

**CITY OF FOLEY
PLANNING COMMISSION
WORK SESSION
&
MEETING**

October 15, 2025

**City Hall
Council Chambers
At 4:00 p.m.**

**PLANNING COMMISSION
WORK SESSION AGENDA OCTOBER 15, 2025
(Council Chambers of City Hall) 4:00 P.M.**

The City of Foley Planning Commission will hold a work session on October 15, 2025 at 4:00 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

WORK SESSION:

1. *Driftwood Lakes- Preliminary Extension

The City of Foley Planning Commission has received a request for a 1 year preliminary extension for Driftwood Lakes. Property is located S. of County Rd. 26 and E. of County Rd. 65 and is located in the City of Foley Planning Jurisdiction. Applicant is Dewberry Engineers Inc.

2. Keystone Phase 1- Preliminary Extension

The City of Foley Planning Commission has received a request for a 1 year preliminary extension for Keystone Phase 1. Property is located S. of US Hwy. 98 and W. of Venice Blvd. Applicant is Jade Consulting LLC.

3. Lot 3C Industrial Parkway- Site Plan

The City of Foley Planning Commission has received a request for the approval of Lot 3C Industrial Parkway site plan. Property is located at 1738 Industrial Parkway Lot 3C. Applicant is Lieb Engineering.

4. Foley RV and Boat Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of Foley RV and Boat storage site plan. Property is located E. of the Foley Beach Express and N. of Roscoe Rd. Applicant is S.E. Civil, LLC.

5. Dream Center Calvary Chapel Fellowship of Foley Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of the Dream Center Calvary Chapel Fellowship of Foley a minor subdivision which consists of 15 +/- acres and 2 lots. Property is located at 18464 Underwood Rd. Applicant is Calvary Chapel Fellowship of Foley.

6. Resubdivision of Lot 7 Foley Crossroads Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 7 Foley Crossroads Subdivision a minor subdivision which consists of 4 +/- acres and 2 lots. Property is located W. of the Foley Beach Express and S. of Progress Way. Applicant is Engineering Design Group.

7. Second Resubdivision of Lot 3-B of Foley Beach Express Industrial Park- Minor

The City of Foley Planning Commission has received a request for approval of the Second Resubdivision of Lot 3-B of Foley Beach Express Industrial Park a minor subdivision which consists of 14.88 +/- acres and 2 lots. Property is located E. of the Foley Beach Express and S. of Industrial Pkwy. Applicant is Engineering Design Group, LLC.

8. McAnderson Subdivision- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of the McAnderson Subdivision which consists of 2.19 +/- acres and 6 lots. Property is located N. of E. Michigan Ave. and E. of S. Juniper St. Applicant is Lieb Engineering Company.

9. Zoning Ordinance Amendments

ADJOURN:

**PLANNING COMMISSION
MEETING AGENDA OCTOBER 15, 2025
(Council Chambers of City Hall)
Immediately Following Work Session**

The City of Foley Planning Commission will hold a meeting on October 15, 2025 immediately following the work session in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

MEETING MINUTES: Approval of the September 17, 2025 work session and meeting minutes.

WORK SESSION:

1. *Driftwood Lakes- Preliminary Extension

The City of Foley Planning Commission has received a request for a 1 year preliminary extension for Driftwood Lakes. Property is located S. of County Rd. 26 and E. of County Rd. 65 and is located in the City of Foley Planning Jurisdiction. Applicant is Dewberry Engineers Inc.

Planning Commission Action:

2. Keystone Phase 1- Preliminary Extension

The City of Foley Planning Commission has received a request for a 1 year preliminary extension for Keystone Phase 1. Property is located S. of US Hwy. 98 and W. of Venice Blvd. Applicant is Jade Consulting LLC.

Planning Commission Action:

3. Lot 3C Industrial Parkway- Site Plan

The City of Foley Planning Commission has received a request for the approval of Lot 3C Industrial Parkway site plan. Property is located at 1738 Industrial Parkway Lot 3C. Applicant is Lieb Engineering.

Planning Commission Action:

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The City of Foley Planning Commission has received a request for approval of Foley RV and Boat storage site plan. Property is located E. of the Foley Beach Express and N. of Roscoe Rd. Applicant is S.E. Civil, LLC.

Planning Commission Action:

5. Dream Center Calvary Chapel Fellowship of Foley Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of the Dream Center Calvary Chapel Fellowship of Foley a minor subdivision which consists of 15 +/- acres and 2 lots. Property is located at 18464 Underwood Rd. Applicant is Calvary Chapel Fellowship of Foley.

Public Hearing:

Planning Commission Action:

6. Resubdivision of Lot 7 Foley Crossroads Subdivision- Minor

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Public Hearing:

Planning Commission Action:

7. Second Resubdivision of Lot 3-B of Foley Beach Express Industrial Park- Minor

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Public Hearing:

Planning Commission Action:

8. McAnderson Subdivision- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of the McAnderson Subdivision which consists of 2.19 +/- acres and 6 lots. Property is located N. of E. Michigan Ave. and E. of S. Juniper St. Applicant is Lieb Engineering Company.

Public Hearing:

Planning Commission Action:

9. Zoning Ordinance Amendments

Public Hearing:

Planning Commission Action:

ADJOURN:

**PLANNING COMMISSION
WORK SESSION MINUTES SEPTEMBER 17, 2025
(Council Chambers of City Hall) 4:00 P.M.**

The City of Foley Planning Commission held a work session on September 17, 2025 at 4:00 p.m. in the Council Chambers of City Hall located at 407 East Laurel Avenue. Members present were: Deborah Mixon, Larry Engel, Vera Quaites, Wes Abrams, Phillip Hinesley, Bill Swanson and Tommy Gebhart. Absent members were: Ralph Hellmich and Calvin Hare. Staff present were: Wayne Dyess, Director of Infrastructure and Development; Nelson Bauer, Infrastructure and Development Program Manager; Shawn Mitchell, Planning Manager; Leslie Gahagan, Sustainability and Natural Resources Director; Taylor Davis, Deputy City Engineer; Miriam Boone, Planning Director; Eden Lapham, Planner 1; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

WORK SESSION:

1. Ephraim Self Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of the Ephraim Self Storage site plan. Property is located at 11100 Foley Beach Express. Applicant is TTL.

Mrs. Miriam Boone explained staff is recommending approval with the following conditions: the applicant is required to install sidewalks and lighting along the frontage of the property per Section 3-5.9 and 3-5.10 of the Land Development Ordinance, an ALDOT permit for access will be required for this site due to the transfer of the Foley Beach Express right of way to ALDOT in the immediate future, security gates across fire access roads shall be electronically operated by siren and are provided with a fire department knox box key switch override and optical sensors and hydrant locations will need to be determined.

Mr. Taylor Davis stated the Engineering Departments comments regarding sidewalks and lighting have been resolved. He explained the transfer of the Foley Beach Express to ALDOT has taken place. Sidewalks and lighting will not be required along the perimeter of property due to it being a state highway.

2. Resubdivision of Lot 7 Foley Crossroads Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 7 Foley Crossroads Subdivision a minor subdivision which consists of 4 +/- acres and 2 lots. Property is located W. of the Foley Beach Express and S. of Progress Way. Applicant is Engineering Design Group.

Mr. Michael Johnson stated a comment has been added to the plat regarding an easement which was requested by the owner.

Mr. Davis stated the revision came at the last minute. He asked that the item be carried over for a month in order to give staff time to review the changes.

Note: *Denotes property located in the Planning Jurisdiction

3. *Resubdivision of Lot 3 Palmetto Place- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 3 Palmetto Place a minor subdivision which consists of 4.03 +/- acres and 4 lots. Property is located N. of US Hwy. 98 and W. of Cash Ct. and is located in the City of Foley Planning Jurisdiction. Applicant is Donald Manning.

Mrs. Boone stated staff is recommending approval with the following conditions: lot numbering will need to change to ensure there are not multiple lots with the same number corresponding to the previously approved phases of this development, an update from Baldwin County Highway Department on the current maintenance status of Cash Court north of the City's maintenance limits and each lot will be required to provide its own detention.

Mr. Davis stated the comments have been addressed. He explained they have not officially received a response from Baldwin County Highway Department. He stated Baldwin County does currently have an open work order for maintenance to patch Cash Court.

4. The Grove Foley Apartments- Site Plan

The City of Foley Planning Commission has received a request for approval of The Grove Foley Apartments site plan. Property is located E. of Bender Rd. and S. of Springsteen Ln. Applicant is Jade Consulting, LLC.

Mrs. Boone stated staff is recommending approval with the following conditions: the applicant will need to upload a current site plan that eliminates the on street parking and street trees along the east and west sections of Springsteen Lane, due to this section being under Baldwin County Highway Department's maintenance responsibility, applicant will include additional landscaping internal to the site to provide an enhanced landscape buffer along this section to offset the loss of on street improvements, applicant acknowledges lighting, street trees and pedestrian connectivity is required along the access road to the Foley Beach Express and also acknowledges the berm must accommodate storm water runoff from the west.

Mr. Davis stated the concerns have been addressed with an updated layout.

Commissioner Engel asked about the total number of units.

Mr. Trey Jinright stated the development will have a total of 180 units.

Mr. Wayne Dyess stated the applicant has worked with staff to ensure all requirements and standards are being met. He explained an exemption to the moratorium was granted due to State assistance with the development and timing requirements.

5. South Juniper Townhomes- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of the South Juniper Townhomes which consists of 28.96 +/- acres and 192 lots. Property is located E. of S. McKenzie St. and S. of County Rd. 20. Applicant is S.E. Civil, LLC.

Note: *Denotes property located in the Planning Jurisdiction

Mrs. Boone explained staff is recommending approval with the following conditions: east of Ludewig Street does not appear to meet the requirements in the Fire Code Appendix, a traffic impact study submitted includes turn lanes along Juniper Street and lots 171-192 will likely require minimum building pad elevations with the Land Development Permit with their proximity to existing drainage.

Chief Joey Darby stated they have satisfied the Fire Departments comments.

Commissioner Engel asked if this development was part of a previous approval.

Mrs. Boone stated the subdivision is part of an approved PUD.

6. Zoning Ordinance Amendments

Staff went over the proposed amendments with the Planning Commission.

7. Subdivision Regulation Amendments

Mrs. Shawn Mitchell explained the item was carried over from last month. She stated since that time there has been a meeting with the public which resulted in five comments. She explained staff have found ways to try and accommodate some of the comments and suggestions. She went over the amendments with the Commissioners.

Mr. Dyess explained a portion of the moratorium will be lifted October 1. He stated these revisions are one piece of the new vision for more strategic development.

ADJOURN:

Chairman Abrams thanked staff for hard work put forth on the Subdivision Regulation amendments.

The meeting ended at 4:41 p.m.

**PLANNING COMMISSION
MEETING MINUTES SEPTEMBER 17, 2025
(Council Chambers of City Hall)
Immediately Following Work Session**

The City of Foley Planning Commission held a meeting on September 17, 2025 immediately following work session in the Council Chambers of City Hall located at 407 East Laurel Avenue. Members present were: Deborah Mixon, Larry Engel, Vera Quaites, Wes Abrams, Phillip Hinesley, Bill Swanson and Tommy Gebhart. Absent members were: Ralph Hellmich and Calvin Hare. Staff present were: Wayne Dyess, Director of Infrastructure and Development; Nelson Bauer, Infrastructure and Development Program Manager; Shawn Mitchell, Planning Manager; Leslie Gahagan, Sustainability and Natural Resources Director; Taylor Davis, Deputy City Engineer; Miriam Boone, Planning Director; Eden Lapham, Planner 1; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

Chairman Wes Abrams called the meeting to order at 4:45 p.m.

MEETING MINUTES:

Approval of the August 20, 2025 work session and meeting minutes.

Commissioner Gebhart made a motion to approve the August 20, 2025 work session and meeting minutes. Commissioner Swanson seconded the motion.

Commissioner Hinesley stated the minutes need to reflect that he was in attendance at the meetings.

All Commissioners voted aye.

Motion to approve the August 20, 2025 work session and meeting minutes passes.

AGENDA ITEMS:

1. Ephraim Self Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of the Ephraim Self Storage site plan. Property is located at 11100 Foley Beach Express. Applicant is TTL.

Planning Commission Action:

Mrs. Miriam Boone stated staff is recommending approval with the conditions listed in the staff report with the exception of comment #1 which the Fire Department stated has been satisfied.

Commissioner Gebhart made a motion to approve the requested site plan with the condition that staff comments are met. Commissioner Engel seconded the motion.

Commissioner Hinesley asked if there are façade requirements for the site.

Mrs. Boone answered yes.

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All Commissioners voted aye.

Motion to approve the requested site plan with the condition that staff comments are met.

2. Resubdivision of Lot 7 Foley Crossroads Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 7 Foley Crossroads Subdivision a minor subdivision which consists of 4 +/- acres and 2 lots. Property is located W. of the Foley Beach Express and S. of Progress Way. Applicant is Engineering Design Group.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

Planning Commission Action:

Mrs. Boone stated the staff report recommended approval but since that time a revised plan was submitted before the meeting.

Mr. Michael Johnson with the Engineering Design Group requested to carry over the item to the October meeting.

3. *Resubdivision of Lot 3 Palmetto Place- Minor

The City of Foley Planning Commission has received a request for approval of the Resubdivision of Lot 3 Palmetto Place a minor subdivision which consists of 4.03 +/- acres and 4 lots. Property is located N. of US Hwy. 98 and W. of Cash Ct. and is located in the City of Foley Planning Jurisdiction. Applicant is Donald Manning.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

Mrs. Boone stated staff is recommending approval with conditions regarding road maintenance and lot detention.

Planning Commission Action:

Commissioner Gebhart made a motion with the conditions that staff comments are met.

Commissioner Quaites seconded the motion.

Commissioner Engel asked about the future plans for the property.

Mrs. Boone stated the use would be commercial and the property is located in unzoned Baldwin

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County.

All Commissioners voted aye.

Motion to approve the requested site plan with the condition that staff comments are met passes.

4. The Grove Foley Apartments- Site Plan

The City of Foley Planning Commission has received a request for approval of The Grove Foley Apartments site plan. Property is located E. of Bender Rd. and S. of Springsteen Ln. Applicant is Jade Consulting, LLC.

Mrs. Boone stated staff is recommending approval with the following conditions: applicant will include additional landscaping internal to the site to provide an enhanced landscape buffer along this section to offset the loss of on street improvements, applicant acknowledges lighting, street trees and pedestrian connectivity is required along the access road to the Foley Beach Express and also acknowledges the berm must accommodate storm water runoff from the west.

Planning Commission Action:

Commissioner Quaites made a motion to approve the requested site plan with the conditions that staff comments are met.

Commissioner Mixon seconded the motion.

Commissioner Engel asked if the use and proposed plan will fit in with the new Comprehensive Plan.

Mr. Dyess stated the site has direct access to an arterial road. He explained this area will likely be a village node area in the new Comprehensive Plan. He stated as the area along the Foley Beach Express develops it will fit in with future uses.

Commissioner Engel voted nay. All other Commissioners voted aye.

Motion to approve the requested site plan with the conditions that staff comments are met passes.

5. South Juniper Townhomes- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of the South Juniper Townhomes which consists of 28.96 +/- acres and 192 lots. Property is located E. of S. McKenzie St. and S. of County Rd. 20. Applicant is S.E. Civil, LLC.

Public Hearing:

Mr. Jim Bratton resident of 353 Collinwood Loop stated he noticed the property is now listed for

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sale. He asked if they are still planning to remove the existing pine trees and if so the time frame for removal.

Mr. Greg Brown resident of 149 Meadow Run Loop stated he is interested in where the retention will drain for run off. He asked about the reasoning for the moratorium and if the request is meeting the proposed Subdivision Regulations. He stated he has concerns with the vision from the buildings into his back yard. He asked if the buildings will be three stories and if there would be a walking trail around the perimeter.

Mr. Aaron Collins with S. E. Civil stated they are developing the south half of the area which is part of an approved PUD. He explained the PUD does include two and three story buildings with the three story buildings being located along Juniper Street.

Mr. Wayne Dyess stated at the time of the PUD approval the applicant provided site projections to mitigate vision concerns. He explained the three story buildings are closer to Juniper Street. He stated they are providing a landscaped berm and pond for the portion abutting the existing residential homes.

