

**CITY OF FOLEY
PLANNING COMMISSION
WORK SESSION
&
MEETING**

April 15, 2026

**City Hall
Council Chambers
At 4:00 p.m.**

**PLANNING COMMISSION
WORK SESSION AGENDA
April 15, 2026
(Council Chambers of City Hall) 4:00 P.M.**

The City of Foley Planning Commission will hold a work session on April 15, 2026 at 4:00 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

WORK SESSION:

1. Gulf Self Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of the Gulf Self Storage site plan. Property is located at 3501 S. McKenzie St. Applicant is Axis Engineering Company.

2. United Bank- Site Plan

The City of Foley Planning Commission has received a request for approval of the United Bank site plan. Property is located at 516 S. McKenzie St. Applicant is S.E. Civil Engineering & Surveying.

3. Live Oak Village Phase 4- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 4, which consists of 30 +/- acres and 54 lots. Property is located S. of Underwood Rd. and N. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

4. Live Oak Village Phase 5- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 5, which consists of 6.75 +/- acres and 36 lots. Property is located S. of Underwood Rd. and N. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

5. Live Oak Village Phase 7- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 7, which consists of 6.65 +/- acres and 11 lots. Property is located S. of Underwood Rd. and N. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

6. Zoning Ordinance Amendments- Signage

**PLANNING COMMISSION
MEETING AGENDA APRIL 15, 2026
(Council Chambers of City Hall)
Immediately Following Work Session**

The City of Foley Planning Commission will hold a meeting on April 15, 2026 immediately following the work session in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

MEETING MINUTES:

Approval of the March 18, 2026 work session and meeting minutes.

AGENDA ITEMS:

1. Gulf Self Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of the Gulf Self Storage site plan. Property is located at 3501 S. McKenzie St. Applicant is Axis Engineering Company.

Planning Commission Action:

2. United Bank- Site Plan

The City of Foley Planning Commission has received a request for approval of the United Bank site plan. Property is located at 516 S. McKenzie St. Applicant is S.E. Civil Engineering & Surveying.

Planning Commission Action:

3. Live Oak Village Phase 4- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 4, which consists of 30 +/- acres and 54 lots. Property is located S. of Underwood Rd. and N. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Public Hearing:

Planning Commission Action:

4. Live Oak Village Phase 5- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 5, which consists of 6.75 +/- acres and 36 lots. Property is located S. of Underwood Rd. and N. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Public Hearing:

Planning Commission Action:

**PLANNING COMMISSION
MEETING AGENDA APRIL 15, 2026
(Council Chambers of City Hall)
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5. Live Oak Village Phase 7- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 7, which consists of 6.65 +/- acres and 11 lots. Property is located S. of Underwood Rd. and N. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Public Hearing:

Planning Commission Action:

ADJOURN:

**PLANNING COMMISSION
WORK SESSION MINUTES
March 18, 2026
(Council Chambers of City Hall) 4:00 P.M.**

The City of Foley Planning Commission held a work session on March 18, 2026 at 4:00 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Deborah Mixon, Vera Quaites, Wes Abrams, Calvin Hare, Phillip Hinesley and Bill Swanson. Absent members were: Tommy Gebhart, Ralph Hellmich and Larry Engel. Staff present were: Shawn Mitchell, Planning Manager; Nelson Bauer, Infrastructure and Development Manager; Wayne Dyess, Director of Infrastructure and Development; Taylor Davis, City Engineer; Raven Roberts, Deputy City Engineer; Jackie McGonigal, Environmental Manager; Miriam Boone, City Planner; Eden Lapham, Planner 1; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

WORK SESSION:

1. Hidden Meadows- 1 Year Preliminary Extension

The City of Foley Planning Commission has received a request for approval of a 1 year preliminary extension for Hidden Meadows. Property is located S. of County Rd. 20 and W. of the Foley Beach Express. Applicant is Lieb Engineering Company.

Mrs. Miriam Boone stated staff is recommending denial based on the following from the staff report. The age of this preliminary plat, compared to the most current regulations adopted in 2025 (Comprehensive Plan, Subdivision Regulations, and Zoning Ordinance Amendments), results in a development proposal that no longer corresponds adequately with current standards. In addition, the land development permit process was never completed due to ongoing changes throughout the history of this case. First-review comments from multiple departments also remain unaddressed. Fire access requirements have not been met; access roads must be designed to support the imposed load of a fire apparatus weighing 75,000 pounds gross vehicle weight, pursuant to Sections 503.2.3 and D102.1. The condition of the existing gravel road proposed as a secondary access is unknown. Facilities and buildings constructed hereafter must be accessible to fire department apparatus by way of an approved access road with an asphalt, concrete, or otherwise approved driving surface capable of supporting the required load. Due to the extensive changes to the Subdivision Regulations and the lack of progress toward infrastructure development to date, staff recommends denial.

2. Rivi Apartments- Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 9.35+/- acres. Property is currently zoned B-1A (Extended Business District) Proposed zoning is R-3 (Residential Multi-Family). Property is located at 458 E. Riviera Blvd. Applicant is Thompson Engineering.

Mrs. Boone explained the site was conforming when it was built. She stated due to regulation changes the site is considered legal non-conforming. She explained the legal non-conforming status causes issues with the mortgage and insurance companies. She stated staff is recommending approval of the requesting rezoning with the condition that existing signage must be brought to current code. She read the following from the staff report. As-builts showing

**PLANNING COMMISSION
WORK SESSION MINUTES
March 18, 2026
(Council Chambers of City Hall) 4:00 P.M.**

setbacks have been submitted. Acceptance will provide needed variance from the east and west frontage 40' required setbacks for R-3. The buildings were built legally at setbacks of 35.4' on east side and 31' on west side in B-1A. Acceptance of the rezoning by Planning Commission will not remove the onus for compliance with Zoning Ordinance, Article 22 - Sign Regulations.

Mr. Wayne Dyess explained the rezoning to R-3 will make the current use compliant.

3. Jarvis & Deborah Sester- Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 3+/- acres. Property is currently zoned R-2 (Residential Single Family and Duplex). Proposed zoning is PO (Preferred Office District). Property is located at 1510 S. Juniper St. Applicant is Burkco, LLC.

Mrs. Boone stated staff is recommending approval. She read the following from the staff report. The parcel shows presence of potential wetlands on the Baldwin County Parcel Viewer. A wetland Delineation would be required prior to any new development to identify any jurisdictional wetlands on-site, and used to mark any existing wetlands with a 30ft flagged buffer. Flagging the buffer zone would be required prior to the start of construction activity. Please note that building and parking modifications will be required if the existing dwelling is converted to a business occupancy.

Mrs. Eden Lapham explained regulations require parking to be located in the rear or side yard screened with fence or landscaping not to be seen from the road.

4. The Waters at OWA- Minor

The City of Foley Planning Commission has received a request for approval of the Waters at OWA a minor subdivision which consists of 150 +/- acres and 2 lots. Property is located N. of OWA Blvd. and W. of Foley Beach Express. Applicant is Stoa Group.

Mrs. Boone stated staff is recommending approval of the requested minor subdivision.

5. The Waters at OWA- PDD Modification

The City of Foley Planning Commission has received a request for a PDD modification. Property is located N. of OWA Blvd. and W. of the Foley Beach Express. Applicant is Stoa Group.

Mrs. Boone stated staff is recommending approval. She read the following from the staff report. Provide an expanded photometric plan showing where light spread reaches 0.5 fc adjacent to residential.

Chairman Abrams adjourned the work session at 4:18 p.m.

**PLANNING COMMISSION
MEETING MINUTES MARCH 18, 2026
(Council Chambers of City Hall)
Immediately Following Work Session**

The City of Foley Planning Commission will held a meeting on March 18, 2026 immediately following the work session in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Deborah Mixon, Vera Quaites, Wes Abrams, Calvin Hare, Phillip Hinesley and Bill Swanson. Absent members were: Tommy Gebhart, Ralph Hellmich and Larry Engel. Staff present were: Shawn Mitchell, Planning Manager; Nelson Bauer, Infrastructure and Development Manager; Wayne Dyess, Director of Infrastructure and Development; Taylor Davis, City Engineer; Raven Roberts, Deputy City Engineer; Jackie McGonigal, Environmental Manager; Miriam Boone, City Planner; Eden Lapham, Planner 1; Amanda Cole, Planning and Zoning Assistant and Melissa Ringler, Recording Secretary.

