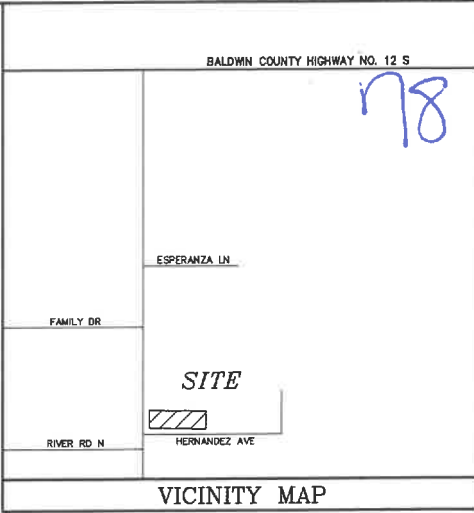
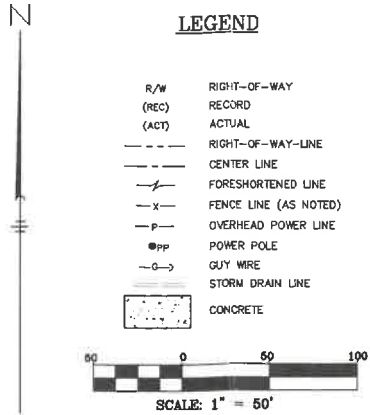
STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____ a Notary Public in and for said County and State, do hereby certify that _____ whose name as authorized by the River Court Estate 8550 Trust, is signed to the foregoing certificate and who is known to me, acknowledged before me on this day, that, being informed of the contents of said certificate, he/she executed the same voluntarily on the day the same bears date for and as an act of said Trust.

Given under my hand and seal this the ____ day of ____ 2023.

NOTARY PUBLIC _____

My Commission Expires: _____



NOTES:

- 1.) Type of Survey: Subdivision.
- 2.) Field Date(s):
- 3.) Bearing Basis: The North Line of Lot C as shown on Record Plat of Curtis Creek South Addition to Curtis Cove.
- 4.) All corners are set rod & cap (Rods) unless otherwise noted.
- 5.) This drawing does not reflect an easement or title search by the surveyor. Easements or Claims of easements may exist.
- 6.) Interior improvements (if any) not located.
- 7.) Site Data: Total Site Area: = 2.9± AC (127,517± SF)
Smallest Lot Size: = 0.97± AC (42,504± SF)
Number of Lots: = 3
Minimum Building Setback: (Front) = 40'
(Rear) = 10'
(Side) = 20'
- 8.) Property Owner(s): River Court Estate 8550 Trust
P.O. Box 1062
Daphne, AL 36528

LEGAL DESCRIPTION

STATE OF ALABAMA
COUNTY OF BALDWIN

Lot C, Curtis Creek South Addition to Curtis Cove, as recorded on Slide 2499-E, Probate Court Records, Baldwin County, Alabama.

I hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

This is to state that I have consulted the Federal Insurance Administration Flood Hazard Boundary Map No. 0100300827 M, and dated April 19, 2019, and found that the above described property now is located in Flood Hazard Area "X-Unshaded" as determined by graphic scaling.

Cecil T. Hudson, PLS
Alabama Licensed Professional
Land Surveyor No. 29983-S
Prints not valid unless
they bear an original seal

Date: _____

REVISIONS:	RESUBDIVISION OF LOT C, CURTIS CREEK SOUTH ADDITION TO CURTIS COVE			
	ROWE ENGINEERING & SURVEYING CONSULTING ENGINEERS 3502 LAUGHLIN DR • SUITE B • MOBILE, AL 36683 PHONE 251-888-2768 • FAX 251-880-1040			
	DRAWING: 58808-BL.dwg	JOB: 58808	PLAT DATE: November 9, 2023	SCALE: 1" = 50'
	DRAWN BY: SWL	FR: 22E-61-04-17-0-001-027.000		
	CHECKED BY: CTH			
SHEET NO. 1 OF 1				



PLANNING COMMISSION JOINT STAFF REPORT: January 2024

STAFF RECOMMENDATION: Carry Over
PROJECT NAME: Scurlock Subdivision
REQUEST: Subdivision