Ms. Lynda French resident of 436 Collinwood Loop asked if the pine trees would be removed and if the detention pond and fence would be added to the area abutting Collinwood.

Mr. Eric Johansen stated nothing has changed from the original plan and approval. He explained they are in the process of finalizing the contract with the developer. He stated they do not intend to save any of the pine trees for berm purposes. He explained there will be traffic improvements coming to Juniper Street. He stated the new Subdivision Regulations were taken into account with this plan. He explained they will be reducing the existing drainage coming down the ditch.

Mrs. Boone stated staff is recommending approval with the two conditions from the staff report regarding turn lanes and building pad elevations.

Planning Commission Action:

Commissioner Gebhart made a motion to approve the requested preliminary with the conditions from the staff report.

Commissioner Swanson seconded the motion.

Commissioner Hinesley asked if the maximum height allowed in a PUD is two stories.

Staff stated the maximum height allowed in a PUD is three stories.

Commissioner Engel asked about the location the berm stopping on the east side. He stated it would be great to see the established trees be saved.

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Commissioner Engel and Commissioner Hinesley voted nay. All other Commissioners voted aye.

Motion to approve the requested preliminary with the conditions from the staff report passes.

6. Zoning Ordinance Amendments

Public Hearing:

Staff explained the proposed amendments

Mr. Zan Blug resident of 3922 Bella Ln. asked about infrastructure, schools and diversifying in terms of the value of the economy.

Mr. Dyess stated the city is working on creating connectivity. He explained schools and education are very important and are managed by the Baldwin County Board of Education.

Commissioner Quaites stated the city donates money to the Baldwin County Board of education each year.

Mr. Dyess stated diversity is important. He explained the city is working on place types which will encourage a variety of housing types.

Commissioner Engel stated he has concerns about housing diversity. He explained all the developments do not have to be PUD's with small lots.

Mr. Dyess explained we cannot stop growth but we can enhance the quality of growth.

Planning Commission Action:

Commissioner Quaites made a motion to recommend the requested Zoning Ordinance Amendments to the Mayor and Council. Commissioner Gebhart seconded the motion.

All Commissioners voted aye.

Motion to recommend the requested Zoning Ordinance Amendments to the Mayor and Council passes.

7. Subdivision Regulation Amendments

Public Hearing:

Mr. Blug stated he had read the regulations and think they are great.

Ms. Chloe Kelly commented about the percentage of open space requirements and fencing of

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storm water areas. She asked when the place type map will be available.

Mrs. Shawn Mitchell stated staff is currently working on the place type map. She explained until the map is completed there is a two page temporary table within the Subdivision Regulations that can be used as a reference.

Mr. Taylor Henseler commented about the length of time approvals are valid. He expressed concerns about affordability and suggested the potential of allowing wet ponds to count as open space. He stated the alley designs tend to increase cost.

Ms. Judy Smith stated an email was submitted with her concerns in regard to street trees and alleys. She stated these items will rise costs and Home Owner Association budgets.

Mr. Jay Boyd explained the higher the cost to develop the home affects the aesthetics and could increase more cookie cutter style homes.

Staff answered comments regarding questions and concerns.

Mr. Dyess stated value doesn't happen on its own and begins with a plan. He stated this will be done through regulation.

Mr. Blug stated we need the homes in the area to increase to give more of a balance and diversity. He stated the developers want to drive there costs down to the lowest level.

Planning Commission Action:

Chairman Abrams asked about the fencing of the ponds which could be used as an amenity if they are not fenced.

Mrs. Mitchell stated the fencing requirement in Section 5,G,7 can be removed and revisited at a later date if needed.

Commissioner Hinesley made a motion to approve the proposed subdivision regulations with the omission of the fencing requirement in Section 5, G, 7.

Commissioner Gebhart seconded the motion.

All Commissioners voted aye.

Motion to approve the proposed subdivision regulations with the omission of the fencing requirement in Section 5, G, 7 passes.

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ADJOURN:

Chairman Abrams adjourned the meeting at 6:11 p.m.



PLANNING COMMISSION JOINT STAFF REPORT: October 2025

STAFF RECOMMENDATION: Approval

PROJECT NAME: Driftwood Lakes Preliminary Plat Extension Request

REQUEST: Application for 1 Year Extension

SUB TYPE: Application for Extension

OWNER / APPLICANT: Dewberry Engineers Inc.
- Dewberry Engineers Inc. - Daphne

ACREAGE: 53.40
NUMBER OF LOTS: 139

PIN#(s): 397186

LOCATION: S of Co Rd 26, E of Co Rd 65

PROJECT DESCRIPTION: Driftwood Lakes
Preliminary Plat Extension Request

CURRENT CITY ZONING: Not in City

OVERLAY DISTRICT: N/A

REQUESTED ZONING: N/A

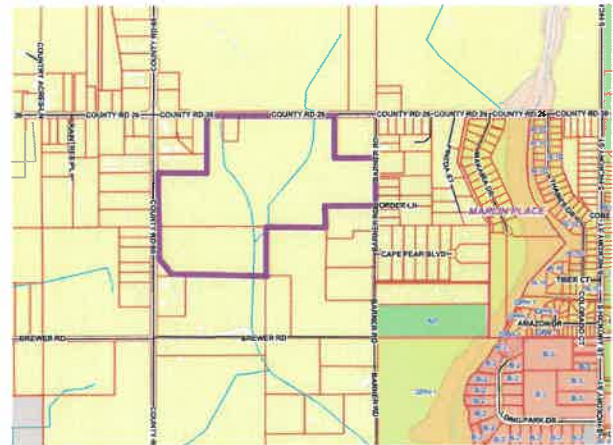
ADJACENT ZONING: Unzoned BC Dist 34

COUNTY ZONING: Unzoned BC Dist 34

COUNTY LOT SIZE: 40K sf w/OHpower, 20Ksf
w/water or sewer; 7500 sf
w/UGpower,water&sewer

FUTURE LAND USE: RL - Residential Low
Density (2 - 4)

EXISTING LAND USE: Infrastructure under
construction



Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering
Review Status: Approved

1. Engineering recommends approval.

Reviewer: Reese Newton, 2519793098, rnewton@cityoffoley.org, Environmental
Review Status: Approved

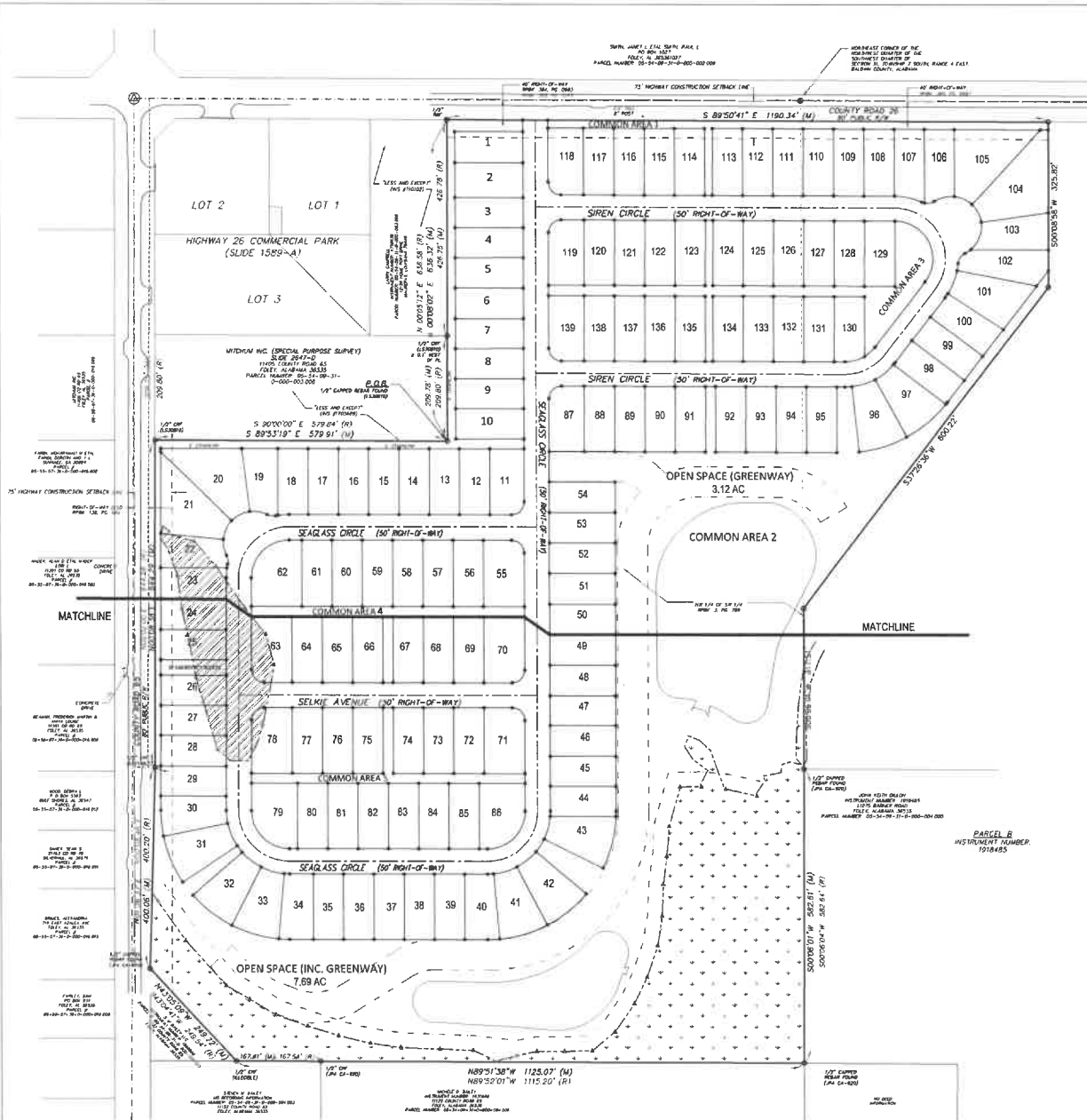
1. Environmental recommends approval. This site has consistently worked with us to mitigate any issues we find on a monthly basis, and currently has adequately stabilized soils.

Reviewer: Chad Brewer, cbrewer@cityoffoley.org, Fire Department
Review Status: Approved

Reviewer: Gene Williamson, 251-952-4011, gwilliamson@cityoffoley.org, Building Department
Review Status: Approved

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Planning and Zoning
Review Status: Approved

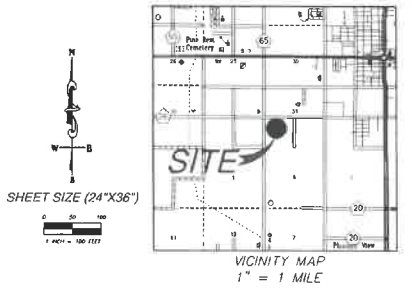
1. 10/18/23- Received Preliminary Plat Approval. Requesting a one-year extension. FROM THE APPLICANT: Construction is substantially complete.



SITE DATA
 CURRENT ZONING: UNZONED *PLANNING DIST. 34
 NUMBER OF LOTS: 139
 SMALLEST LOT: 7,668 S.F. (LOT 130)
 LARGEST LOT: 16,149 S.F.
 COMMON AREA: 20.25 AC
 TOTAL AREA: 53.40 AC

REQUIRED SETBACKS
 FRONT: 30 FT
 REAR: 30 FT
 SIDE: 10 FT
 SIDE STREET: 20 FT

WATER SERVICE: RIVIERA UTILITIES
SEWER SERVICE: RIVIERA UTILITIES
GAS SERVICE: RIVIERA UTILITIES
ELECTRIC SERVICE: RIVIERA UTILITIES
TELEPHONE SERVICE: BRIGHTSPEED



SURVEYOR:
 DEWBERRY
 20355 FRIENDSHIP ROAD DAPHNE, AL 36526
 VICTOR L GERMAN, PLS LIC. NO. 58473
 JASON N. ESTES, PE LIC. NO. 22714

OWNER:
 RIVER DAIS DEVELOPMENT, LLC
 1321 OCHSNER BLVD, STE. 201
 CADDENVILLE, LA 70625
 INSTRUMENT #2108005
 INSTRUMENT #2108006

- LEGEND:**
- = CALCULATED POINT
 - = CAPPED REBAR FOUND
 - = REBAR FOUND
 - = 5/8" CAPPED REBAR SET (CA-1109)
 - (P) = MEASURED BEARING AND DISTANCE
 - (P) = RECORDED BEARING AND DISTANCE
 - (D) = CALCULATED BEARING AND DISTANCE
 - A = METAL MARKER
 - B.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - R/W = RIGHT OF WAY
 - MBK = METAL PROPERTY BOOK
 - PC = PAGE
 - SL = SPLITTING SETBACK LINE
 - PL = PROPERTY LINE
 - = BREAK LINE
 - = SCALED GOVERNMENT LINES
 - = UNDESIGNATED WETLANDS DELINEATED BY DEWBERRY 11-17-22
 - = DESIGNATED WETLANDS DELINEATED BY DEWBERRY 11-17-22

SURVEYOR'S NOTES:

- ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH U.S. STANDARDS
- THERE MAY BE RECORDS ON UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES
- THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE SURVEYED ALLEYS RIGHT-OF-WAY UNDEVELOPMENT IS ALSO SHOWN
- BASED ON RECORDS FOR THIS SURVEY AREA THE SURVEY STATE PLANT AND FOREMAN'S ALABAMA WEST ZONE (NAD83)
- THE ELEVATIONS SHOWN WERE MEASURED ON HARD BENCH MARKS (BENCHMARKS)
- ALL GAS OBSERVATIONS WERE TAKEN USING REAL TIME KINETIC GAS SURVEY WAS CONDUCTED USING SURVEYING TOTAL STATION AND IS RECORDED IN FIELD BOOK 3488 PAGE 11 AND IN AN ELECTRONIC DATA FILE
- SOURCE OF INFORMATION FOR THIS SURVEY: ALABAMA LAND TITLE SURVEYS BY THIS FIRM PROJECT #0158798 (MONTH & SOUTH), REVISED DATE 3/15/2023

FLOOD CERTIFICATE:
 THIS PROPERTY LIES WITHIN ZONE "V" (UNDESIGNED) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF BALDWIN COUNTY, ALABAMA, WITH AN ELEVATION OF 100 FEET. PARCEL NUMBER 010207 AND 010208, PARCEL NUMBER 024, SOUTH 1/4, MAP REVISED DATE APRIL 19 2019

DESCRIPTION:
 BEGAN AT A 1/2 INCH CAPPED REBAR FOUND (LS3002), MARKING THE SOUTHWEST CORNER OF A SPECIAL PURPOSE SURVEY FOR ONE ACRE, MORE OR LESS, SHOWN IN MAP OF PLAT THEREOF, RECORDED IN SLIDE 2847-D, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA, BEING MORE OR LESS, A DISTANCE OF 6.36 37 FEET TO A 1/2 INCH CAPPED REBAR FOUND ON THE SOUTH RIGHT-OF-WAY OF COUNTY ROAD 28 (800 FEET RIGHT-OF-WAY), BEING RUN SUBSEQUENT, ALONG SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 1190.34 FEET, THENCE RUN COURSE WITH LEAVING SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 325.83 FEET, THENCE RUN S 27°26'12" W, A DISTANCE OF 800.22 FEET, THENCE RUN S 02°02'00" W, A DISTANCE OF 312.81 FEET TO A 1/2 INCH CAPPED REBAR FOUND (LPA CA-330), THENCE CONTINUE S00°02'00" W, A DISTANCE OF 582.81 FEET TO A 1/2 INCH CAPPED REBAR FOUND (LPA CA-330), THENCE RUN N 89°50'41" W, A DISTANCE OF 1125.07 FEET TO A 1/2 INCH CAPPED REBAR FOUND (LPA CA-330), THENCE RUN N 89°50'41" W, A DISTANCE OF 400.00 FEET TO A 1/2 INCH CAPPED REBAR FOUND (LPA CA-330) ON THE EAST RIGHT-OF-WAY OF COUNTY ROAD 28, THENCE ALONG SAID EAST RIGHT-OF-WAY, A DISTANCE OF 400.00 FEET TO A 1/2 INCH CAPPED REBAR FOUND (ELIGIBLE), THENCE RUN N 02°02'00" W, CONTINUING ALONG SAID EAST RIGHT-OF-WAY, A DISTANCE OF 164.70 FEET TO A 1/2 INCH CAPPED REBAR FOUND (LS3002), AT THE SOUTHWEST CORNER OF THE PARCEL, BEING A SPECIAL PURPOSE SURVEY FOR ONE ACRE, MORE OR LESS, SHOWN IN MAP OF PLAT THEREOF, BEING MORE OR LESS, A DISTANCE OF 579.91 FEET TO THE POINT OF BEGINNING. PARCEL CONTAINING 31.40 ACRES, MORE OR LESS, AND BEING LOCATED IN SECTION 31, TOWNSHIP 7 SOUTH, RANGE 1 EAST, BALDWIN COUNTY, ALABAMA.