Chairman Wes Abrams called the meeting to order at 4:18 p.m.

MEETING MINUTES:

Approval of the February 18, 2026 work session and meeting minutes.

Commissioner Hare made a motion to approve the February 18, 2026 work session and meeting minutes. Commissioner Swanson seconded the motion. All members voted aye.

Motion to approve the February 18, 2026 work session and meeting minute's passes.

AGENDA ITEMS:

1. Hidden Meadows- 1 Year Preliminary Extension

The City of Foley Planning Commission has received a request for approval of a 1 year preliminary extension for Hidden Meadows. Property is located S. of County Rd. 20 and W. of the Foley Beach Express. Applicant is Lieb Engineering Company.

Planning Commission Action:

Mrs. Miriam Boone stated staff is recommending denial due to lack of progress since the preliminary approval in 2024.

Commissioner Hinesley made a motion to deny the requested preliminary extension. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to deny the requested preliminary extension passes.

2. Rivi Apartments- Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 9.35+/- acres. Property is currently zoned B-1A (Extended Business District) Proposed zoning is R-3 (Residential Multi-Family). Property is located at 458 E. Riviera Blvd. Applicant is Thompson Engineering.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item.

**PLANNING COMMISSION
MEETING MINUTES MARCH 18, 2026
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Mr. Mark Taupeka stated he is representing the applicant. He explained the site was conforming when it was built. He stated due to regulation changes the site is considered legal non-conforming. He explained the legal non-conforming status causes issues with the mortgage and insurance companies. He stated a variance has been approved with the condition that we apply to have the property rezoned within 30 days from the date the variance was approved. He explained they will comply with the current R-3 signage requirements.

Mrs. Boone stated the existing signage must be brought to current code.

Planning Commission Action:

Commissioner Hinesley made a motion to recommend the requested rezoning which shall not include the current non-conforming signage. Commissioner Swanson seconded the motion. All Commissioners voted aye.

Motion to recommend the requested rezoning which shall not include the current non-conforming signage passes.

3. Jarvis & Deborah Sester- Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 3+/- acres. Property is currently zoned R-2 (Residential Single Family and Duplex). Proposed zoning is PO (Preferred Office District). Property is located at 1510 S. Juniper St. Applicant is Burkco, LLC.

Public Hearing:

Mr. Wesley Cowan resident of 1410 S. Juniper St. stated he lives north of the property. He explained he is present to hear more about the proposed use of the property.

A representative from Gulf Coast Therapy stated she has been operating in the City of Foley for 12 years and is wanting to open an office in the existing building. She explained there would be no operating of the business on holidays or weekends. She stated they provide one on one therapy and they will have approximately two therapists. She explained it will be a very low key professional office. She stated they are working on making the rear of the building the main entrance. She explained she would be willing to discuss with the neighbor possibly adding fencing.

Mr. Cowan stated he has no opposition regarding the requested rezoning.

Mrs. Boone explained staff is recommending approval. She stated the staff report noted prior to any development of the property a wetland delineation would be required.

Planning Commission Action:

Commissioner Hare made a motion to recommend the requested rezoning to the Mayor and Council. Commissioner Hinesley seconded the motion. All Commissioners voted aye.

**PLANNING COMMISSION
MEETING MINUTES MARCH 18, 2026
(Council Chambers of City Hall)
Immediately Following Work Session**

Motion to recommend the requested rezoning to the Mayor and Council passes.

4. The Waters at OWA- Minor

The City of Foley Planning Commission has received a request for approval of the Waters at OWA a minor subdivision which consists of 150 +/- acres and 2 lots. Property is located N. of OWA Blvd. and W. of Foley Beach Express. Applicant is Stoa Group.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. There were none.

Mrs. Boone stated staff is recommending approval.

Planning Commission Action:

Commissioner Swanson made a motion to approve the requested minor subdivision. Commissioner Quaites seconded the motion. All Commissioners voted aye.

Motion to approve the requested minor subdivision passes.

5. The Waters at OWA- PDD Modification

The City of Foley Planning Commission has received a request for a PDD modification. Property is located N. of OWA Blvd. and W. of the Foley Beach Express. Applicant is Stoa Group.

Planning Commission Action:

Mrs. Boone explained a site plan will come before the Commission at a later date. She stated staff is recommending approval of the requested PDD modification.

Commissioner Swanson asked how many units would be in the multi-family development.

Mr. Blake Brinson stated there are 312 units in the development.

Commissioner Swanson made a motion to approve the requested PDD modification. Commissioner Hare seconded the motion. All Commissioners voted aye.

Motion to approve the requested PDD modification passes.

ADJOURN:

Chairman Abrams adjourned the meeting at 4:29 p.m.

Meeting adjourned at 4:29 p.m.

Note: *Denotes property located in the Planning Jurisdiction



PLANNING COMMISSION JOINT STAFF REPORT APRIL 2026

STAFF RECOMMENDATION: Conditional Approval
PROJECT NAME: Self Storage Facility
REQUEST: Zoning - Site Plan Approval
SUBTYPE: Property is in a PDD
OWNER / APPLICANT: Axis Engineering Group - Jonathan Petty

ACREAGE: 6.67

NUMBER OF LOTS: 1

PIN#(s): 624796

LOCATION:
3501 S MCKENZIE ST

PROJECT DESCRIPTION:
Self Storage Facility

CURRENT CITY ZONING:
PUD - Planned Unit Development

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

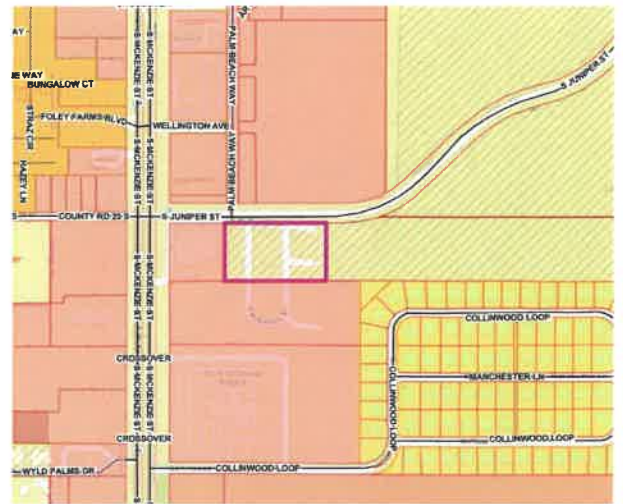
ADJACENT ZONING:
Residential PUD & B-1A

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Commercial Corridor/General Node
edge

EXISTING LAND USE:
Vacated RV Park



PC JOINT STAFF REPORT

Permit #: ZSP26-000001

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering**Review Status:** Approved**Reviewer:** Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. 3/16/2026 revised Landscape Plan Sheet No. C2-0 document uploaded. Revised plan lists twenty two (22) Magnolias, twenty three (23) Oaks, and two (2) Crape myrtles to be installed on site. 3.64 acre commercial site will require 10 trees/acre density = 36 native trees. This tree density is satisfied within the current landscape plan [LDO sec. 5-3-2]
2. Baldwin County Parcel Viewer Map shows potential wetland layer over large portions of this site. There has not been a wetland deliniation report or uploaded to this file yet. Any identified jurisdictional wetlands will need to be marked with a flagged 30 ft buffer prior to the start of any land clearing/construction activities during the Land Development phase. Please note that stormwater cannot be conveyed into a JD wetland area. If there are no jurisdictional wetlands on site, please note that in the report. [Baldwin Co. Parcel Viewer Potential Wetland Layer; LDO 2022]

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved with Comments

1. A hydrant is required to be within 100ft of the fire department connection for the automatic sprinkler system.

Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved with Comments

1. Landscape buffer comments have been addressed.
2. Photometric Plan needs amended. Light fixtures are acceptable, but light spill exceeds allowable limits on north and west sides. Markup document is saved to file.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