OWNER / APPLICANT: Weygand Wilson
Surveying

ACREAGE: 5

NUMBER OF LOTS: 4

PIN#(s): 113758, 398115, 398116, & 398117

LOCATION: W of Nall Rd, N of Co Rd 16

PROJECT DESCRIPTION: Scurlock Subdivision

CURRENT ZONING: Unzoned BC Dist 34

REQUESTED ZONING: N/A

ADJACENT ZONING: Unzoned BC Dist 34

FUTURE LAND USE: RR - Rural Residential

EXISTING LAND USE: Residential



**UTILITY LETTERS
RECEIVED:** Yes
DEED RECEIVED: Yes
AGENT AUTHORIZATION: Yes

80

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Building Department
Review Status: Approved

1. This property is outside the City limits therefore we have no zoning requirements.

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org cchristian@cityoffoley.org,
Engineering
Review Status:

1. Engineering recommends carryover pending a technical review from the applicant's engineering professional

Reviewer: Chuck Lay, 251-952-4011, clay@cityoffoley.org, Building Department
Review Status: Approved

1. Foley Building safety and floodplain management are not opposed

State of Alabama)
Baldwin County)

The undersigned, Trent Wilson, Licensed Land Surveyor, State of Alabama, and owners, Billy Scurlock Karen Scurlock, Hiram B. Bonner, and Melissa Bonner hereby certify that this plat or map was made pursuant to a survey made by said surveyor, and that this plat or map was made at the instance of said owner, that this plat or map is a true and correct plat or map of land shown therein and known or to be known as First Revision of Scurlock Subdivision, below described property situated in Baldwin County, Alabama:

Legal Description as provided by client RB 579 PG 1069.

Being a parcel of land lying in the Southwest Quarter of the Southwest Quarter of Section 13, Township 8 South, Range 3 East, Baldwin County, Alabama and being more particularly described as follows: Commencing at the Southwest corner of said Section 13; thence North 00°00'00" East, 40.00 feet to the North right-of-way of Baldwin County Road No. 16; thence North 89°33'15" East, 888.01 feet to the Point of Beginning of the parcel herein described; thence North 00°00'00" East, 513.69 feet; thence North 89°33'15" East, 424.01 feet to the West right-of-way of Nall Road, a paved county road; thence South 00°00'00" West, along said West right-of-way, 513.69 feet to the point of intersection of said West right-of-way with the North right-of-way of said County Road No. 16; thence South 89°33'15" West, along said North right-of-way, 424.01 feet to the Point of Beginning of the parcel herein described.

In Witness Whereof, we have hereunto set our hands this the _____ day of _____

By: Trent Wilson
P.L.S. #34764

By: Billy Scurlock
(Owner)

By: Karen Scurlock
(Owner)

By: Kayla Scurlock
(Owner)

By: Hiram B. Bonner
(Owner)

By: Melissa Bonner
(Owner)

State of Alabama)
Baldwin County)

I, _____ as Notary Public in and for said County and State, do hereby certify that Billy Scurlock, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, executed same voluntarily and with full authority therefor.

Given under my hand and seal this _____ day of _____

By: _____
Notary Public - Commission Exp: _____

State of Alabama)
Baldwin County)

I, _____ as Notary Public in and for said County and State, do hereby certify that Karen Scurlock, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, executed same voluntarily and with full authority therefor.

Given under my hand and seal this _____ day of _____

By: _____
Notary Public - Commission Exp: _____

I, _____ as Notary Public in and for said County and State, do hereby certify that Kayla Scurlock, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, executed same voluntarily and with full authority therefor.

Given under my hand and seal this _____ day of _____

By: _____
Notary Public - Commission Exp: _____

I, _____ as Notary Public in and for said County and State, do hereby certify that Hiram B. Bonner, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, executed same voluntarily and with full authority therefor.

Given under my hand and seal this _____ day of _____

By: _____
Notary Public - Commission Exp: _____

I, _____ as Notary Public in and for said County and State, do hereby certify that Melissa Bonner, whose name is signed to the foregoing certificate as owner, and who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, executed same voluntarily and with full authority therefor.

Given under my hand and seal this _____ day of _____

By: _____
Notary Public - Commission Exp: _____

Certificate of approval by the Baldwin County Engineer.

The undersigned, as Engineer for Baldwin County, Alabama, hereby approves the within plat for the recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

County Engineer

Certificate of approval by the Baldwin County Planning Director.

The undersigned, as Planning Director for Baldwin County, Alabama, hereby approves the within plat for the recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

Planning Director

Certificate of approval by the City Engineer.