SURVEYOR'S CERTIFICATE:
 STATE OF ALABAMA
 COUNTY OF BALDWIN

WE, DEWBERRY, A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT THE ABOVE IS A CORRECT MAP OR PLAN OF THE DESCRIBED PROPERTY, SITUATED IN BALDWIN COUNTY, ALABAMA.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.



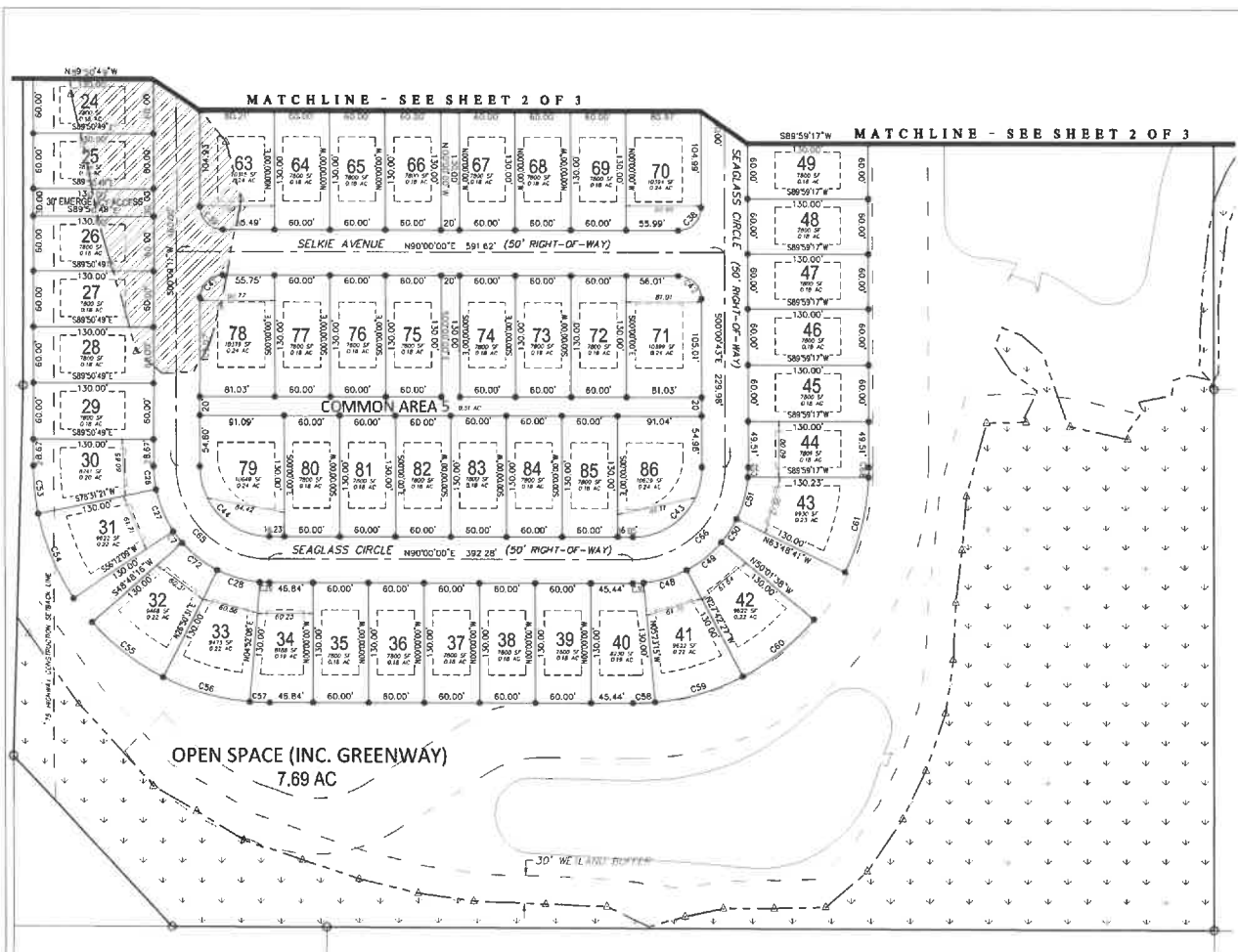
DRIFTWOOD LAKES

FINAL PLAT
 AUGUST 25, 2025 - SHEET 1 OF 3
 PLAT OF SUBDIVISION

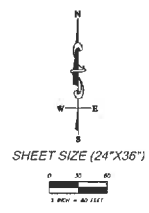
19	4	J.N.E.	18	A.E.F.	4	V.L.G.
LIC.	J.N.E.	26	V.L.G.	4	J.E.	
						1"=100'
						50158798
						PRELIM
						1



SEE SHEETS 2 & 3 FOR LOT DETAIL INFORMATION



LINE	TYPE	LENGTH	BEARING	AREA	LENGTH
1	15.00	18.25	44°55'29"	15.11	
2	25.00	55.16	77°12'16"	54.73	
3	5.00	57	70°58'44"	5.56	
4	5.00	26.21	78°30'03"	15.81	
5	0.00	41.62	76°42'28"	40.79	
6	50.00	38.71	85°29'17"	15.84	
7	0.00	40.79	77°29'10"	0.00	
8	0.00	81.05	21°08'07"	38.48	
9	5.00	23.79	33°32'52"	15.74	
10	0.00	13.27	58°51'30"	13.74	
11	25.00	14.37	107°34'58"	14.20	
12	25.00	48.59	21°59'55"	8.39	
13	25.00	9.35	157°03'05"	0.30	
14	25.00	5.01	38°58'28"	0.01	
15	5.00	39.34	45°04'08"	15.41	
16	25.00	14.37	84°54'58"	7.18	
17	25.00	4.21	78°45'04"	0.11	
18	5.00	7.16	82°39'52"	16.81	
19	49.00	15.68	103°02'08"	25.15	
20	0.00	40.78	63°27'10"	0.00	
21	0.00	40.78	47°30'59"	0.00	
22	55.00	11.44	105°40'15"	19.97	
23	55.00	11.44	107°10'17"	18.81	
24	25.00	8.95	102°36'40"	0.16	
25	2.00	8.74	04°28'49"	0.17	
26	25.00	5.37	05°59'48"	25.35	
27	20.00	18.85	27°38'15"	48.39	
28	25.00	7.94	74°08'40"	17.54	
29	2.00	0.62	172°51'11"	11.65	
30	25.00	1.95	77°18'22"	11.75	
31	130.00	4	45°04'	0.41	
32	130.00	4	28°12'15"	134.41	
33	130.00	4	40°16'10"	15.20	
34	130.00	4	74°11'03"	0.12	
35	130.00	4	44°55'29"	15.31	
36	5.00	9.26	44°59'39"	15.36	
37	5.00	16.54	44°55'29"	15.40	
38	25.00	117.81	45°04'35"	105.92	
39	5.00	38.20	84°54'58"	15.31	
40	25.00	10.46	84°50'21"	15.35	
41	25.00	117.83	84°59'39"	108.08	
42	130.00	18.01	44°55'29"	108.11	
43	25.00	47.79	53°04'29"	17.50	
44	25.00	22.00	86°53'27"	48.32	
45	25.00	13.56	58°10'20"	11.55	
46	25.00	15.62	73°27'08"	48.39	
47	25.00	15.62	73°27'08"	48.39	
48	25.00	15.62	73°27'08"	48.39	
49	25.00	15.62	73°27'08"	48.39	
50	25.00	15.62	73°27'08"	48.39	
51	25.00	15.62	73°27'08"	48.39	
52	25.00	15.62	73°27'08"	48.39	
53	25.00	15.62	73°27'08"	48.39	
54	25.00	15.62	73°27'08"	48.39	
55	25.00	15.62	73°27'08"	48.39	
56	25.00	15.62	73°27'08"	48.39	
57	25.00	15.62	73°27'08"	48.39	
58	25.00	15.62	73°27'08"	48.39	
59	25.00	15.62	73°27'08"	48.39	
60	25.00	15.62	73°27'08"	48.39	
61	25.00	15.62	73°27'08"	48.39	
62	25.00	15.62	73°27'08"	48.39	
63	25.00	15.62	73°27'08"	48.39	
64	25.00	15.62	73°27'08"	48.39	
65	25.00	15.62	73°27'08"	48.39	
66	25.00	15.62	73°27'08"	48.39	
67	25.00	15.62	73°27'08"	48.39	
68	25.00	15.62	73°27'08"	48.39	
69	25.00	15.62	73°27'08"	48.39	
70	25.00	15.62	73°27'08"	48.39	
71	25.00	15.62	73°27'08"	48.39	
72	25.00	15.62	73°27'08"	48.39	



CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER
 I, COUNTY ENGINEER OF BALDWIN COUNTY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SALE IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY THE PLANNING DIRECTOR
 I, PLANNING DIRECTOR OF BALDWIN COUNTY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SALE IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER
 I, CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SALE IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION
 THE WITHIN PLAT OF DRIFTWOOD LAKES IN FOLEY, ALABAMA, IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION, THIS THE _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY THE E-911 ADDRESSING:
 I, E-911 ADDRESSING OFFICER OF BALDWIN COUNTY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SALE IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (WATER):
 I, RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SALE IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (SEWER):
 I, RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SALE IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (ELECTRIC):
 I, RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SALE IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY BRIGHTSPEED (TELEPHONE):
 I, BRIGHTSPEED, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SALE IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

CERTIFICATION OF OWNERSHIP AND DEDICATION:
 I, THE UNDERSIGNED, THE OWNER OF THE LAND SHOWN AND DESCRIBED IN THE WITHIN PLAT, HEREBY CERTIFIES THE SAME TO BE TRULY AND CORRECTLY AS INDICATED HEREON, DOES HEREBY KNOWLEDGE AND ACCEPT THE SAME UNDER THE TERMS AND CONDITIONS HEREON SPECIFIED, AND AGREES TO HOLD THE SAME SUBJECT TO THE RIGHTS RESERVED TOGETHER WITH SUCH RESERVATIONS AND COVENANTS, NOTES, REVENUE OR ATTACHED TO A SEPARATE LEGAL DOCUMENT.

ACKNOWLEDGEMENT OF NOTARY PUBLIC:
 I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY CERTIFY THAT THE UNDERSIGNED, _____, IS/ARE THE PERSON/S PERSONS WHOSE NAMES ARE SET FORTH IN THE WITHIN PLAT, AND THAT THE SAME HAVE BEEN DULY AND VOLUNTARILY ACTED FOR BY THE UNDERSIGNED, AND THAT THE UNDERSIGNED IS/ARE THE PERSON/S PERSONS WHOSE NAMES ARE SET FORTH IN THE WITHIN PLAT, AND THAT THE SAME HAVE BEEN DULY AND VOLUNTARILY ACTED FOR BY THE UNDERSIGNED, AND THAT THE UNDERSIGNED IS/ARE THE PERSON/S PERSONS WHOSE NAMES ARE SET FORTH IN THE WITHIN PLAT, AND THAT THE SAME HAVE BEEN DULY AND VOLUNTARILY ACTED FOR BY THE UNDERSIGNED.

- LEGEND:**
- = CALCULATED POINT
 - CRF O = CAPPED REBAR FOUND
 - REB O = REBAR FOUND
 - = 5" O" CAPPED REBAR SET (CA-100)
 - (M) = MEASURED BEARING AND DISTANCE
 - (R) = RECORDED BEARING AND DISTANCE
 - (C) = CALCULATED BEARING AND DISTANCE
 - A = METAL MARKER
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - R.O.W. = RIGHT OF WAY
 - PROB. = PROBABLE PROPERTY BOUND
 - PS = PACE
 - BS = BUILDING SETBACK LINE
 - PL = PROPERTY LINE
 - = BREAK LINE
 - = SCALED GOVERNMENT LINES
 - = JURISDICTIONAL METHODS DELINEATED BY DEWEBERRY 11-17-22
 - = ISOLATED WETLANDS DELINEATED BY DEWEBERRY 11-17-22

DRIFTWOOD LAKES

FINAL PLAT
 AUGUST 25, 2025 - SHEET 3 OF 3

PLAT OF SUBDIVISION

24	J.N.E.	25	A.E.F.	26	V.L.G.
27	J.N.E.	28	V.L.G.	29	J.N.E.

Dewberry
 1155 Hensley Road, Dothan, AL 36023

SCALE: 1"=50'
 FILE: PL 50158798
 SHEET: 3 OF 3

*SEE SHEET 1 OF 3 FOR OVERALL BOUNDARY INFORMATION



PLANNING COMMISSION JOINT STAFF REPORT: October 2025

STAFF RECOMMENDATION: Approval
PROJECT NAME: Keystone Ph 1 extension
REQUEST: Application for 1 Year Extension
SUB TYPE: Application for Extension

OWNER / APPLICANT: JADE Consulting, LLC -
Perry "Trey" Jinright, III, PE

ACREAGE: 97.82
NUMBER OF LOTS: 88

PIN#(s): 7109

LOCATION: S of US Hwy 98, W of Venice Blvd

PROJECT DESCRIPTION: Keystone Ph 1 extension

CURRENT CITY ZONING: PUD - Planned Unit Development

OVERLAY DISTRICT: N/A

REQUESTED ZONING: N/A

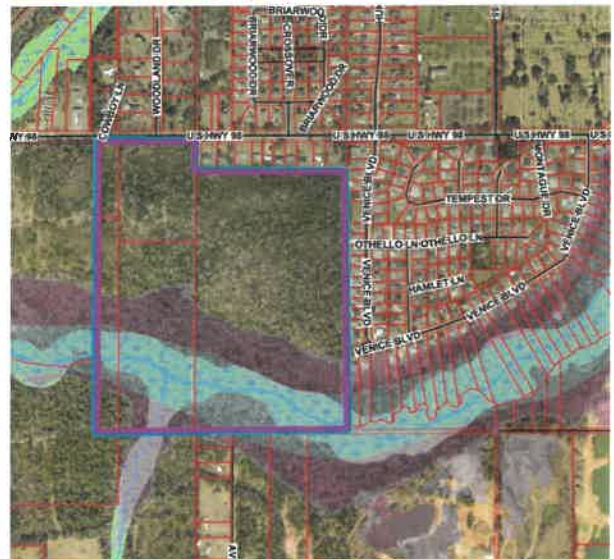
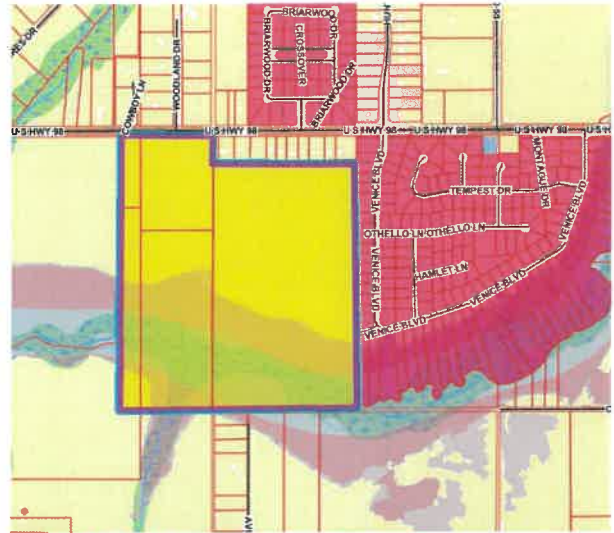
ADJACENT ZONING: R-1C to East, N,S&W: BC Districts 11, 20, & 18

COUNTY ZONING: N/A

COUNTY LOT SIZE: N/A

FUTURE LAND USE: RL - Residential Low Density (2 - 4)

EXISTING LAND USE: Infrastructure under construction



Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering
Review Status: Approved

1. Engineering recommends approval. Applicant and Environmental Department have been working together for enhanced stabilization.