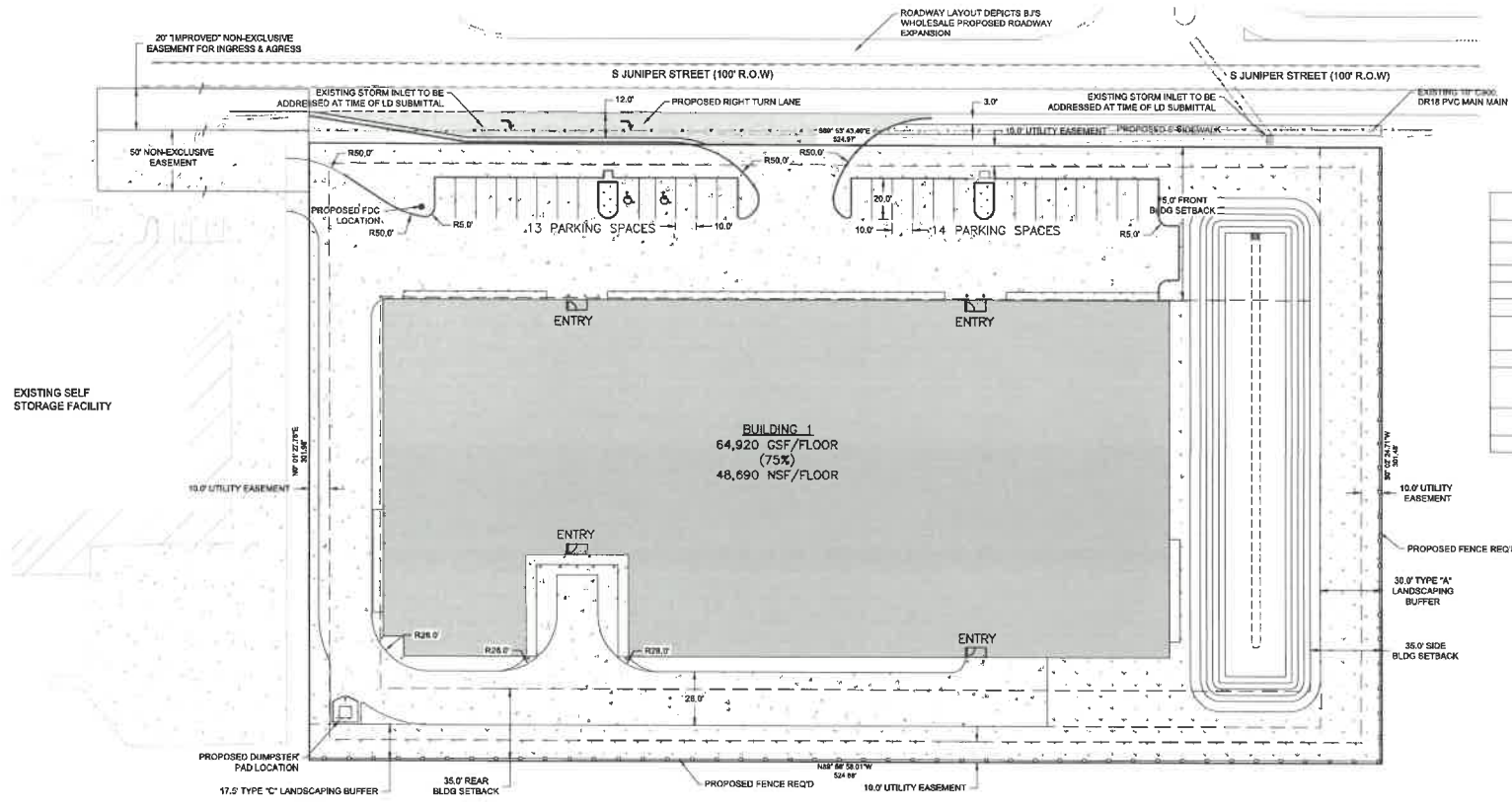
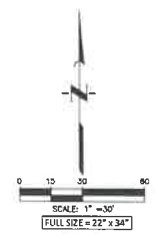
Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.

**PRELIMINARY
FOR REVIEW ONLY**



SITE DATA TABLE	
PARCEL #	05-61-02-09-3-001-001,004
CURRENT ZONING	PDD
LOT SIZE	3.64 ACRES
IMPERVIOUS AREA	2.46 ACRES
OPEN AREA	0.78 ACRES (21.4%)
SETBACKS	FRONT: 75 REAR: 35 SIDE: 35
POND SIZE	0.38 ACRES
REQUIRED PARKING	2 SPACES PER OFFICE 1 SPACE PER 25 STORAGE UNITS 21 TOTAL SPACES REQ'D
PROVIDED PARKING	25 STANDARD STALLS 2 HANDICAP STALLS
FLOOD ZONE	ZONE X

LEGEND	
	PROPOSED CONCRETE
	PROPOSED BUILDING AREA
	PROPOSED OPEN SPACE/LANDSCAPE AREA

PROJECT NO. C-013626
DESIGNED: JJP
DRAWN: JJP
CHECKED: CRK
SCALE: 1" = 30'
DATE: 9/10/2026

AEG
AXIS ENGINEERING GROUP
200 W. LAUREL AVENUE SUITE 120, FOLEY AL 36535
251-238-1888
WWW.AXISGROUP.COM

REVISIONS	DESCRIPTION	DATE

CITY OF FOLEY
SELF STORAGE FACILITY
GULF STORAGE GROUP FOLEY II, LLC
JUNIPER STREET
FOLEY, ALABAMA 36535

JONATHAN J. PRETTY
PROFESSIONAL ENGINEER
#51076

SITE PLAN

SHEET NO.
C-1.0

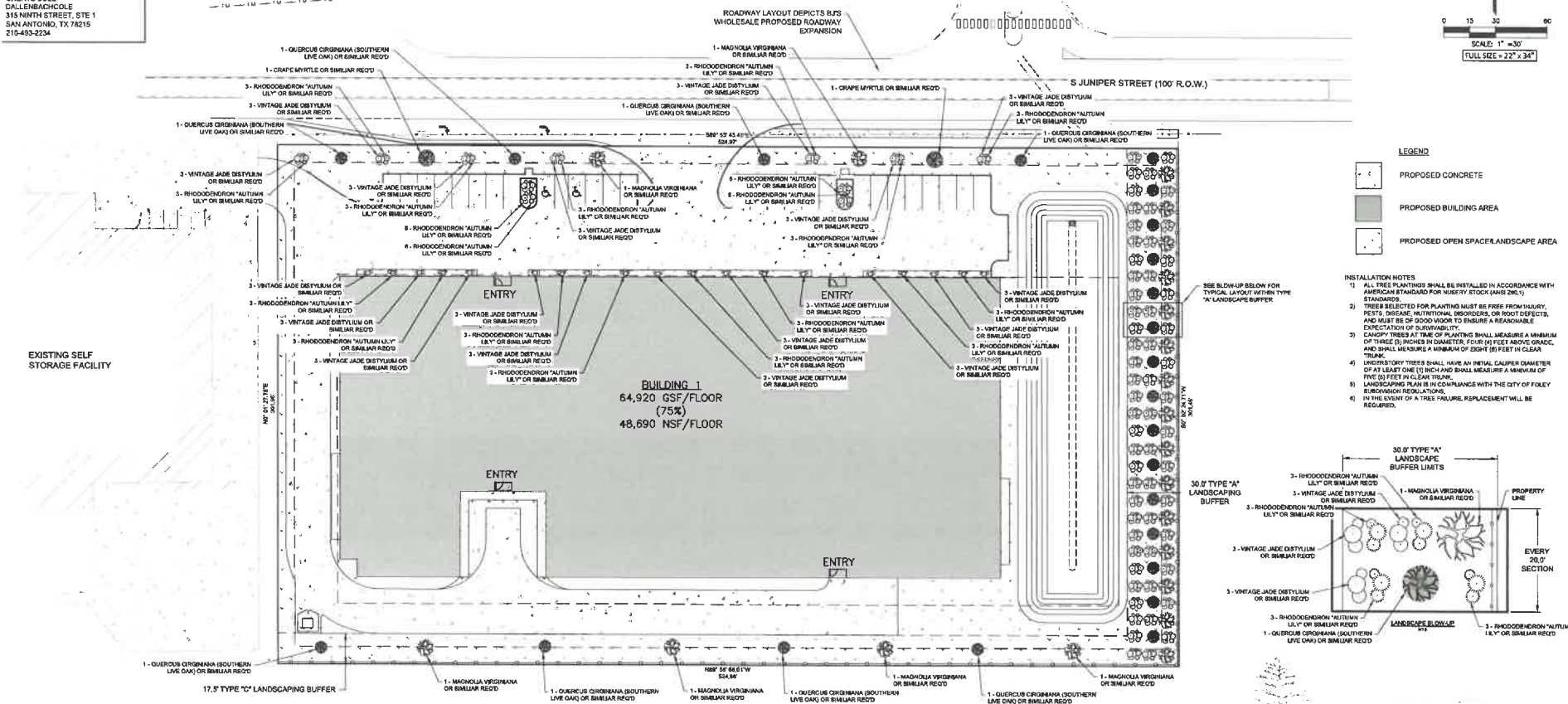
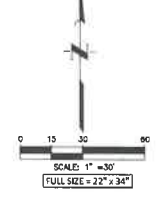
OWNER
GULF STORAGE GROUP FOLEY II, LLC
122 LOWER WOODVILLE ROAD
NATCHEZ, MS 39120
601-597-1732