The undersigned, as City Engineer of the City of Foley, Alabama, hereby approves the within plat for the recording of same in the Probate Office OF Baldwin County, Alabama,

this _____ day of _____

CITY ENGINEER

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION

THE WITHIN PLAT OF BORDEN SUBDIVISION, FOLEY, ALABAMA, IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION,

this _____ day of _____

CITY PLANNING COMMISSION CHAIRMAN

FIRST REVISION OF SCURLOCK SUBDIVISION

BALDWIN COUNTY, ALABAMA
SECTION 13, TOWNSHIP 8 SOUTH, RANGE 3 EAST
DATE OF PLAT: OCTOBER 9, 2023



SCALE: 1"=40'

W EYLAND
W ILSON
SURVEYORS

Trent Wilson PLS #34764
Weyland Wilson Surveying LLC
229 E. 20th Ave., Suite 12
Gulf Shores, AL 36542
Phone (251) 975-1565

SITE DATA

ZONING: Un-zoned
TOTAL AREA: 5.0 ACRES
NUMBER OF LOTS: 4
SMALLEST LOT: 43,564 SQ. FT.
LARGEST LOT: 87,009 SQ. FT.



05-60-06-13-0-000-012.023
ALLEN GREGORY AND CAMPBELL AMY I
17167 COUNTY ROAD 16
FOLEY, AL 36535

FOUND
"LS 17336"
#4 REBAR

05-60-06-13-0-000-012.004
KRYDER, EDWARD ETAL
8205 NALL RD
FOLEY, AL 36535

FOUND
CAPPED
#4 REBAR

NALL ROAD
W RAW

05-60-06-13-0-000-012.008
CAMPBELL, GREGORY ALLEN ETAL
17167 CO RD 16
FOLEY, AL 36535

FOUND
CAPPED
#4 REBAR

FOUND
"CA 1165"
#4 REBAR

Southwest corner of
Section 13, Township 8
South, Range 3 East

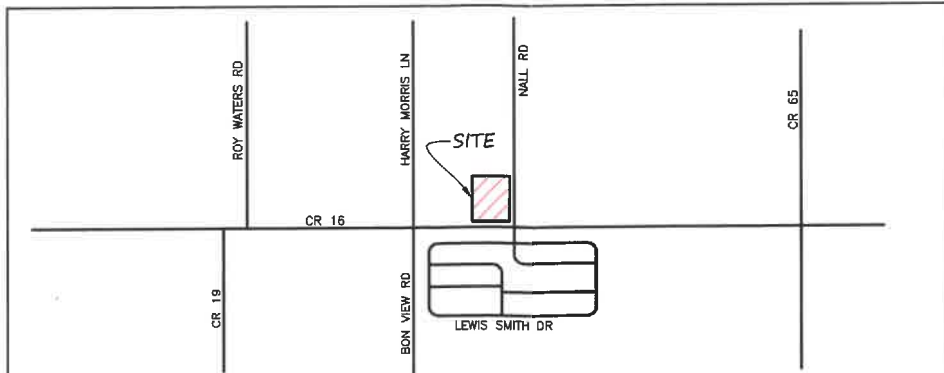
OWNERS
HYRAM B. & MELISSA BONNER
17239 DRAGON FLY WAY
FOLEY, AL 36535

BILLY & KAREN SCURLOCK
17883 CALDWELL LANE
FOLEY, AL 36535

KAYLA SCURLOCK
63 MAR HARBOR WAY
WILSONVILLE, AL

- NOTES:
1. BEARINGS ARE BASED ON GEODECTIC NORTH AS OBTAINED BY GPS OBSERVATION.
 2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
 3. THIS PROPERTY WAS SCALED ONTO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE MAP NUMBER 01003C0928M EFFECTIVE 4/19/2019 AND FOUND TO BE IN ZONE "X".

VICINITY MAP - NOT TO SCALE



LEGEND

BUILD	BUILDING
CALC	CALCULATED
CH	CHORD
D	DELTA
MH	MANHOLE
R	RADIUS
RW	RIGHT OF WAY
S.F.	SQUARE FEET
A/C	AIR CONDITIONER
U	UTILITY POLE
A	ANCHOR
W	WALL
CONC	CONCRETE
WM	WATER METER
IB	IRIGATION BOX
ICB	IRIGATION CONTROL BOX
WV	WATER VALVE
FH	FIRE HYDRANT
UB	UTILITY BOX
LP	LIGHT POLE
SP	STAKING POINT
M	MEASURED
RC	RECORDED
CM	CONCRETE MONUMENT
F	FENCE
OU	OVERHEAD UTILITIES
U	FOUND (CA 1185) #4 REBAR