Reviewer: Reese Newton, 2519793098, rnewton@cityoffoley.org, Environmental
Review Status: Approved

Reviewer: Chad Brewer, cbrewer@cityoffoley.org, Fire Department
Review Status: Approved

Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning
Review Status: Approved

Reviewer: Gene Williamson, 251-952-4011, gwilliamson@cityoffoley.org, Building Department
Review Status: Approved

SITE DATA
TOTAL PARCEL TRACT ACRES: 121.79 AC
REGULATED ROW AREA: 5.84 AC
LINEAR FEET OF STREETS: 4,886 LF
NUMBER OF LOTS: 86
SMALLEST LOT SIZE: 7,790 SF
AVERAGE LOT SIZE: 9,530 SF
COMMON AREAS: 77.93 AC
TOTAL AREA: 121.79 AC
ZONING CLASSIFICATION: KEYSTONE PUD 2022

LOT DRAINAGE/UTILITY EASEMENTS
ROAD FRONTAGES & REAR LOT LINES: 15'
SIDE LOT LINES: 7.5' EACH SIDE OF LOT LINE

REQUIRED SETBACKS
FRONT YARD: 20 FEET
REAR YARD: 15 FEET
SIDE YARD: 10 FEET
SIDE YARD ADJUTING STREET: 15 FEET
METALANDS BUFFER: 30 FEET

UTILITIES
SEWER: BALDWIN COUNTY SEWER SERVICE - 251-747-7500
PO BOX 1928; FOLEY, AL 36536

WATER, POWER, GAS, & BROADBAND SERVICES:
RIVERIA UTILITIES - (201) 942-5000
415 E. LAUREL AVE; FOLEY, AL 36538

PARENT PARCELS (PPIN):
05-55-07-26-0-000-021.000 (7109)
05-55-08-27-0-000-017.000 (1318)
05-55-08-27-0-000-017.000 (63190)
05-55-08-38-0-000-062.001 (7112)
05-55-08-38-0-000-092.004 (92453)

ENGINEER:
JADE CONSULTING, LLC
P.O. BOX 1929
FAIRHOPE, AL 36533
251-928-2443
PERRY C. BRANTON, III, PE

SURVEYOR:
WATTIER SURVEYING, INC.
4318 DOWNTOWNER LOOP N., SUITE H
MOBILE, AL 36689
251-342-2540
MARK A. WATTIER, PLS

DEVELOPER/OWNER:
KEYSTONE DEVELOPMENT, LLC
301 HIGHWAY 21, SUITE 201
WAINSWORTHVILLE, LA 70447
ADAM FENNING

NOTES:

- 1. LOTS 44-70 SHALL BE RESTRICTED TO A MAXIMUM REAR-YARD FENCE HEIGHT OF 4 FEET.
2. TEMPORARY ACCESS, UTILITY & DRAINAGE EASEMENT IS #1 IS TO BE VACATED BY R.O.M. EXTENSION OF FUTURE PHASE.
3. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS
4. STORM WATER DETENTION AREAS ARE NOT THE RESPONSIBILITY OF BALDWIN COUNTY OR THE CITY OF FOLEY TO MAINTAIN.
5. THERE IS DEDICATED HEREMETH A 15 FOOT UTILITY EASEMENT ON ALL ROAD FRONTAGES & REAR LINES AND A 7.5 FOOT UTILITY EASEMENT ALONG ALL SIDE LINES OF ALL LOTS.
6. CAPPED REBARS (WATTERS) HAVE BEEN SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION

THE WITHIN PLAT OF KEYSTONE SUBDIVISION, PHASE 1, FOLEY, ALABAMA IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING AND ZONING COMMISSION, THIS THE ____ DAY OF _____, 20__.

CHAIRMAN, PLANNING COMMISSION

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20__.

CITY ENGINEER

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 311:

THE UNDERIGNED, AS AUTHORIZED BY BALDWIN COUNTY 311, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES - ELECTRICAL:

THE UNDERIGNED, AS AUTHORIZED BY RIVERIA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES - WATER

THE UNDERIGNED, AS AUTHORIZED BY RIVERIA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER SERVICE - SEWER

THE UNDERIGNED, AS AUTHORIZED BY BALDWIN COUNTY SEWER SERVICE, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES - GAS:

THE UNDERIGNED, AS AUTHORIZED BY RIVERIA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES - TELECOMMUNICATIONS:

THE UNDERIGNED, AS AUTHORIZED BY RIVERIA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20__.

AUTHORIZED REPRESENTATIVE

SURVEYORS CERTIFICATE

STATE OF ALABAMA
COUNTY OF BALDWIN

I, MARK A. WATTIER, A LICENSED SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF KEYSTONE DEVELOPMENT, LLC SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

STATE OF ALABAMA
COUNTY OF BALDWIN

A PORTION OF SECTION 26, FRACTIONAL SECTION 27, AND GRANT SECTION 38, TOWNSHIP 7 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA,

MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1" OPEN TOP PIPE AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA, SAID POINT ALSO BEING THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF FRACTIONAL SECTION 27, TOWNSHIP 7 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 00-09-53" EAST ALONG THE WEST LINE OF SAID SECTION 26 A DISTANCE OF 108.83 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 98 (107 R/W) AND THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE RUN SOUTH 00-09-53" EAST A DISTANCE OF 224.85 FEET; THENCE RUN SOUTH 89-08-08" EAST A DISTANCE OF 1,346.40 FEET TO A CAPPED REBAR (WATTERS) ON THE WEST LINE OF PLANTATION AT MAGUIRA RIVER, PHASE ONE, AS RECORDED ON PUBLIC BOOK # OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 00-08-47" WEST ALONG SAID WEST LINE A DISTANCE OF 886.92 FEET TO A CAPPED REBAR (WATTERS); THENCE RUN SOUTH 00-04-55" WEST ALONG SAID WEST LINE A DISTANCE OF 1,606.35 FEET TO A CAPPED REBAR (WATTERS) ON THE NORTH RIGHT-OF-WAY LINE OF AN UNNAMED 40' PUBLIC RIGHT-OF-WAY; THENCE RUN NORTH 88-42-14" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 1,334.71 FEET TO THE WEST LINE OF SAID SECTION 26; SAID POINT ALSO BEING ON THE EAST LINE OF FRACTIONAL SECTION 27 OF SAID TOWNSHIP 7 SOUTH, RANGE 3 EAST; THENCE ENTERING SAID FRACTIONAL SECTION 27 RUN NORTH 89-42-14" WEST ALONG THE NORTH RIGHT-OF-WAY LINE OF AN UNNAMED 20' PUBLIC RIGHT-OF-WAY A DISTANCE OF 893.50 FEET TO A CAPPED REBAR (WATTERS) ON THE WEST LINE OF SAID FRACTIONAL SECTION 27; SAID LINE ALSO BEING THE EAST LINE OF GRANT SECTION 38 OF SAID TOWNSHIP 7 SOUTH, RANGE 3 EAST; THENCE RUN SOUTH 00-09-53" EAST ALONG THE EAST LINE OF SAID GRANT SECTION 38 A DISTANCE OF 20.00 FEET TO A CAPPED REBAR (WATTERS) AT THE INTERSECTION OF THE EAST LINE OF SAID GRANT SECTION 38 WITH THE SOUTH LINE OF SAID FRACTIONAL SECTION 27; THENCE RUN NORTH 89-04-14" WEST ALONG THE WESTWARD PROJECTION OF THE SOUTH LINE OF SAID FRACTIONAL SECTION 27 A DISTANCE OF 175.01 FEET TO A CAPPED REBAR (WATTERS); THENCE RUN NORTH 00-09-53" WEST AND PARALLEL WITH THE EAST LINE OF SAID GRANT SECTION 38 A DISTANCE OF 2,250.76 FEET TO A CAPPED REBAR (WATTERS) ON THE SOUTH RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY 98; THENCE RUN NORTH 89-08-08" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE A DISTANCE OF 175.00 FEET TO A CAPPED REBAR (WATTERS) ON THE EAST LINE OF SAID GRANT SECTION 38 AND THE WEST LINE OF SAID FRACTIONAL SECTION 27; THENCE CONTINUE NORTH 89-08-08" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE A DISTANCE OF 493.48 FEET TO THE POINT OF BEGINNING. THE DESCRIBED PARCEL CONTAINS 121.79 ACRES, MORE OR LESS.

AND THAT THE PLAT OF MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER, AND SHOWING THE STREETS, ALLEYS AND PUBLIC CORRIDORS AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS. SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED "PLS" AS HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN CHECKED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20__.

SURVEYOR
ALABAMA LICENSE #20384

CERTIFICATION OF OWNERSHIP AND DEDICATION

THIS IS TO CERTIFY THAT KEYSTONE DEVELOPMENT, LLC IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT THE SAME HAVE BEEN CAPPED SAID LAND TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED, AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED BY A SEPARATE LEGAL DOCUMENT.

DATED THIS ____ DAY OF _____, 20__.

ADAM FENNING PRINT TITLE

CERTIFICATION BY NOTARY PUBLIC

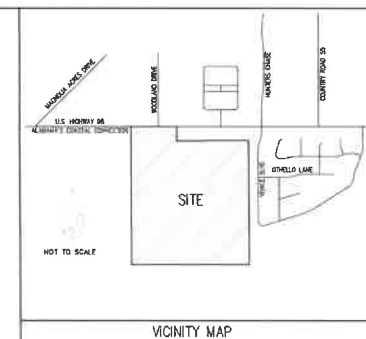
STATE OF _____
COUNTY OF _____

I, _____ THE UNDERIGNED NOTARY PUBLIC, IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY THAT

ADAM FENNING, OF KEYSTONE DEVELOPMENT, LLC, OWNER, WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED OF THE CONTENTS OF THE WITHIN INSTRUMENT, HE, WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY ON THE DAY THE SAME BEARS DATE.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20__.

NOTARY PUBLIC



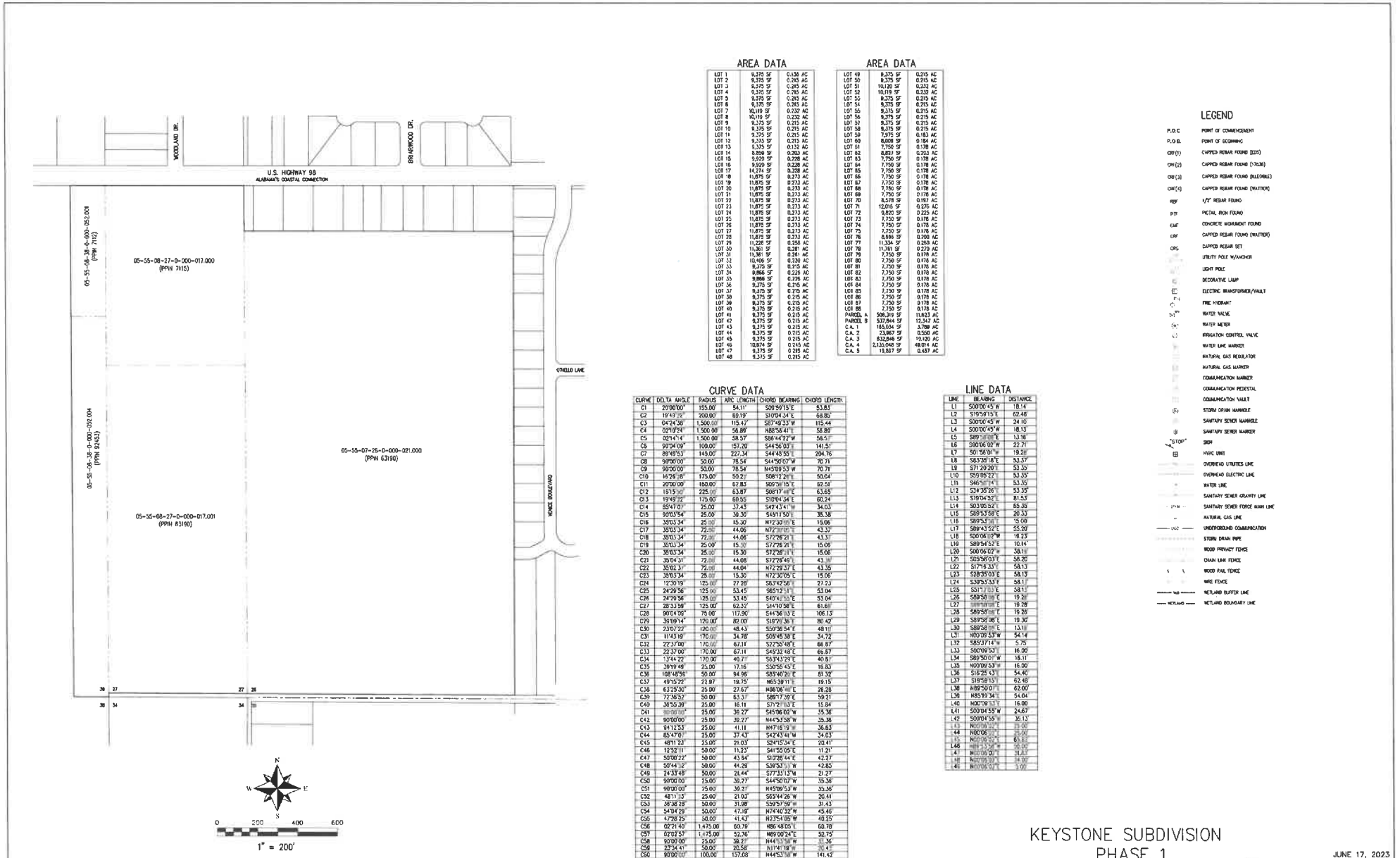
KEYSTONE SUBDIVISION
PHASE 1
PRELIMINARY PLAT

JUNE 17, 2023

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS

4318 DOWNTOWNER LOOP N., SUITE H
MOBILE, ALABAMA 36689

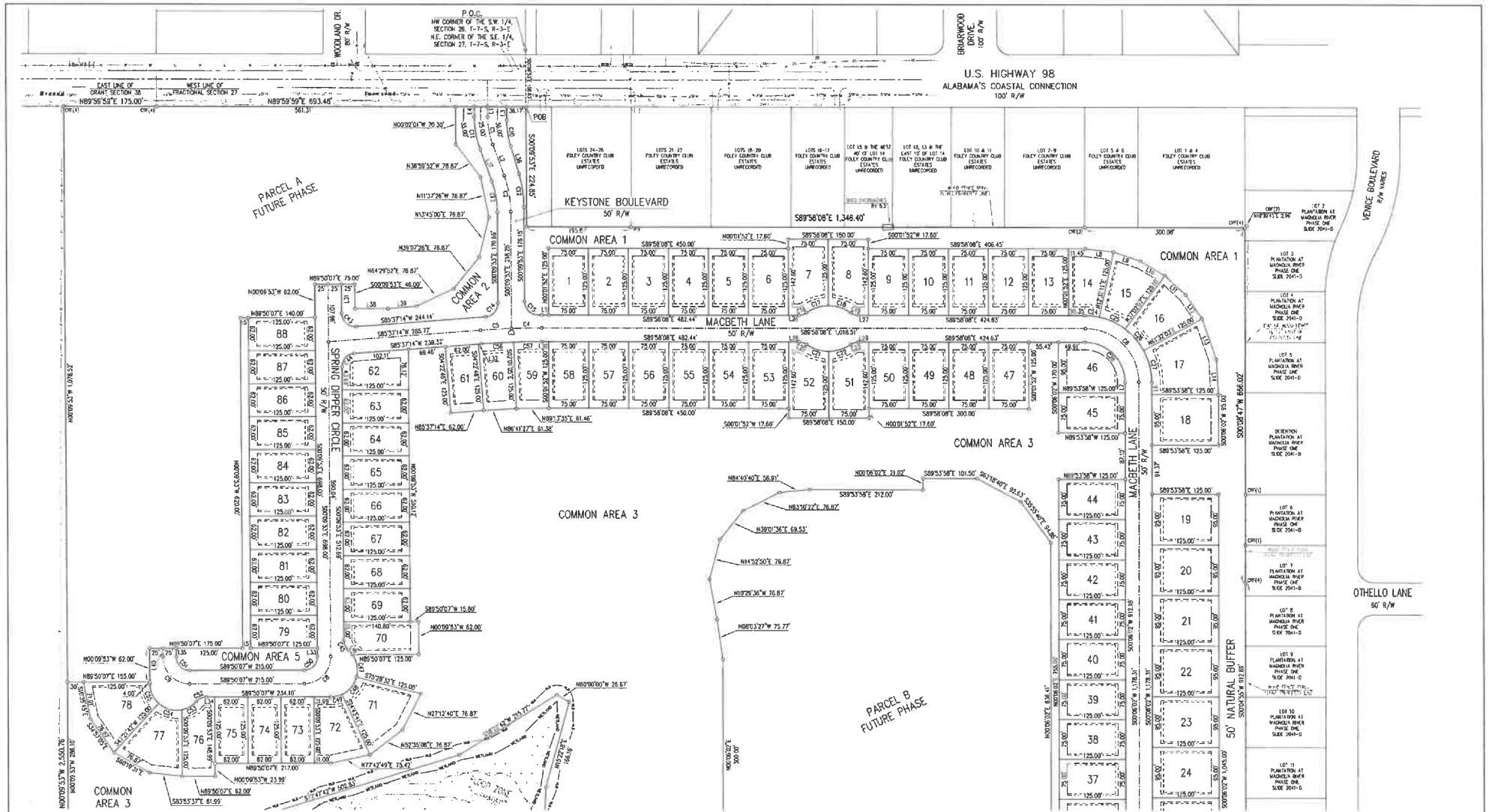
SHEET 1 OF 4



KEYSTONE SUBDIVISION
PHASE 1
PRELIMINARY PLAT

JUNE 17, 2023

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 Dowlings Loop N., Suite H
Mable, Auburn, Alabama 36801