ENGINEER OF RECORD
JONATHAN PETTY, P.E.
AXIS ENGINEERING GROUP
200 WEST LAUREL AVE, STE 120
FOLEY, AL 36535
251-233-1988

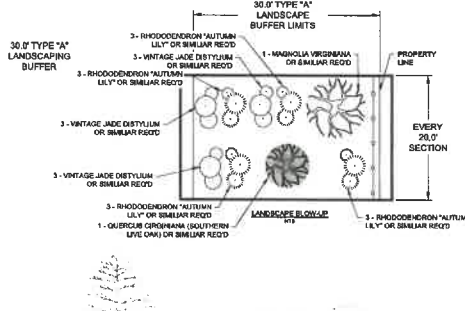
ARCHITECT
CHERYL COLE
CALLENBACH/COLE
315 NINTH STREET, STE 1
SAN ANTONIO, TX 78215
214-493-3234

**PRELIMINARY
FOR REVIEW ONLY**

PROJECT NO. C0192424
DESIGNED: JUP
DRAWN: JUP
CHECKED: CHK
SCALE: 1" = 30'
DATE: 3/12/2026



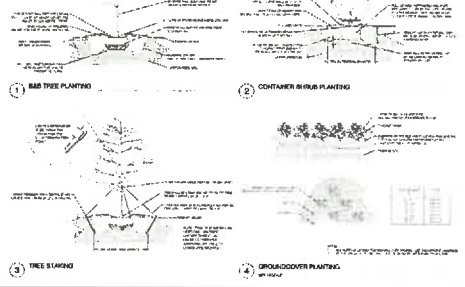
- INSTALLATION NOTES**
- ALL TREE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) STANDARDS.
 - TREES SELECTED FOR PLANTING MUST BE FREE FROM DISEASE, PESTS, DISFIGURE, NUTRITIONAL DEFICIENCIES, OR ROOT DEFECTS, AND MUST BE OF GOOD WOOD TO ENSURE A REASONABLE EXPECTATION OF SURVIVABILITY.
 - CANOPY TREES AT TIME OF PLANTING SHALL MEASURE A MINIMUM OF THREE (3) INCHES IN DIAMETER, FOUR (4) FEET ABOVE GRADE, AND SHALL MEASURE A MINIMUM OF SEVEN (7) FEET IN CLEAR TRUNK.
 - LANDSCAPE PLAN IS IN COMPLIANCE WITH THE CITY OF FOLEY SUBORDINATE REGULATIONS.
 - IN THE EVENT OF A TREE FAILURE, REPLACEMENT WILL BE REQUIRED.



PLANT SCHEDULE

TREES	QUANTITY	COMMON / BOTANICAL NAME	SIZE	ROOT	CONDITION
	2	CRAPE MYRTLE OR SIMILAR	2.5' CAL / 4' HT	848	8' CLEAR TRUNK, FULL CANOPY
	22	MAGNOLIA VIRGINIANA OR SIMILAR	2.5' CAL / 4' HT	848	8' CLEAR TRUNK, FULL CANOPY, UNIFORM GROWTH HABIT
	23	QUERCUS COCCINEA (SOUTHERN LIVE OAK) OR SIMILAR	3' CAL / 4' HT	848	8' CLEAR TRUNK, FULL CANOPY, UNIFORM GROWTH HABIT
SHRUBS	QUANTITY	COMMON / BOTANICAL NAME	SIZE	ROOT	CONDITION
	246	VINTAGE JADE DISTYLIUM / DISTYLIUM VINTAGE JADE/ OR SIMILAR	3' CAL	CONTAINER	MATCHING, FULL TO GROUND
	237	RHODOENDRON 'AUTUMN LILY' OR SIMILAR	3' CAL	CONTAINER	MATCHING, FULL TO GROUND

NOTE: DEVIATION FROM PLANT SPECIFICATIONS SHALL BE PERMITTED UNDER THE CONDITION THE ALTERNATIVE PLANT IS SIMILAR AND IN ACCORDANCE WITH CITY OF FOLEY LANDSCAPING REQUIREMENTS.



AEG
AXIS ENGINEERING GROUP
200 W. LAUREL AVENUE, SUITE 275, FOLEY, AL 36535
251-233-1988
WWW.AXISGROUP.COM

REVISIONS

NO.	DATE	DESCRIPTION

CITY OF FOLEY
SELF STORAGE FACILITY
GULF STORAGE GROUP FOLEY II, LLC
JUNIPER STREET
FOLEY, ALABAMA 36536

JONATHAN J. PETTY
PROFESSIONAL ENGINEER
#58876

SHEET NO.
C-2.0

LANDSCAPING PLAN



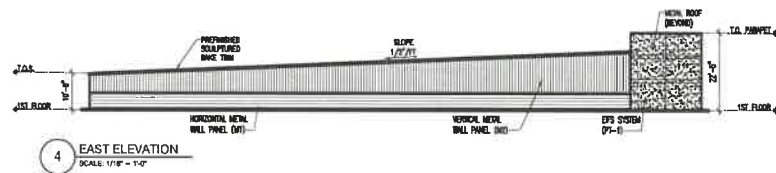
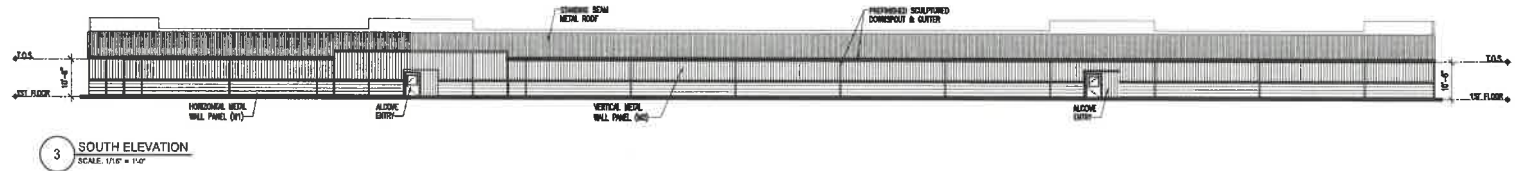
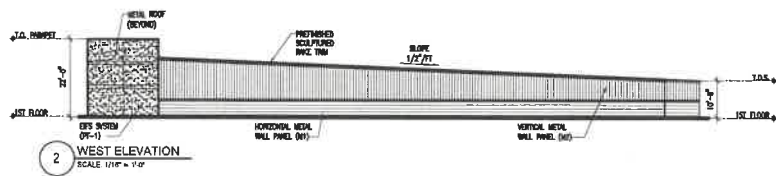
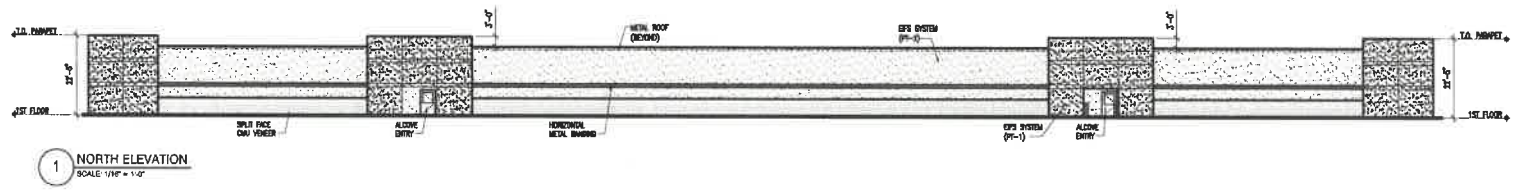
NORTH ELEVATION (PARTIAL)