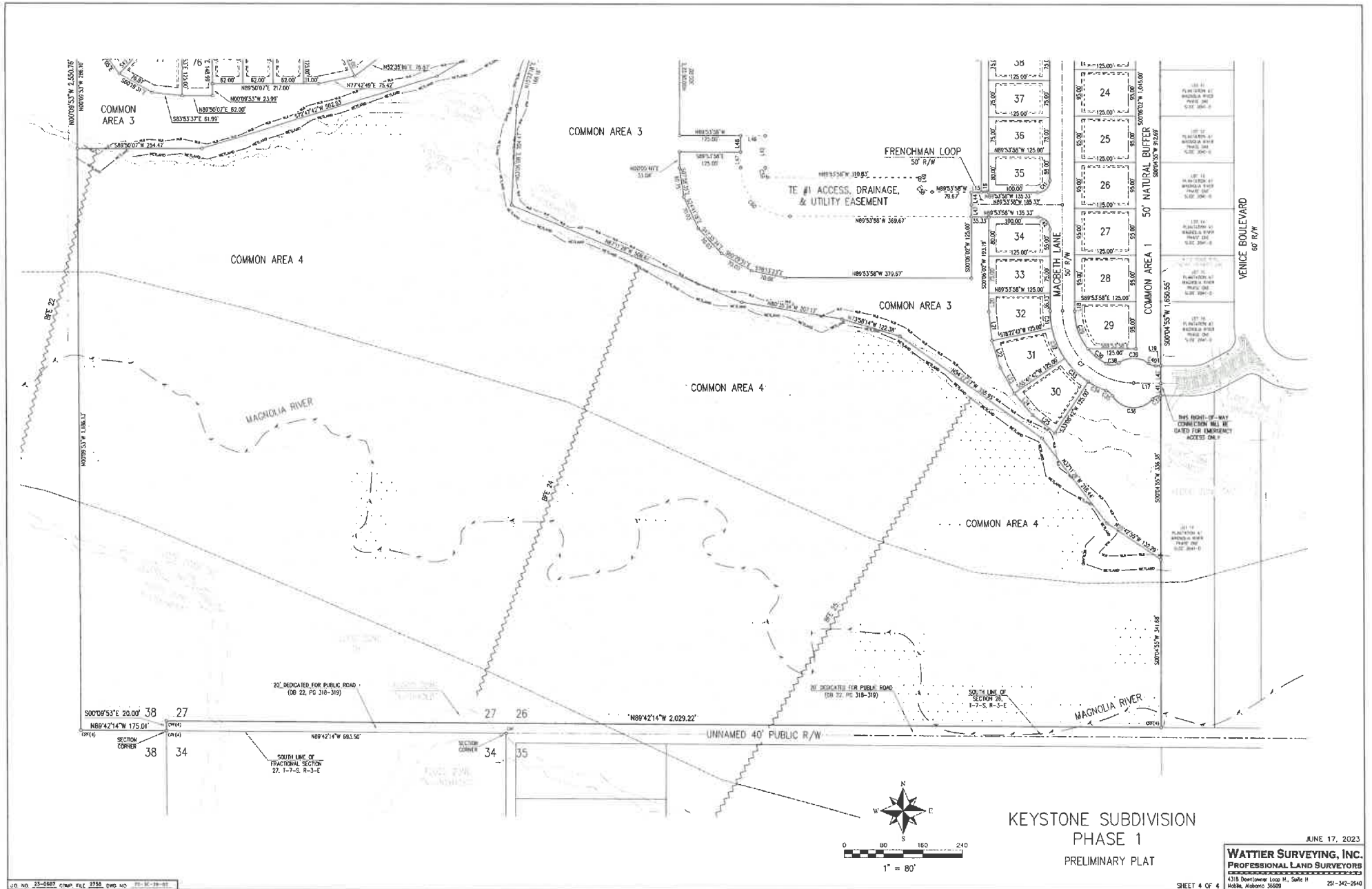


KEYSTONE SUBDIVISION
 PHASE 1
 PRELIMINARY PLAT

JUNE 17, 2023

WATTIER SURVEYING, INC.
 PROFESSIONAL LAND SURVEYORS

4318 Dowdinger Loop N., Suite H
 Mobile, Alabama 36607 251-341-2840



KEYSTONE SUBDIVISION
 PHASE 1
 PRELIMINARY PLAT

JUNE 17, 2023

WATTIER SURVEYING, INC.
 PROFESSIONAL LAND SURVEYORS
 4310 Quarter Loop N, Suite 110
 Little Rock, AR 72209

SHEET 4 OF 4

L.O. NO. 21-0467 COMP. FILE 2388, CWD NO. PD-M-29-01



PLANNING COMMISSION JOINT STAFF REPORT: October 2025

STAFF RECOMMENDATION: Approval
PROJECT NAME: Lot 3C Industrial Parkway
REQUEST: Zoning - Site Plan Approval
SUB TYPE: Property is in the FBEOD (Foley Beach Express Overlay District)

OWNER / APPLICANT: Lieb Engineering Company - Christopher Lieb

ACREAGE: 1.77
NUMBER OF LOTS: 1

PIN#(s): 628133

LOCATION: 1738 INDUSTRIAL PKWY LOT 3C

PROJECT DESCRIPTION: Lot 3C Industrial Parkway

CURRENT CITY ZONING: PID - Planned Industrial District

OVERLAY DISTRICT: FBEOD, Foley Beach Express Overlay District

REQUESTED ZONING: N/A

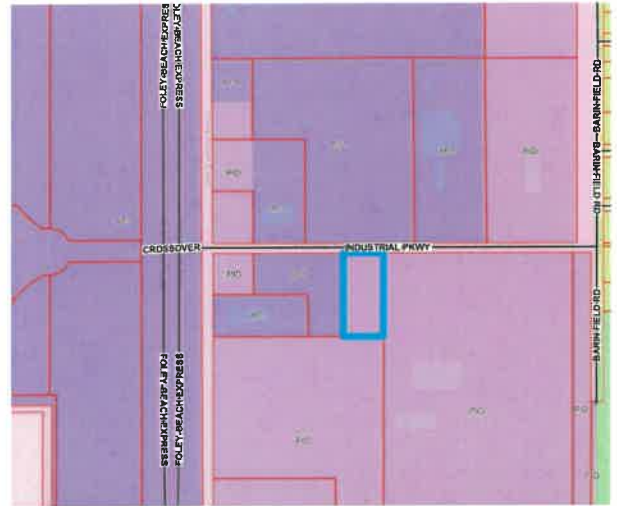
ADJACENT ZONING: N & W: M-1; E & S: PID

COUNTY ZONING: N/A

COUNTY LOT SIZE: N/A

FUTURE LAND USE: IN - Industrial

EXISTING LAND USE: Vacant



9/23/25, 9:37 AM

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering

Review Status: Approved

1. Engineering recommends approval

Reviewer: Reese Newton, 2519793098, rnewton@cityoffoley.org, Environmental

Review Status: Approved

Reviewer: Chad Brewer, , cbrewer@cityoffoley.org, Fire Department

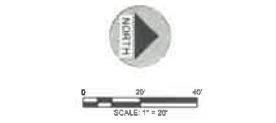
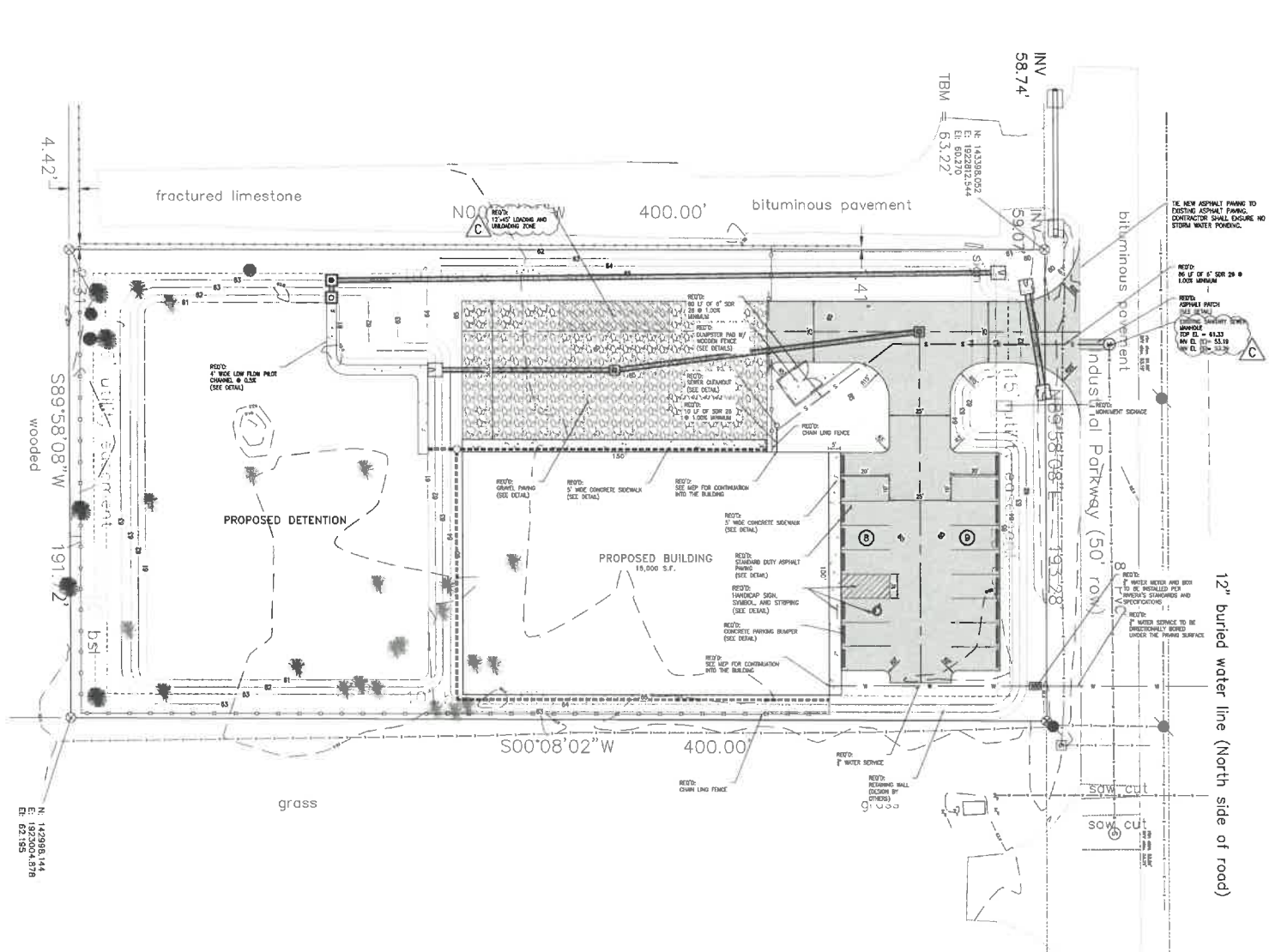
Review Status: Approved

Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning

Review Status: Approved

Reviewer: Gene Williamson, 251-952-4011, gwilliamson@cityoffoley.org, Building Department

Review Status: Approved



SITE PLAN DATA:	
TOTAL ACRES:	1.77 AC.±
PARCEL ID:	05-54-07-35-0-000-001.025
PROPOSED USE:	COMMERCIAL
ZONING:	INDUSTRIAL
FRONT SETBACK:	20'
REAR SETBACK:	10'
SIDE SETBACK:	10'
OFFICE PARKING REQ'D:	3,600 SF/400 = 9 SPACES
WAREHOUSE PARKING REQ'D:	11,400 SF/3,000 = 3.8 SPACES
PARKING SPACES REQUIRED:	13
PARKING SPACES PROVIDED:	17

REVISIONS			
A	ISSUED FOR REVIEW	5/14/2025	
B	ADDED DUMPSTER ENCLOSURE	5/29/2025	
C	ADDRESSED CITY COMMENTS	7/1/2025	



LIEB ENGINEERING COMPANY
 1290 MAIN STREET, SUITE E
 DAPHNE, AL 36526
 PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2025-016
 DRAWN BY: NTB
 DATE: 5/14/2025
 SCALE: 1"=20'
 CHECKED BY: C.J.L.
 APPROVED BY: C.J.L.
 ENGR: C.J.L.

FOLEY LOT 3-C
 SITE AND UTILITY PLAN
 FOLEY, AL
 OWNER: DC GENERAL, LLC

SHEET NUMBER: 4 OF 7
 C4.0 C





THOMPSON ARCHITECTURE
INCORPORATED

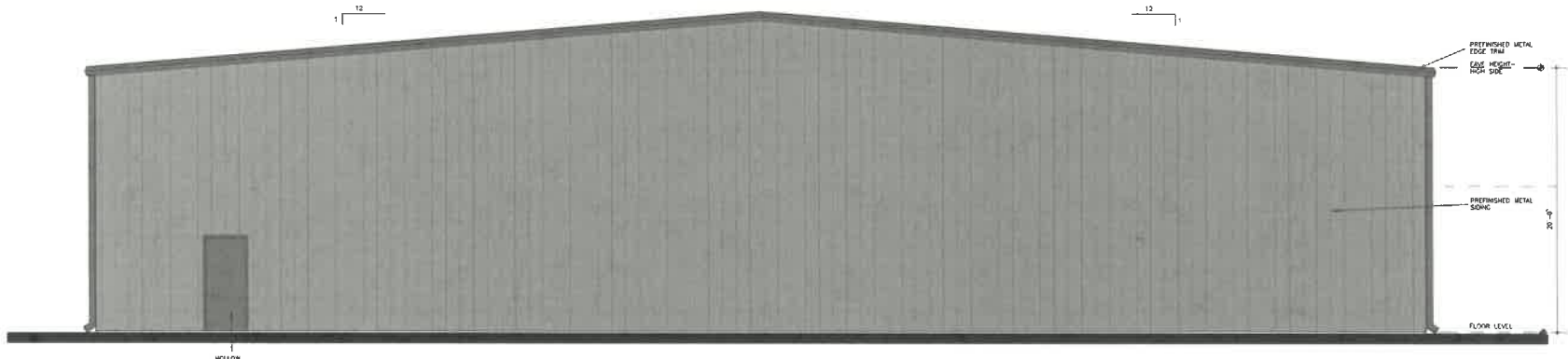
2913 Cahaba Road Birmingham, AL 35223
Telephone: 205-414-1072
e-mail: thompson@thompsonarchitecture.com

ISSUED FOR REVIEW:
09-26-23
NOT FOR CONSTRUCTION



SOUTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"



NORTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"

DRAWING NAME

EXTERIOR ELEVATIONS

DDW	DEG-23032
DRAWN BY	RT
CHECKED	RT
APPROVED	RT
DATE	09-26-23

A400



THOMPSON ARCHITECTURE
INCORPORATED

2913 Canada Road Birmingham, AL 35222
Telephone 205-814-1272
e-mail thompson@thompsonarchitecture.com

ISSUED FOR REVIEW:
09-26-23
NOT FOR CONSTRUCTION

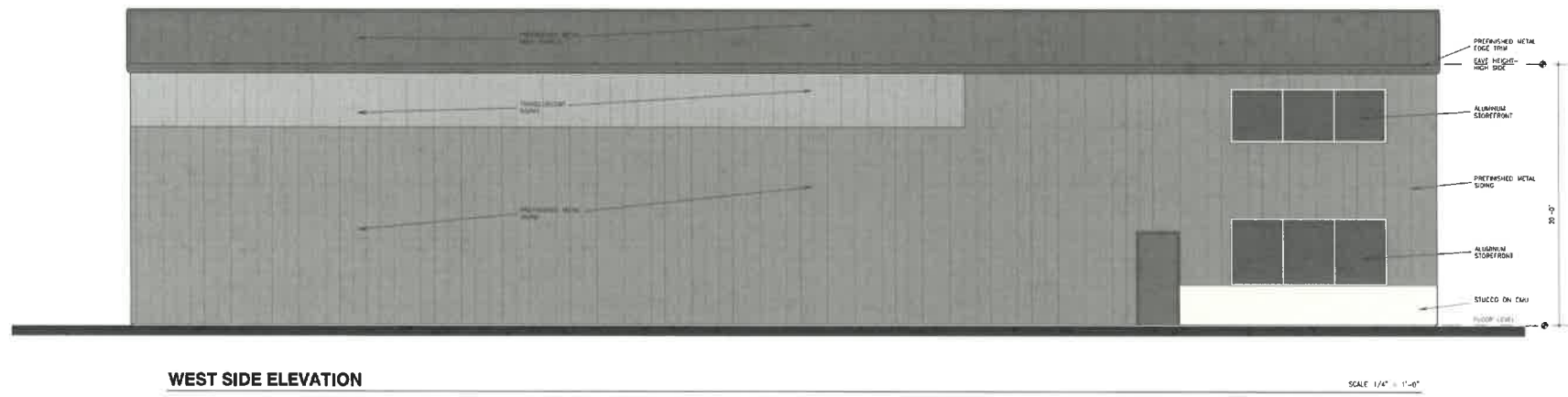
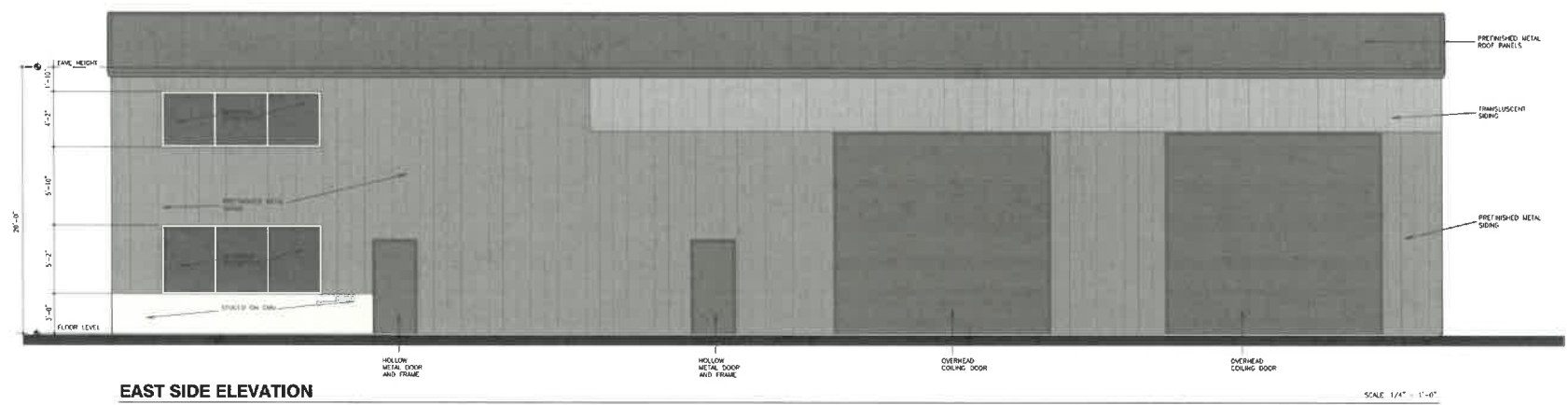
NEW BUILDING
FOR
DE GENERAL
TRUSSVILLE, ALABAMA

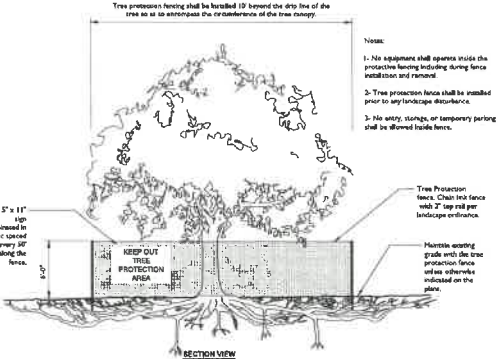
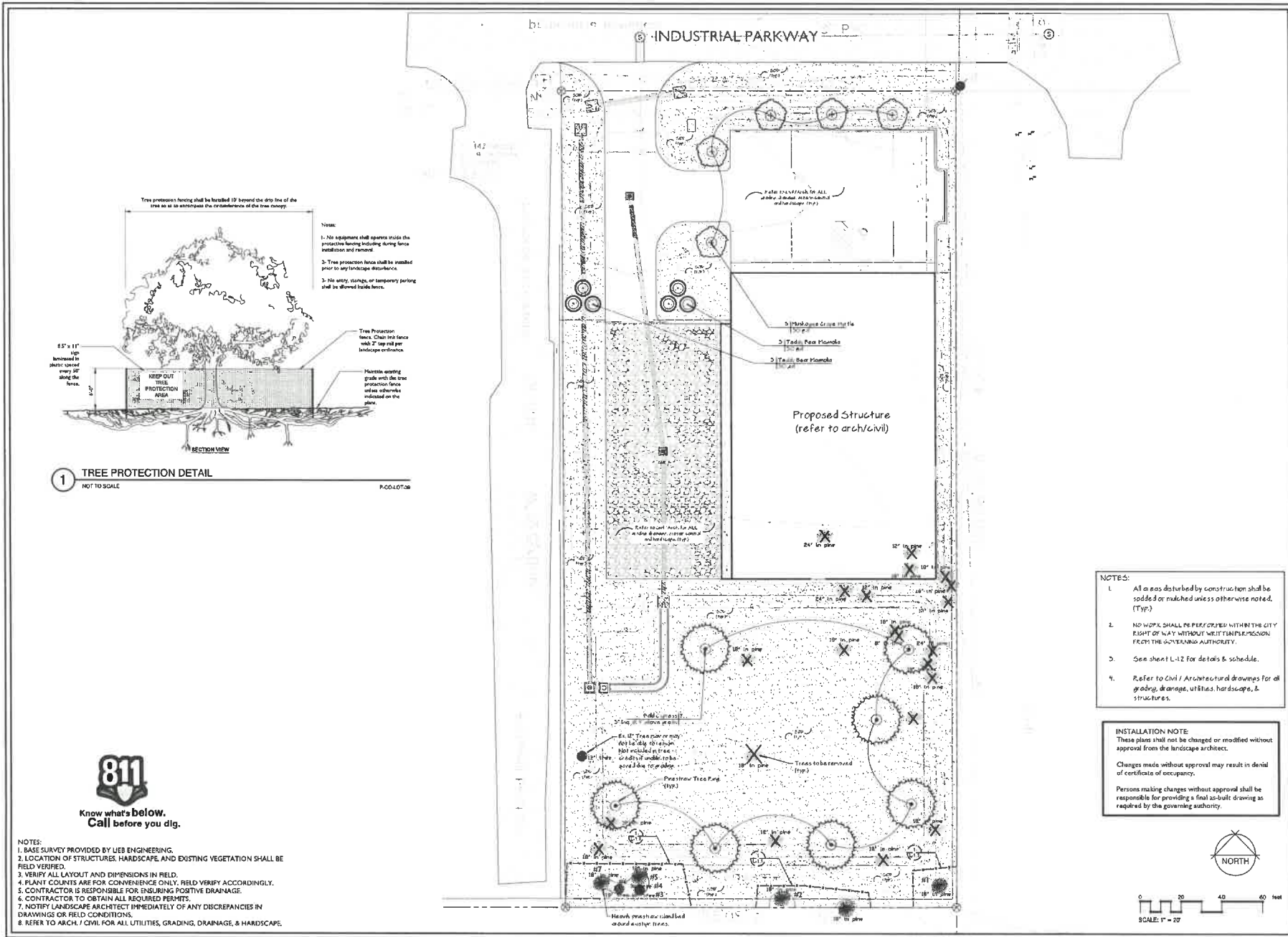
DRAWING NAME

EXTERIOR ELEVATIONS

LCM	DEG-23022
DRAWN BY	RT
CHECKED	RT
APPROVED	RT
DATE	09-26-23

A401





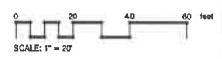
1 TREE PROTECTION DETAIL

NOT TO SCALE PCD:LOT30

- Notes:
1. No equipment shall operate inside the protective fencing including during installation and removal.
 2. Tree protection fence shall be installed prior to any landscape disturbance.
 3. No entry, storage, or temporary parking shall be allowed inside fence.

- NOTES:
1. All areas disturbed by construction shall be sodded or matched unless otherwise noted. (Typ.)
 2. NO WORK SHALL BE PERFORMED WITHIN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE CITY ENGINEER AUTHORITY.
 3. See sheet L-12 for details & schedule.
 4. Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.

INSTALLATION NOTE:
 These plans shall not be changed or modified without approval from the landscape architect.
 Changes made without approval may result in denial of certificate of occupancy.
 Persons making changes without approval shall be responsible for providing a final as-built drawing as required by the governing authority.



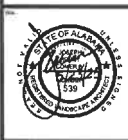
- NOTES:
1. BASE SURVEY PROVIDED BY LEB ENGINEERING.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO ARCH. / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

ESPALEIR
 landscape architecture

Esparlier, LLC
 P.O. Box 1247
 Fairhope, Alabama 36533
 P: 251.454.3500
 esparlier@esparlier.com

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LOT 3-C
 Industrial Parkway
 Foley, AL

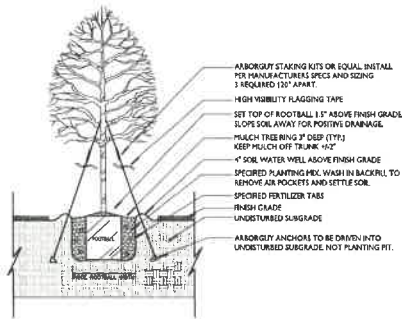


ISSUED/REVISED
 Permitting 5/23/25

LANDSCAPE PLAN

DATE	BY	REV	DESCRIPTION
5/23/25	JC	1	ISSUED
5/23/25	JC	2	REVISED

L-1.1
 5/23/25



1 TREE PLANTING
NTA
LA-01

- LANDSCAPE NOTES:**
- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
 - Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
 - Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners' satisfaction by contractor with no additional charge to owner.
 - Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
 - Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architect's attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
 - The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
 - Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
 - Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to PCA or ARB guidelines if applicable.
 - All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
 - Topsoil shall be sandyloam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
 - Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
 - The landscape plan is to serve as a guide for installation. Field adjustments and changes to layout may be made by Landscape Architect.
 - Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
 - Quantities shown on plant lists are for convenience only.
 - All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinbark or mushroom compost and blended into the top 8" of existing soil. Make beds smooth and top dress with 2" min. of ground pinbark prior to planting.
 - All trees and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinbark or mushroom compost.
 - All trees, shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufacturer's recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufacturer's recommendations prior to mulching.
 - All beds shall receive Freshland pre-emergent herbicide or equal.
 - Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinbark mulch unless otherwise noted.
 - All beds shall have 3" V-shaped trenches. See detail.
 - All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
 - All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
 - All trees shall be staked with arbor guy (or equal) tree stakes per manufacturer's recommendations.
 - All disturbed areas shall be irrigated and soiled.
 - Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
 - Brown or defoliated plants shall be removed and replaced immediately.
 - All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
 - No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

2 LANDSCAPE NOTES
NTS
LA-16

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	DETAIL	REMARKS
TREES							
	5	Lagerstroemia x "Hologate"	Mulgaer Crepe Myrtle	30 gal	(1) Corner Min. @ 1' Cane		Tree Form, Mulch/Trunk, No B&B. Approve photo with LA.
	4	Magnolia grandiflora "Teddy Bear"	Teddy Bear Magnolia	30 gal			Single Trunk, Tree Form, 1.5' Dia. @ 1' Min. Ht.
	7	Taxodium distichum	Bald Cypress	3" Dia. @ 4' above grade			Single Trunk Tree Form 8" Min. of Clear Trunk

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DETAIL	REMARKS
GROUND COVERS								
	43,047 sf	Cynodon dactylon "TX 41"	419 Bermuda Grass	seed				Contractor shall field verify quantity.

- GENERAL NOTES:**
- LONG LEAF PINESTRAW ALL TREE BEDS & BEDS EXCEPT #18. 1 GAL. POTS.
 - #18 1 GAL. POTS TO BE PLANTED IN 3" OF PLANTING MIX AND TOP DRESSED WITH GROUND PINBARK.
 - USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTES.
 - PREP PLANTING PITS & GROUNDCOVER AREAS WITH PLANTING MIX. SEE NOTES.
 - THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 - SEE LANDSCAPE NOTES.
- TREE NOTES:**
- All trees shall be container grown unless otherwise noted or approved.
 - Approve photos of ALL plant material with Landscape Architect.
 - Trees must meet size specifications regardless of container size.

- APPROVED NURSERIES:**
- GREEN FOREST NURSERY
 - FLOWERWOOD NURSERY
 - WATER NURSERY
 - CHERRY LAKE NURSERY
- Other nurseries may be approved at the discretion of the landscape architect.

CITY OF FOLEY LANDSCAPE REQUIREMENTS:

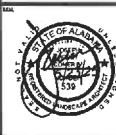
TREE REQUIREMENTS:
Minimum tree density of ten (10) trees per acre
Site Acreage = 1.77 x 10 = 18 Trees Required



Espalier, LLC
P.O. Box 1247
Fahpopp, Alabama 36533
P: 251.434.3500
espalierlandscape.com

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LOT 3-C
Industrial Parkway
Foley, AL



ISSUED/REVISED
Permitting: 5/23/25

LANDSCAPE DETAILS

NO.	DATE	BY	REVISION
1	5/23/25	JL	ISSUED FOR PERMITTING

L-1.2
5/26/25



PLANNING COMMISSION JOINT STAFF REPORT: October 2025

STAFF RECOMMENDATION: Approval

PROJECT NAME: Foley RV and Boat Storage

REQUEST: Zoning - Site Plan Approval

SUB TYPE: Property is in the FBEOD (Foley Beach Express Overlay District)

OWNER / APPLICANT: S.E. Civil, LLC - Aaron Collins

ACREAGE: 21.32
NUMBER OF LOTS:

PIN#(s): 44434

LOCATION: E of Foley Beach Express, N of Roscoe Rd

PROJECT DESCRIPTION: Foley RV and Boat Storage

CURRENT CITY ZONING: Rezoned from AO to B-1A 25-2022-ORD

OVERLAY DISTRICT: FBEOD, Foley Beach Express Overlay District

REQUESTED ZONING: N/A

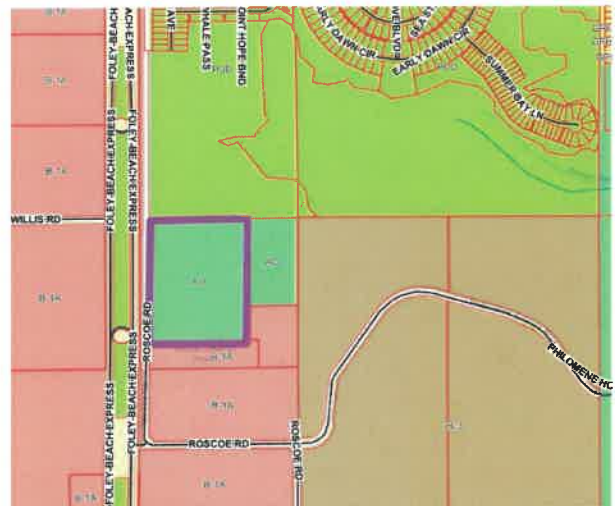
ADJACENT ZONING: N & W: PUD; E: AO & B-1A; S: B-1A

COUNTY ZONING: N/A

COUNTY LOT SIZE: N/A

FUTURE LAND USE: MXU, Mixed Use Commercial/Residential

EXISTING LAND USE: Vacant



Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering

Review Status: Approved with Comments

1. Final specifics of the landscape plan can be designed with the Land Development Permit

Reviewer: Reese Newton, 2519793098, rnewton@cityoffoley.org, Environmental

Review Status: Approved with Comments

1. The city Land Development Ordinance requires 10 trees per acre of open space, common area, AND commercial area. So your total tree count will be based on the the total area of disturbed/developed land.