PARTIAL ELEVATION
SCALE: 3/16" = 1'-0" 01.09.2026

GULF SELF STORAGE
3521 MCKENZIE STREET, FOLEY, AL 36535

THIS DOCUMENT IS NOT FOR REGULATORY
APPROVAL, PERMITTING, OR CONSTRUCTION.
JEFFREY S. DALLENBACH, AIA
TX REGISTRATION NO. 15128
CONCEPTUAL SITE PLAN HAS BEEN
DEVELOPED WITHOUT SURVEY, SETBACK,
EASEMENT, OR CIVIL ENGINEERING
INFORMATION.
DCA (PROJECT 2530)

DALLENBACH·COLE
ARCHITECTURE
315 NINTH STREET - SUITE 1
SAN ANTONIO, TEXAS 78215
WWW.DALLENBACHCOLE.COM
P 210.493.2234



ELEVATIONS
SCALE: 1/16" = 1'-0"
01.10.2026

GULF STORAGE EXPANSION
3521 MCKENZIE STREET, FOLEY, AL 36535

THIS DOCUMENT IS NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.
JEFFREY S. DALLENBACH, AIA
TX REGISTRATION NO. 15128
CONCEPTUAL SITE PLAN HAS BEEN DEVELOPED WITHOUT SURVEY, SETBACK, EASEMENT, OR CIVIL ENGINEERING INFORMATION.
DCA 2530

DALLENBACH·COLE
ARCHITECTURE
315 NINTH STREET - SUITE 1
SAN ANTONIO, TEXAS 78205
WWW.DALLENBACHCOLE.COM
P 210.493.2234



PLANNING COMMISSION JOINT STAFF REPORT APRIL 2026

STAFF RECOMMENDATION: Conditional Approval

PROJECT NAME: United Bank

REQUEST: Zoning - Site Plan Approval

SUBTYPE: Place Types (nodes, neighborhoods, corridors, overlay districts, and special use districts)

OWNER / APPLICANT: S.E. Civil Engineering & Surveying - Larry Smith

ACREAGE: 0.99

NUMBER OF LOTS: 1

PIN#(s): 247618

LOCATION:
516 S MCKENZIE ST

PROJECT DESCRIPTION:
United Bank

CURRENT CITY ZONING:
B-1A - Extended Business District

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

ADJACENT ZONING:
B-1A

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Commercial Corridor

EXISTING LAND USE:
United Bank on west end, parking/greenspace on east end



PC JOINT STAFF REPORT

Permit #: ZSP26-000004

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering
Review Status: Approved with Comments

1. Engineering is in agreement with the other departments regarding an expiration for the temporary structure and requiring it's removal after 14 months.
2. The site plan review phase is not an exhaustive technical review of all site elements and features. A complete technical review will be performed during the land development permit review process.

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental
Review Status: Approved with Comments

1. Following 1st Review comment was noted within the applicants PZ-Response letter: "The 22-2028 Land Development Ordinance is in the process of being updated with new requirements to be adopted by the next month. This project's LDP application, review, and approval will be subject to the updated LDO. Please refer to Engineering comments."
2. 2/23/26 Landscape plan reviewed; this project exceeds the ten (10) native tree density per commercial acre planting requirement. One Live Oak (38" DBH) to be preserved on-site (+6 native tree credits). Preserved 38" DBH Live Oak identified in Revised Civil Plan's Demo page, and details protection measures and methods during all land disturbing/construction activity.
3. Once this project is at the LDP application phase, please indicate on Civil Plans C03-1 -- C03-2 Erosion & Sediment Control Notes #16 in reference to monitoring after storm events = what rainfall amount will trigger a post rain event inspection.

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department
Review Status: Approved with Comments

1. Comments from 1st review have been addressed.

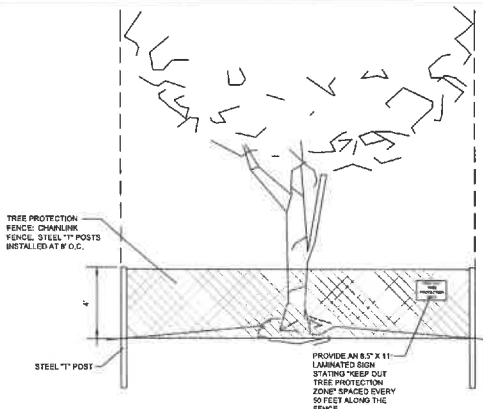
Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning
Review Status: Pending

1. Application to the Zoning Board of Adjustment and Appeals has been made for a temporary 2-way lane width of 21 feet (instead of 25') and an extension for the 3 month maximum for a temporary/mobile structure. Zoning Staff's recommendation to PC is pending the determination by ZBAA at the April meeting.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department
Review Status: Approved with Comments

1. The temporary structure will be required to be permitted and meet all building codes/wind design; this proposed temporary building shall have approval form the Alabama Manufactured Housing Commission. Accessible parking will be required and plans to meet chapter 33 of the 2024 IBC shall be provided for review at building permit application.

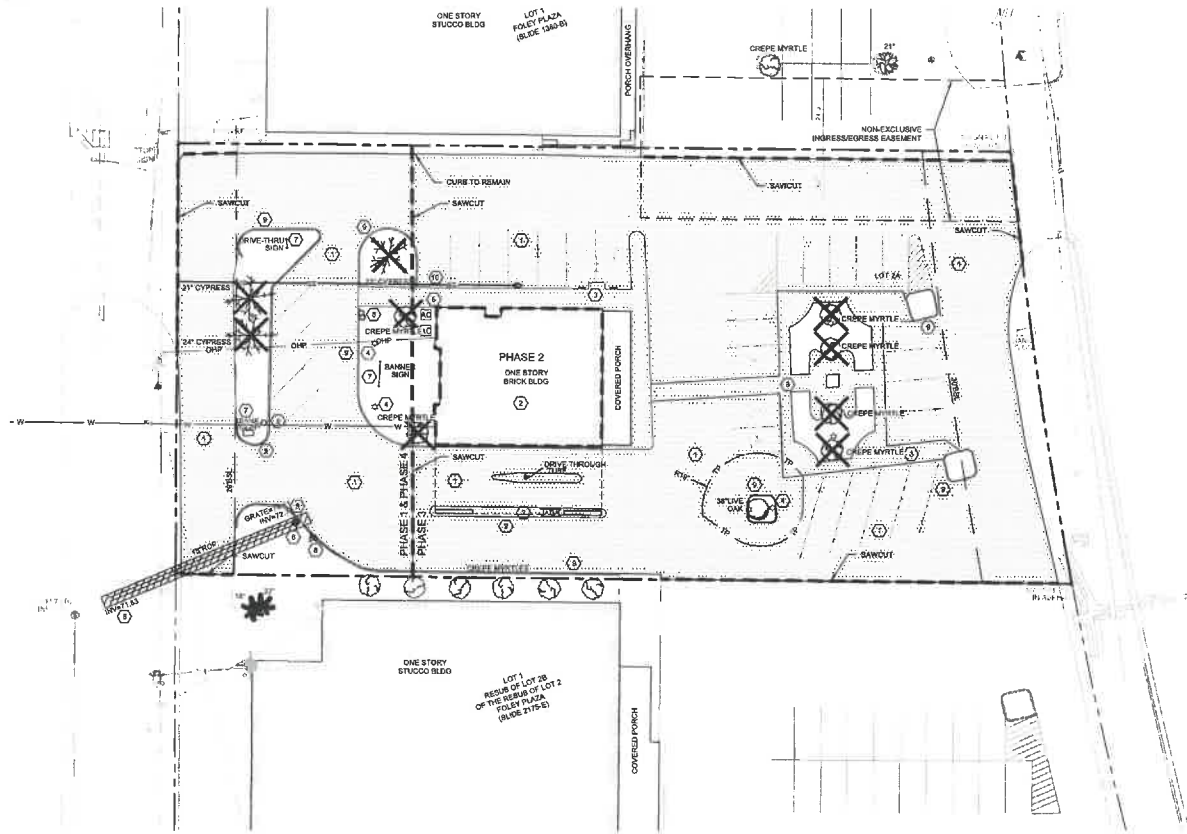
SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.