Reviewer: Chad Brewer, cbrewer@cityoffoley.org, Fire Department

Review Status: Approved

Reviewer: Gene Williamson, 251-952-4011, gwilliamson@cityoffoley.org, Building Department

Review Status: Approved

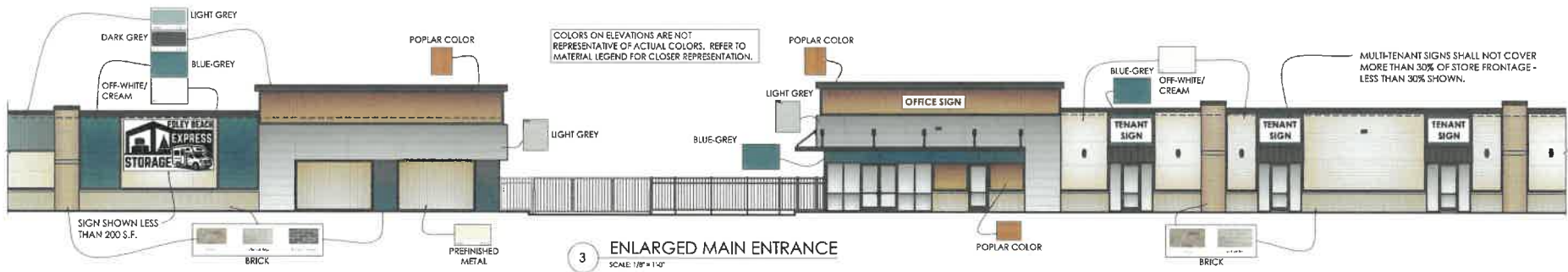
Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Planning and Zoning

Review Status: Approved

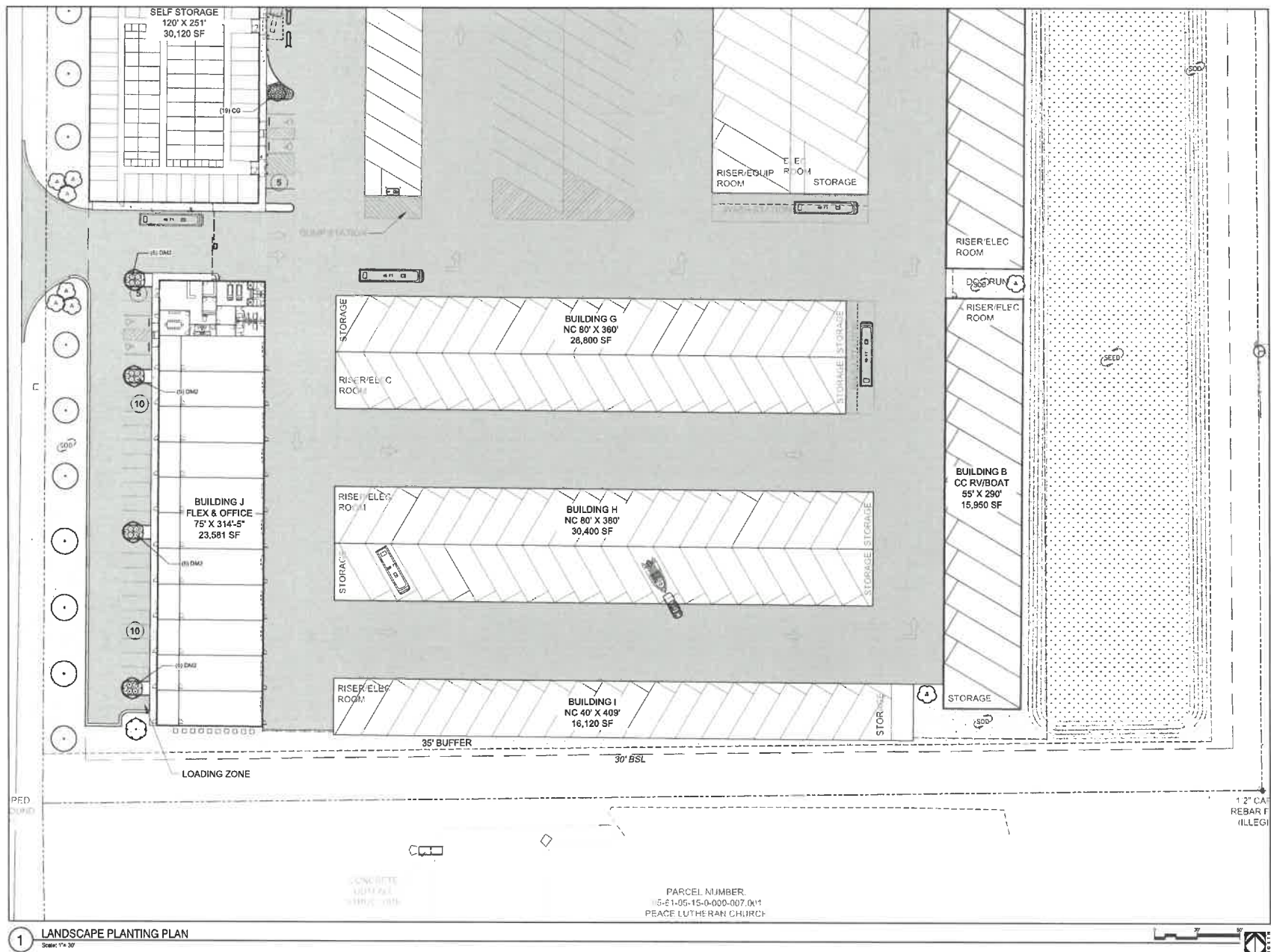


2 FRONT ELEVATION - OFFICE & FLEX SPACE
SCALE: 3/32" = 1'-0"

PROPOSED EXTERIOR
ELEVATIONS
ROSCOE ROAD
FOLEY, AL 36535
PARCEL
05-61-05-15-0-000-007.000
7.23.25



3 ENLARGED MAIN ENTRANCE
SCALE: 1/8" = 1'-0"



1 LANDSCAPE PLANTING PLAN
Scale: 1" = 30'

PARCEL NUMBER:
5-E1-05-15-0-000-007.001
PEACE LUTHERAN CHURCH



NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Foley Beach Express Storage
Foley, Alabama

Revision No.	Date	Revisions / Submissions
01	07-24-25	CITY SUBMITTAL

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BC Drawn	Registration
VTW Project Manager	
LCW Principal	
253533-001 Project No.	
07-23-25 Date	

LANDSCAPE PLANTING PLAN

Sheet No. **LP200**



PLANNING COMMISSION JOINT STAFF REPORT: October 2025

STAFF RECOMMENDATION: Approval with Conditions
PROJECT NAME: Dream Center Minor Subdivision
REQUEST: Subdivision
SUB TYPE: Minor

OWNER / APPLICANT: - Steve Bailey

ACREAGE: 15
NUMBER OF LOTS: 2

PIN#(s): 273228

LOCATION: 18464 UNDERWOOD RD

PROJECT DESCRIPTION: Dream Center Minor Subdivision

CURRENT CITY ZONING: B-2, Neighborhood Business District

OVERLAY DISTRICT: N/A

REQUESTED ZONING: N/A

ADJACENT ZONING: N & W: Unzoned BC Dist 18; E & S: M-1

COUNTY ZONING: N/A

COUNTY LOT SIZE: N/A

FUTURE LAND USE: IN - Industrial

EXISTING LAND USE: Calvary Chapel on front edge, vacant at rear



Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering

Review Status: Approved with Comments

1. The proposed survey meets the intent and spirit of the minor subdivision requirements for the applicant's current purpose. Prior to official subdivision of the lot, a subdivision plat will need to be submitted to the City that reflects the drawing.

Reviewer: Reese Newton, 2519793098, rnewton@cityoffoley.org, Environmental

Review Status: Approved

Reviewer: Chad Brewer, , cbrewer@cityoffoley.org, Fire Department

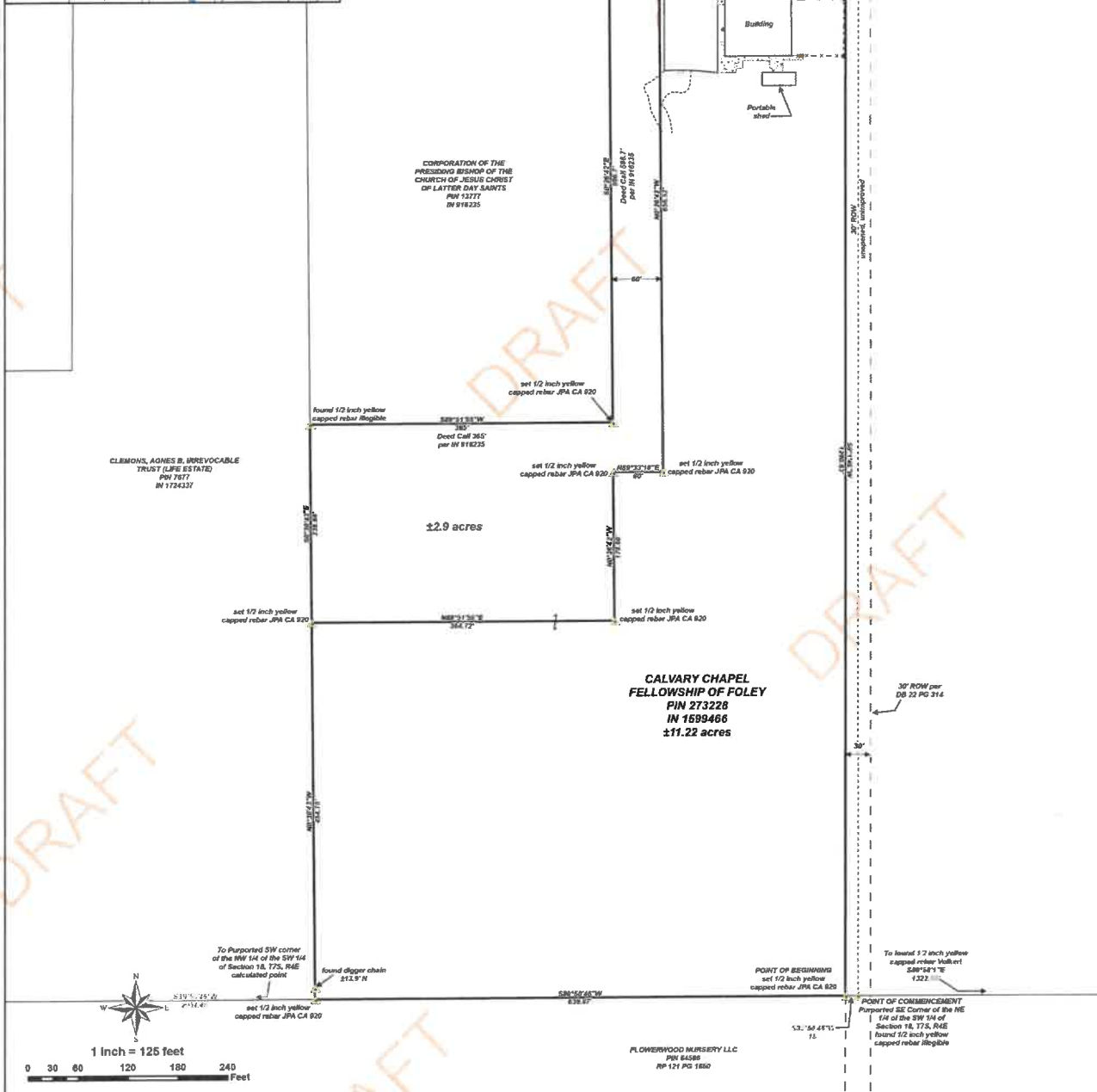
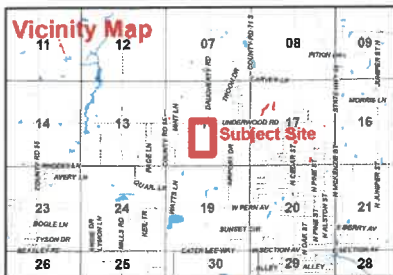
Review Status: Approved

Reviewer: Gene Williamson, 251-952-4011, gwilliamson@cityoffoley.org, Building Department

Review Status: Approved

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Planning and Zoning

Review Status: Approved



Surveyor's Notes:

- Sources of information used to facilitate this document may have been previously submitted by this company, other firms, clients, or other involved entities.
- Bearings and distances are referenced to grid north in the Alabama State Plane Coordinate West Zone (NAD 83) with coordinate units in US survey feet. All quadrant bearings depicted are referenced as Degrees' Minutes' Seconds'. GPS and conventional techniques were used to derive the information depicted hereon.
- Field work performed July 25, 2025.
- Utilities were not located for the purpose of this survey, except where shown on this survey.
- No instruments of record concerning right of ways, easements or ownership were furnished, except as noted on this survey.
- This survey was delivered without the benefit of a title search or abstract history. No liability is assumed for loans or judgments related to an abstract, title search, or legal process associated with this property.
- Total liability for this survey shall not exceed the amount paid for this survey.
- Not valid without embossed seal, original signature or stamp.
- Copyright JPA© 2025. This work shall not be reproduced or redistributed without expressed, written permission.
- This document valid for 90 days from date of survey.
- All improvements, covenants, easements, or other restrictions of record may not be shown for the purpose of this survey.
- Background imagery or information shown is not produced or guaranteed by JPA and is for graphic purposes only.

Legend		
Monument	CL Road Vacated Line
Fence corner	Culvert	--- Approximate Boundary
Fencepost	↔ Double Arrow Dimension	- - - Right of Way
Gate	--- Edge Unpaved Access	--- Survey Boundary
Hydrant	--- Edge of Pavement	▨ Concrete
Marked Location	x - - - Fence	▭ Structure
Meter	--- Gate	▭ Survey Boundary
Power Pole	--- Overhead Electric	
Utility Ped	→ Arrow	

I hereby state all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Land Surveying in the State of Alabama to best of my knowledge, information, and belief.

J Pierce and Associates LLC
 Geospatial Consultants
 16116 Old Ganey Road
 Bay Minette, AL 36507
 jacob@jpiercedassociates.com
 matthew@jpiercedassociates.com
 jpiercedassociates.com
 251-506-5975

Matthew Burkett, PLS
 AL #40398-S

Date _____

Results of Boundary Survey on behalf of Steve Bailey	
Section 18 T7S R4E	Field work: BCT Drawn: MDS/BCT Checked: MDS/JKP
JPA Project #1021	18464 Underwood Rd Foley, AL 36535
Date: 8/13/2025 This document supersedes any previously dated documents.	