TREE BARRICADE

SCALE NTS

NOTE
TREE BARRICADE SHALL BE IN PLACE AT THE OUTER EDGE OF THE DMP LINE OF THE TREE PRIOR TO ANY LANDSCAPE DISTURBANCE.



TREE REMOVAL NOTES

- OBTAIN ALL PERMITS FROM STATE AND LOCAL AUTHORITIES PRIOR TO THE DEMOLITION AND REMOVAL OF ANY STRUCTURES, TREES, FENCES, OR INFRASTRUCTURE.
- ALL DEBRIS, STRUCTURES, INFRASTRUCTURE, PIPES, POLES, CABLE, PAVING, AND ANY OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE AT A PERMITTED FACILITY.
- CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REVEAL EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR DRIVE ENTRANCES AND SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE CONTRACTOR'S CONTRACT WITH THE OWNER.
- ON-SITE BURNAL DISPOSAL OF CONSTRUCTION AND DEMOLITION (C&D) WASTE IS PROHIBITED. CONSTRUCTION AND DEMOLITION WASTE HEAVY BUILDING MATERIALS FROM CONSTRUCTION AND DEMOLITION OPERATIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO, ASBESTOS-CONTAINING WASTE, WOOD, BRICKS, METAL, CONCRETE, WALL BOARD, PAPER, AND GYPSUMBOARD.
- INSTALL PERMETER SEDIMENT BARRIERS AND TREE PROTECTION PRIOR TO DEMOLITION REFER TO EROSION AND SEDIMENT CONTROL PLAN AND LANDSCAPE PLAN FOR DETAILS.
- MAKE SAWCUTS AT AREAS WHERE PAVING IS TO REMAIN. CURBING SHOULD BE REMOVED TO AN EXISTING JOINT.

DEMOLITION PHASING NOTES

PHASE 1

- REMOVE CURB, LANDSCAPING, SIGNAGE, ETC. WITHIN THE PHASE 1 AREA AS NECESSARY TO PREPARE THE SITE FOR THE INSTALLATION OF THE TEMPORARY BANK TRAILER.
- THE EXISTING BANK BUILDING SHALL REMAIN OPERATIONAL THROUGHOUT PHASE 1. NO INTERRUPTIONS TO UTILITY SERVICES SHALL BE PERMITTED DURING THE BANK'S OPERATING HOURS.
- NO DRIVEWAYS OR PARKING AREAS ARE INTENDED TO BE REMOVED AS PART OF PHASE 1 EXCEPT AS NECESSARY TO INSTALL UTILITY SERVICES OR CREATE CLEAN JOINTS BETWEEN EXISTING AND INSTALLED PAVEMENT. ANY PAVEMENT REMOVED FOR UTILITY OR STORM INSTALLATION SHALL BE PATCHED AS NECESSARY FOR BANK AND/OR TEMPORARY TRAILER OPERATION.

PHASE 2

- AFTER THE TEMPORARY BANK TRAILER IS INSTALLED AND OPERATIONAL, DEMO THE EXISTING BANK BUILDING.
- AREAS OUTSIDE THE BUILDING ARE TO REMAIN UNDISTURBED DURING THIS PHASE TO PREVENT EROSION OR SEDIMENTATION AROUND THE SITE. IF SIGNIFICANT SITE DISTURBANCE OCCURS, THEN TEMPORARY EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SEDIMENT BARRIERS, SLOPE PROTECTION, TEMPORARY MULCH, AND BIERD SHALL BE INSTALLED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

PHASE 3

- FULL DEMOLITION OF THE PHASE 3 AREA CAN COMMENCE. SEE EROSION AND SEDIMENT CONTROL PLANS FOR SEQUENCING OF BMP INSTALLATION RELATIVE TO SITE WORK.
- SAWCUT ASPHALT AT PHASE LINE FOR PHASE 3 PAVEMENT DEMOLITION.

PHASE 4

- AFTER THE NEW BANK IS CONSTRUCTED AND OPERATIONAL, THE TEMPORARY BANK TRAILER CAN BE REMOVED AND THE CONTRACTOR CAN GRUBBER WITH FULL DEMOLITION OF THE PHASE 4. SEE EROSION AND SEDIMENT CONTROL PLANS FOR SEQUENCING OF BMP INSTALLATION RELATIVE TO SITE WORK.

TREE REMOVAL LEGEND

REMOVAL	X
TREE PROTECTION FENCE	TP
TREE REMOVAL	
TYPE	QTY
CREPE MYRTLE	8
21" CYPRESS	1
22" CYPRESS	1
24" CYPRESS	1

DEMOLITION LEGEND

PIPE REMOVAL	
REMOVAL - ASPHALT/CONCRETE/TRAVEL	
ASPHALT SAWCUT	

DEMOLITION SYMBOLS

- REMOVE PAVING AND BASE MATERIAL
- REMOVE STRUCTURE AND ALL ASSOCIATED ENTRANCE RAMPS, STEPS, AND WALKS
- REMOVE CONCRETE SIDEWALK
- RELOCATE OVERHEAD POWER LINES, POLES, LIGHTS AND LIGHT POLES (SEE ELECTRICAL PLANS)
- REMOVE AC UNITS
- REMOVE STORM DRAIN PIPES AND STRUCTURES
- REMOVE SIGNS
- REMOVE WATER/IRRIGATION APPURTENANCES
- REMOVE CURBS
- REMOVE SEWER SERVICE

DATE

REVISION

S.E. Civil
ENGINEERING & SURVEYING
P.L.L.C.

DEMOLITION & TREE REMOVAL PLAN

United Bank
1111 Highway 97
Pine Bluff, Arkansas 71601



JOB No. 20281543 DATE 3/14/26
DRAIN DRL SCALE 1"=20'

SHEET
D01





SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF FOLEY REGULATIONS AND CODES AS WELL AS C.S.A. AND ALDOT STANDARDS.
2. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED.
3. ALL PAVED, CURBED, OR STRIPPED RADII ARE TO BE 4' UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, DRIVE, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
7. THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
8. REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS AND ISLAND DETAILS.
9. PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
10. CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSI.
11. HANDICAP RAMPS AND PARKING STALLS SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
12. THIS SITE IS ZONED B-1A (EXTENDED BUSINESS DISTRICT).
13. TOTAL SITE ACREAGE 40.99 ACRES.
14. NOTIFY CITY OF FOLEY INSPECTIONS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
15. ALL STRIPING IN FLOW TO BE CLASS A TYPE 2 THERMOPLASTIC.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
17. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
18. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED R.O.W. AND MUST BE STORED WITHIN THE SITE.
19. DURING CONSTRUCTION, ACCESS ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED. THE WIDTH OF THE ACCESS ROADWAY DURING CONSTRUCTION, SHALL BE 20 FT PER STANDARD PERC PREVENTION CODE, LATEST EDITION.
20. ALL NON-HANDICAP PARKING SPACES LINES WILL BE WHITE.
21. ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 9TH EDITION, LATEST EDITION. REFERENCE THE SIGN CODES CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAINT MARKINGS, REFERENCING DETAILS IN ALDOT'S ROADWAY AND TRAFFIC CONTROL STANDARDS WHERE APPLICABLE.
22. NO "PROTECTED TREES" WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
23. FIRE LANES AND SIGNAGE TO MEET REQUIREMENTS OF MFA 1 CHAPTER 18.
24. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES ON SITE AND TO ADJACENT PROPERTIES.
25. PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD LOCATED TO VERIFY LOCATIONS, ELEVATION AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
26. CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING UTILITIES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
27. THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.
28. REFER TO STRUCTURAL PLANS FOR THE COLUMN GRID LAYOUT AND INFORMATION REQUIRED TO LAYOUT THE BUILDING WITHIN THE FOUNDATIONS.
29. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR STAIR DETAILS.

SITE PLAN PHASE 1 NOTES

1. PHASE 1 SHALL CONSIST OF PREPARING THE SITE FOR THE INSTALLATION OF THE TEMPORARY BANK TRAILER. THE EXISTING BANK SHALL REMAIN OPERATIONAL DURING PHASE 1. CONTRACTOR SHALL PROVIDE MEANS FOR PUBLIC TO ACCESS DRIVE-THRU LANES & DIRECTING TRAFFIC TO DRIVE-THRU DURING THIS PHASE.
2. EXISTING PAVEMENT AT HANDICAP PARKING & ALONG ACCESSIBLE PATH SHALL BE EVALUATED FOR ADA COMPLIANCE. IF NON-COMPLIANT AREAS EXIST, PAVEMENT SHALL BE REMOVED & REPLACED AS NECESSARY TO CREATE ADA ACCESSIBLE PARKING & PATH TO THE TEMPORARY BANK TRAILER.

PARKING DATA (TEMP BANK TRAILER)	
PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (1 SPACE/400SF) =	7
TOTAL PROVIDED =	8

SITE PLAN LEGEND

	EXISTING	TRAFFIC CONTROL ARROW		PROPOSED
		CURB & GUTTER		
		HEADER CURB		
		RIBBON CURB		
		PARKING QUANTITY		
		ACCESSIBLE PARKING SPACE		
		TRAFFIC SIGN		
		EXISTING ASPHALT PAVING (TO REMAIN IN PHASE 1)		
		CONCRETE PAVING		
		LIGHT DUTY (TEMPORARY) ASPHALT PAVING		
		GRAVEL PAVEMENT (TEMPORARY)		

X" SW/L - X" WIDE SINGLE YELLOW SOLID LINE
 X" SW/L - X" WIDE SINGLE WHITE BROKEN LINE
 X" SW/L - X" WIDE SINGLE WHITE SOLID LINE



DATE	REVISION



SITE PLAN PHASE 1

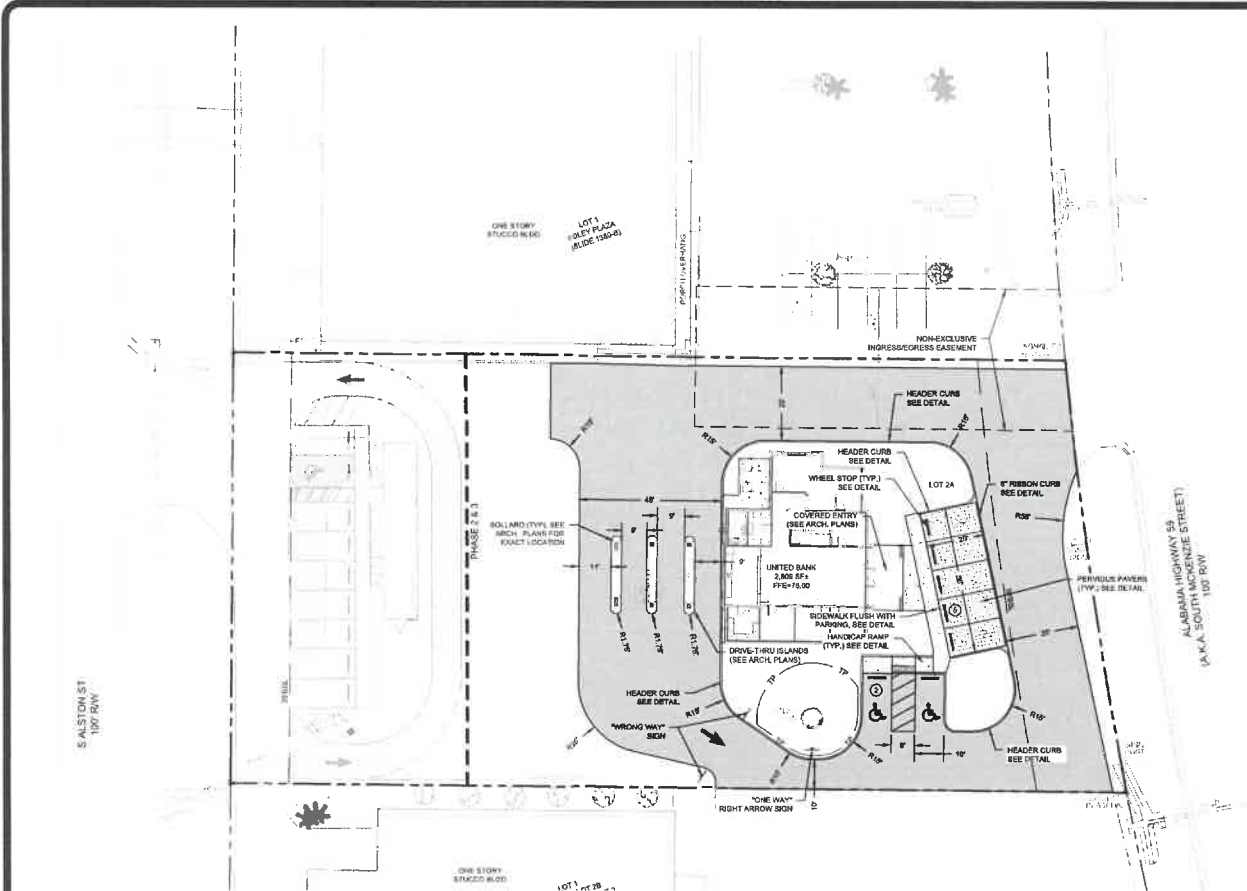
United Bank
11600 N. Highway 99
Tulsa, Oklahoma 74133



JOB No. 20261593 DATE 3/24/26
DRAWN ORL SCALE 1"=20'

SHEET
C01.1





SITE PLAN PHASE 2 & 3 NOTES

- PHASE 2**
- PHASE 2 SHALL INCLUDE THE DEMOLITION OF THE EXISTING BUILDING. PHASE 2 SHALL NOT COMMENCE UNTIL THE TEMPORARY BANK TRAILER IS OPERATIONAL.
 - AREAS OUTSIDE THE BUILDING ARE TO REMAIN UNDISTURBED DURING THIS PHASE TO PREVENT EROSION OR SEDIMENTATION AROUND THE SITE. IF SIGNIFICANT SITE SOIL LURMANS OCCURS, THEN TEMPORARY EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SEDIMENT BASINS, SEDIMENT BARRIERS, INLET PROTECTION, TEMPORARY SLOUCH, AND REEF SHALL BE INSTALLED AS NECESSARY TO PREVENT EROSION AND SEDIMENTATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
- PHASE 3**
- PHASE 3 SHALL INCLUDE CONSTRUCTION OF THE EXISTING BUILDING AND ALL SITE IMPROVEMENTS SHOWN HERE AS WELL AS ASSOCIATED PHASE 3 GRADING & DRAINAGE, EROSION CONTROL, AND UTILITY IMPROVEMENTS.
 - SEE EROSION AND SEDIMENT CONTROL PLANS FOR SEQUENCING OF BMP INSTALLATION RELATIVE TO SITE WORK.
 - NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL PHASE 3 IMPROVEMENTS HAVE BEEN COMPLETED.