PLANNING COMMISSION JOINT STAFF REPORT: October 2025

STAFF RECOMMENDATION: Approval
PROJECT NAME: Resubdivision of Lot 7 Foley Crossroads Subdivision
REQUEST: Subdivision
SUB TYPE: Minor

OWNER / APPLICANT: ENGINEERING DESIGN GROUP - Courtney Harris

ACREAGE: 4
NUMBER OF LOTS: 2

PIN#(s): 624129

LOCATION: W of Foley Beach Express, S of Progress Way

PROJECT DESCRIPTION: Resubdivision of Lot 7 Foley Crossroads Subdivision

CURRENT CITY ZONING: PUD - Planned Unit Development

OVERLAY DISTRICT: FBEOD, Foley Beach Express Overlay District

REQUESTED ZONING: N/A

ADJACENT ZONING: E: B-1A; N,S,W: PUD

COUNTY ZONING: N/A

COUNTY LOT SIZE: N/A

FUTURE LAND USE: RCC - Retail Commercial Concentration

EXISTING LAND USE: Vacant



Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering

Review Status: Approved with Comments

1. Note 7 has been modified to ensure cross access is honored for Lots 7A, 7B, and Lot 8 for future connectivity to Progress Way and Discovery Way

Reviewer: Reese Newton, 2519793098, rnewton@cityoffoley.org, Environmental

Review Status: Approved

Reviewer: Chad Brewer, , cbrewer@cityoffoley.org, Fire Department

Review Status: Approved

Reviewer: Gene Williamson, 251-952-4011, gwilliamson@cityoffoley.org, Building Department

Review Status: Approved

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Planning and Zoning

Review Status: Approved



PLANNING COMMISSION JOINT STAFF REPORT: October 2025

STAFF RECOMMENDATION: Approval

PROJECT NAME: Second Resubdivision of Lot 3-B of Foley Beach Express Industrial Park Unit 7

REQUEST: Subdivision

SUB TYPE: Minor

OWNER / APPLICANT: ENGINEERING DESIGN GROUP - Courtney Harris

ACREAGE: 14.88
NUMBER OF LOTS: 2

PIN#(s): 334478

LOCATION: S of Industrial Pkwy, E of Foley Beach Express

PROJECT DESCRIPTION: Second Resubdivision of Lot 3-B of Foley Beach Express Industrial Park Unit 7

CURRENT CITY ZONING: PID - Planned Industrial District

OVERLAY DISTRICT: FBEOD, Foley Beach Express Overlay District

REQUESTED ZONING: N/A

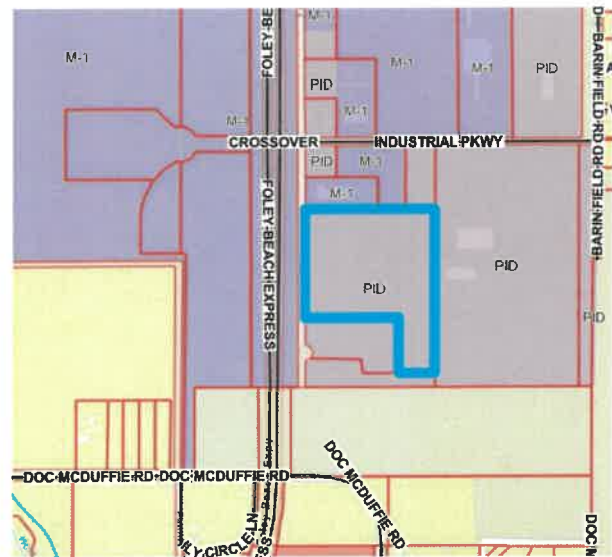
ADJACENT ZONING: M-1 & PID

COUNTY ZONING: N/A

COUNTY LOT SIZE: N/A

FUTURE LAND USE: IN - Industrial

EXISTING LAND USE: Vacant - Semi Parking on old asphalt



9/23/25, 8:40 AM

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering

Review Status: Approved

1. Engineering recommends approval.

Reviewer: Reese Newton, 2519793098, rnewton@cityoffoley.org, Environmental

Review Status: Approved

Reviewer: Chad Brewer, , cbrewer@cityoffoley.org, Fire Department

Review Status: Approved

Reviewer: Gene Williamson, 251-952-4011, gwilliamson@cityoffoley.org, Building Department

Review Status: Approved

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Planning and Zoning

Review Status: Approved



PLANNING COMMISSION JOINT STAFF REPORT: October 2025

STAFF RECOMMENDATION: Approval
PROJECT NAME: McAnderson Subdivision
REQUEST: Subdivision
SUB TYPE: Preliminary

OWNER / APPLICANT: Lieb Engineering Company - Christopher Lieb

ACREAGE: 2.19
NUMBER OF LOTS: 6

PIN#(s): 85388

LOCATION: N of E Michigan Ave, E of S Juniper St

PROJECT DESCRIPTION: McAnderson Subdivision

CURRENT CITY ZONING: PUD- Planned Unit Development

OVERLAY DISTRICT: N/A

REQUESTED ZONING: N/A

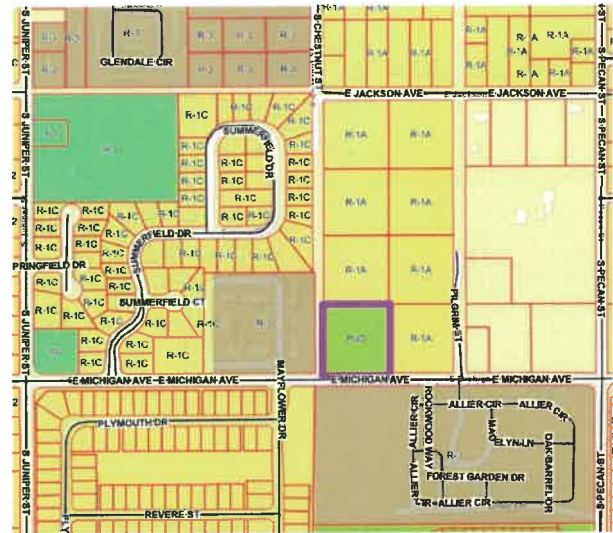
ADJACENT ZONING: N&E: R-1A; S&W: R-3

COUNTY ZONING: N/A

COUNTY LOT SIZE: N/A

FUTURE LAND USE: RM, Residential Med. Density (4-7)

EXISTING LAND USE: Vacant/Wooded



9/23/25, 2:03 PM

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering
Review Status: Approved

Reviewer: Reese Newton, 2519793098, rnewton@cityoffoley.org, Environmental
Review Status: Approved

Reviewer: Chad Brewer, cbrewer@cityoffoley.org, Fire Department
Review Status: Approved

Reviewer: Gene Williamson, 251-952-4011, gwilliamson@cityoffoley.org, Building Department
Review Status: Approved

Reviewer: Miriam Boone, 251-952-4011, mboone@cityoffoley.org, Planning and Zoning
Review Status: Approved

McANDERSON SUBDIVISION
A RESUBDIVISION OF LOT 13
THE FIRST ADDITION TO DUELAN HEIGHTS
Slide 400-B

FOLEY, BALDWIN COUNTY, ALABAMA
SECTION 33, TOWNSHIP 7 SOUTH, RANGE 4 EAST
DATE OF PLAT: FEBRUARY 6, 2025

Notary Public for Baldwin County, Alabama
 The undersigned, Trent Wilson, Professional Land Surveyor, State of Alabama, Paul McAnderson and Taylor A. McAnderson, owners, hereby certify that the site or map here made pursuant to a survey made by said surveyor, and that the site or map here made at the instance of said owner, show the site or map in accordance with the laws of said State and County, Alabama.
 Legal Description:
 Lot 13 according to THE FIRST ADDITION TO DUELAN HEIGHTS as recorded in Slide 400-B in the Office of the Judge of Probate of Baldwin County, Alabama.

In Witness Whereof, we have hereunto set our hands this _____ day of _____
 At _____ Alabama
 By: _____ Paul McAnderson (Owner) _____ Taylor A. McAnderson (Owner)

Notary Public for Baldwin County, Alabama
 I, _____, Notary Public in and for said County and State, do hereby certify that Paul McAnderson, owner, and who is known to me, acknowledge before me, on this date, that being informed of the contents of said certificate, said act is a legal act and valid and authority thereof.
 Given under my hand and seal this _____ day of _____

Notary Public for Baldwin County, Alabama
 I, _____, Notary Public in and for said County and State, do hereby certify that Taylor A. McAnderson, owner, and who is known to me, acknowledge before me, on this date, that being informed of the contents of said certificate, said act is a legal act and valid and authority thereof.
 Given under my hand and seal this _____ day of _____

Notary Public for Baldwin County, Alabama
 I, _____, Notary Public in and for said County and State, do hereby certify that Taylor A. McAnderson, owner, and who is known to me, acknowledge before me, on this date, that being informed of the contents of said certificate, said act is a legal act and valid and authority thereof.
 Given under my hand and seal this _____ day of _____

City Engineer
 The undersigned, as Planning Commission Chairman of the City of Foley, Alabama, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

Planning Commission Chairman
 The undersigned, as authorized by Board Order, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

Author's Representative
 The undersigned, as authorized by Board Order, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

Author's Representative
 The undersigned, as authorized by Board Order, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

Author's Representative
 The undersigned, as authorized by Board Order, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

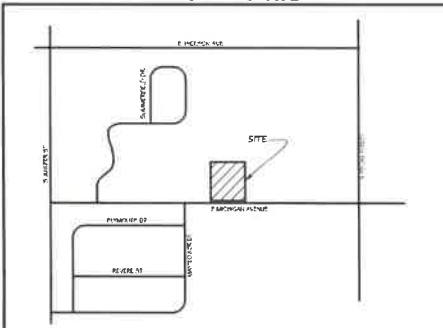
Author's Representative
 The undersigned, as authorized by Board Order, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

Author's Representative
 The undersigned, as authorized by Board Order, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

Author's Representative
 The undersigned, as authorized by Board Order, E 9-11 Addressing Board, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

Author's Representative
 The undersigned, as authorized by Board Order, E 9-11 Addressing Board, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____

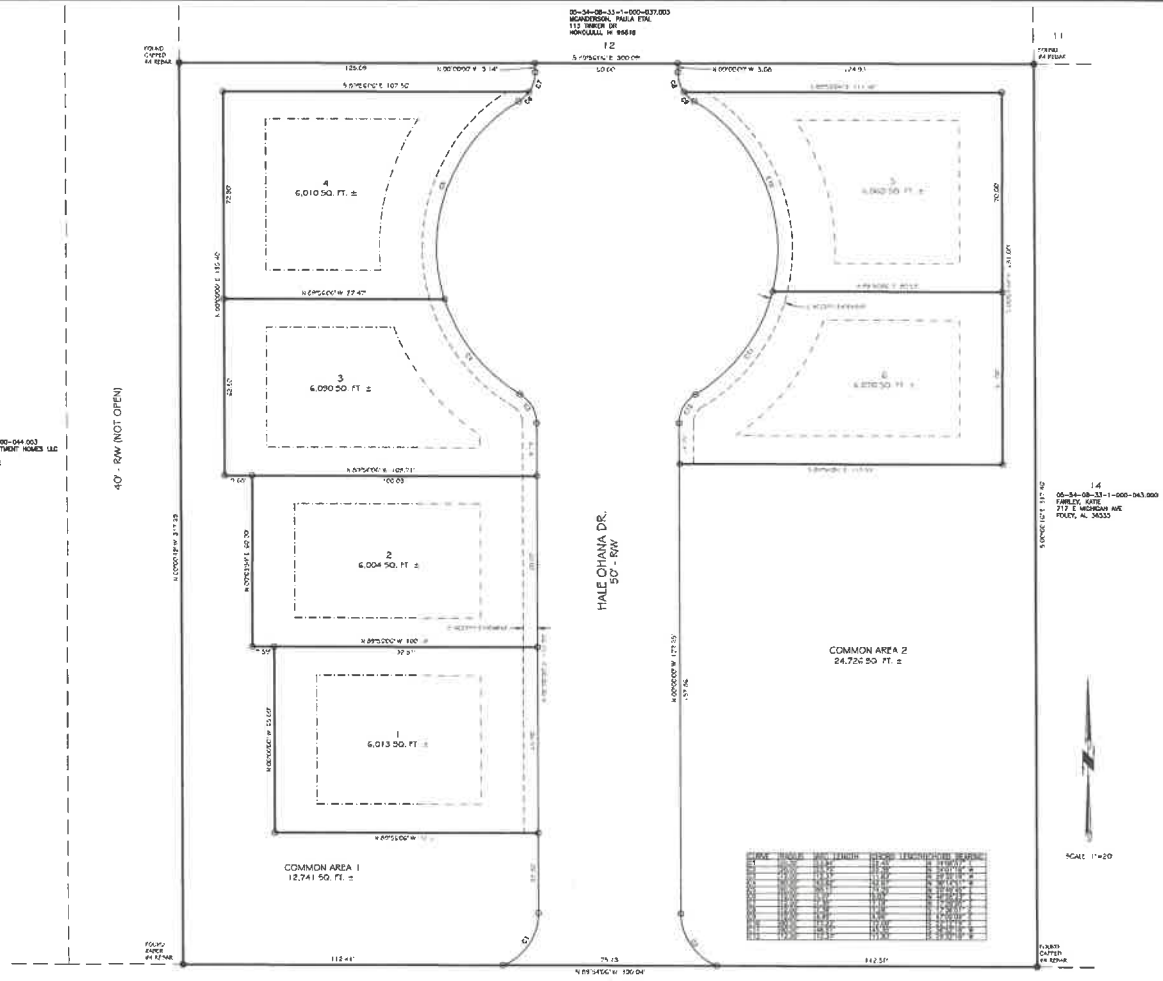
Author's Representative
 The undersigned, as authorized by Board Order, E 9-11 Addressing Board, hereby approves the within plan for recording of same in the Office of the Probate Judge, Baldwin County, Alabama, this _____ day of _____



SITE DATA
 ZONING: RFD
 TOTAL ACRES: 2.19 ACRES
 NUMBER OF LOTS: 6
 SHARPEST LOT: 5,000 SQ FT
 LARGEST LOT: 6,093 SQ FT
 LINEAL FEET OF STREET: 310.0

NOTES:
 1. UNADJUSTED BEARINGS BASED ON ASTROLOGICAL NORTH AS OBTAINED BY GPS OBSERVATION.
 2. LEGAL DESCRIPTION PROVIDED BY CLIENT.
 3. THIS PROPERTY IS PLACED INTO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE MAP NUMBER 22030001001EFFECTIVE 8/1/2015 AND PLUMB TO THE NUMBER 4.

SCALE:
 1" = 10'



NO.	AREA	AREA	PERCENT	TOTAL
1	LOT 1	6,013	2.74	219,187
2	LOT 2	6,004	2.73	219,187
3	LOT 3	6,000	2.72	219,187
4	LOT 4	6,010	2.74	219,187
5	LOT 5	6,042	2.75	219,187
6	LOT 6	6,070	2.77	219,187
7	COMMON AREA 1	12,741	5.81	219,187
8	COMMON AREA 2	24,725	11.28	219,187
9	RESERVE	15,000	6.84	219,187
10	RESERVE	15,000	6.84	219,187
11	RESERVE	15,000	6.84	219,187
12	RESERVE	15,000	6.84	219,187
13	RESERVE	15,000	6.84	219,187
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43	RESERVE	15,000	6.84	219,187
44	RESERVE	15,000	6.84	219,187
45	RESERVE	15,000	6.84	219,187
46	RESERVE	15,000	6.84	219,187
47	RESERVE	15,000	6.84	219,187
48	RESERVE	15,000	6.84	219,187
49	RESERVE	15,000	6.84	219,187
50	RESERVE	15,000	6.84	219,187

06-54-08-33-1-000-001.001
 LOTS 1-6, 8, 9, 11-15
 3030 ARBURY RD.
 VICTORIA HILLS, AL 36314



LEGEND
 CH: CENTERLINE
 CM: COMMON
 R: ROADWAY
 S: SURFACE
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 J: JUNCTION
 K: KURVE
 L: LANE
 M: MILE
 N: NORTH
 O: OTHER
 P: PAVEMENT
 Q: QUANTITY
 R: ROADWAY
 S: SURFACE
 T: TRAIL
 U: UTILITY
 V: VENTILATION
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 E: EROSION CONTROL
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