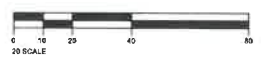
PARKING DATA (NEW BANK BUILDING)

PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (1 SPACE/UNIT) =	7
TOTAL PROVIDED =	7

SITE PLAN LEGEND

	EXISTING	TRAFFIC CONTROL ARROW		PROPOSED
		CURB & GUTTER		
		HEADER CURB		
		RIBBON CURB		
		PARKING QUANTITY		
		ACCESSIBLE PARKING SPACE		
		TRAFFIC SIGN		
		PERVIOUS PAVERS		
		CONCRETE PAVING		
		STANDARD DUTY ASPHALT PAVING		
		EXISTING ASPHALT PAVING (TO REMAIN IN PHASE 3)		
		GRAVEL PAVEMENT (TEMPORARY)		

X" DYSL - X" WIDE SINGLE YELLOW SOLID LINE
 X" DYSL - X" WIDE DOUBLE YELLOW SOLID LINE
 X" DYSL - X" WIDE SINGLE WHITE SOLID LINE



REVISION

DATE

S.E. Civil
Engineering & Surveying
4140 W. UNIVERSITY BLVD
TALLAHASSEE, FL 32310
PH: 904.251.1111

SITE PLAN
PHASE 2 & 3

United Bank
1000 N. Alabama 2023

ALABAMA STATE ENGINEERING BOARD
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
JAMES M. SMITH
TALLAHASSEE, FL

JOB No. 20231993 DATE 3/24/23
DRAWN DRL SCALE 1"=20'

SHEET
C01.2



Preliminary Pricing Set February 16, 2026



A New Branch for United Bank FOLEY, ALABAMA

artist's depiction - not for construction
reference

W
WALCOTT
ADAMS
VERNEUILLE
ARCHITECTURE INTERIORS
1 SOUTH SCHOOL STREET
FAIRHOPE, AL 36532
(251) 928-6041



*A New Branch for
United Bank*
516 S McKenzie St.
Foley, AL 36535

Date	February 16, 2026
Revised	
Revised	
Revised	
Drawn	
Checked	
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T1.1
Title



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WALCOTT
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VERNEUILLE
 ARCHITECTURE INTERIORS
 1 SOUTH SCHOOL STREET
 FAIRHOPE, AL 36532
 (251) 975-0241

A New Branch for
United Bank
 516 S McKenzie St.
 Foley, AL 36535

Date	February 11, 2024
Revised	
Revised	
Revised	
Drawn	
Checked	

A3.1
 Building Elevations



1
A3.1
Rear Elevation - East
 1/4"=1'-0"

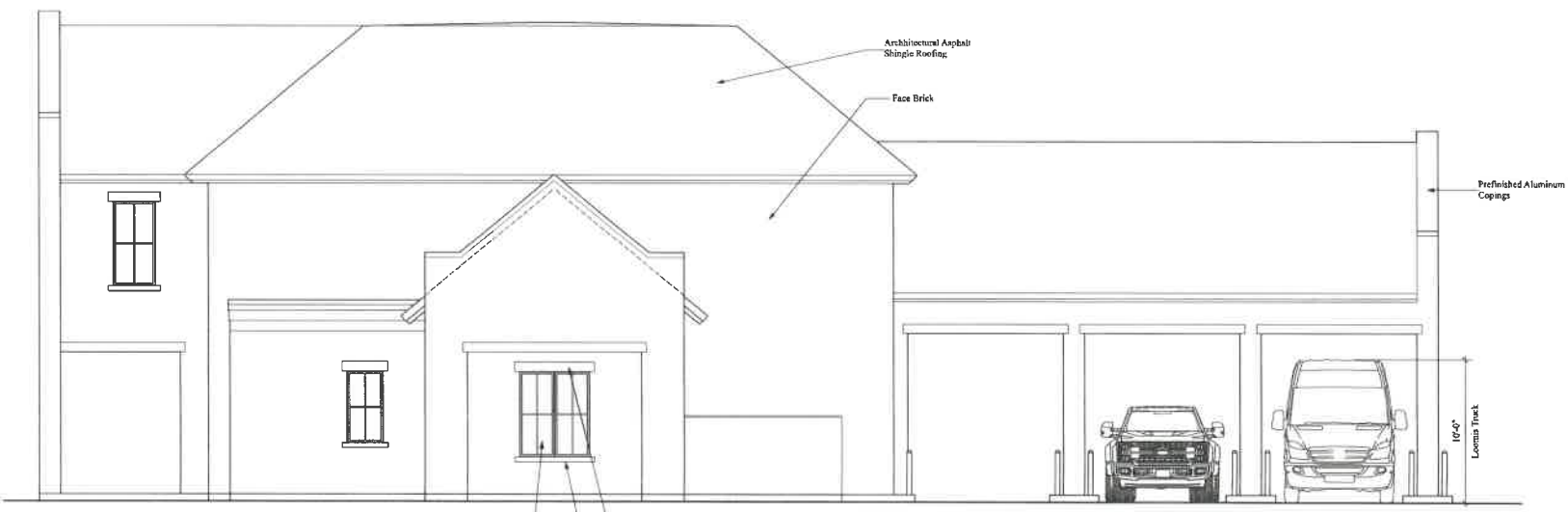


2
A3.1
Rear Elevation - East
 1/4"=1'-0"

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1
A3.2
Rear Elevation - West
1/4"=1'-0"



2
A3.2
Side Elevation - North
1/4"=1'-0"

W
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Foley, AL 36535

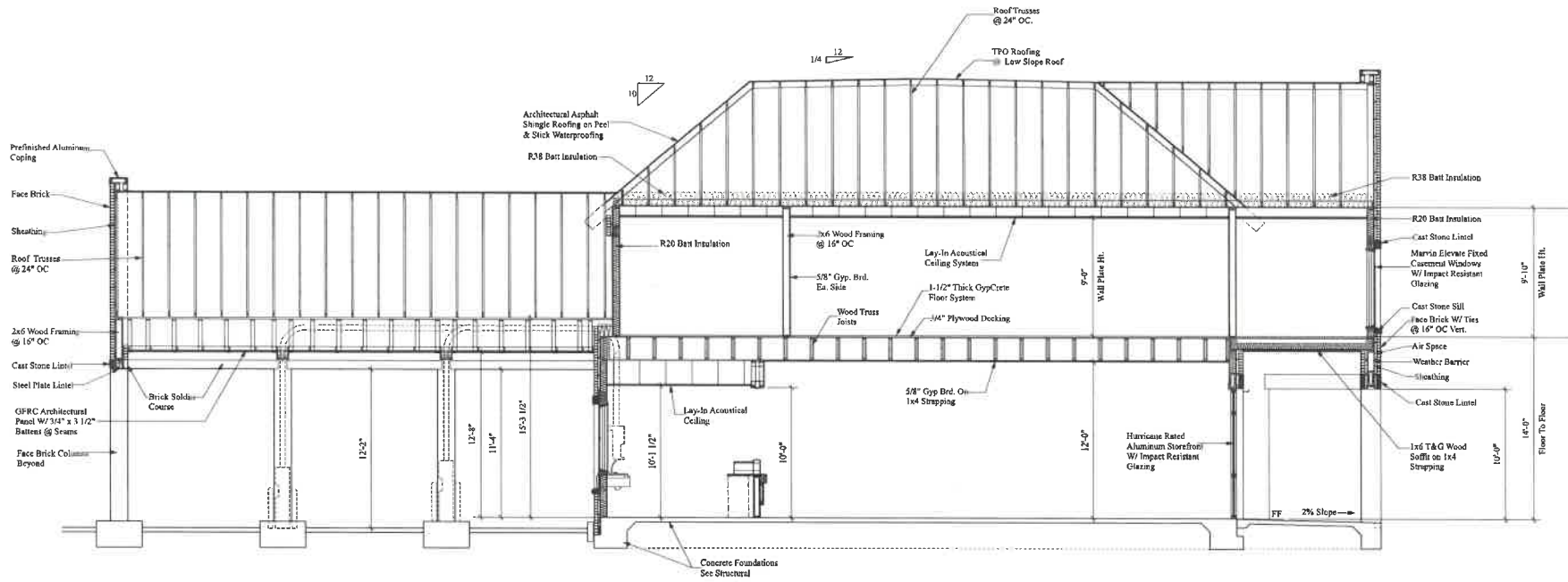
Date	February 15, 2024
Revised	
Revised	
Revised	
Drawn	
Checked	
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A3.2

Building Elevations

W

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Building Section
A4.1 1/4"=1'-0"

W
WALCOTT
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VERNEUILLE
ARCHITECTURE INTERIORS
1 SOUTH SCHOOL STREET
FARHOPE, AL 36532
(201) 928-4041

A New Branch for
United Bank
516 S McKenzie St.
Foley, AL 36535

Date	February 16, 2024
Revised	
Revised	
Revised	
Drawn	
Checked	
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A4.1

Building Section

W

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Espalier, LLC
P.O. Box 1247
Fairhope, Alabama 36533
P: 251.454.3500
espalierdesign.com

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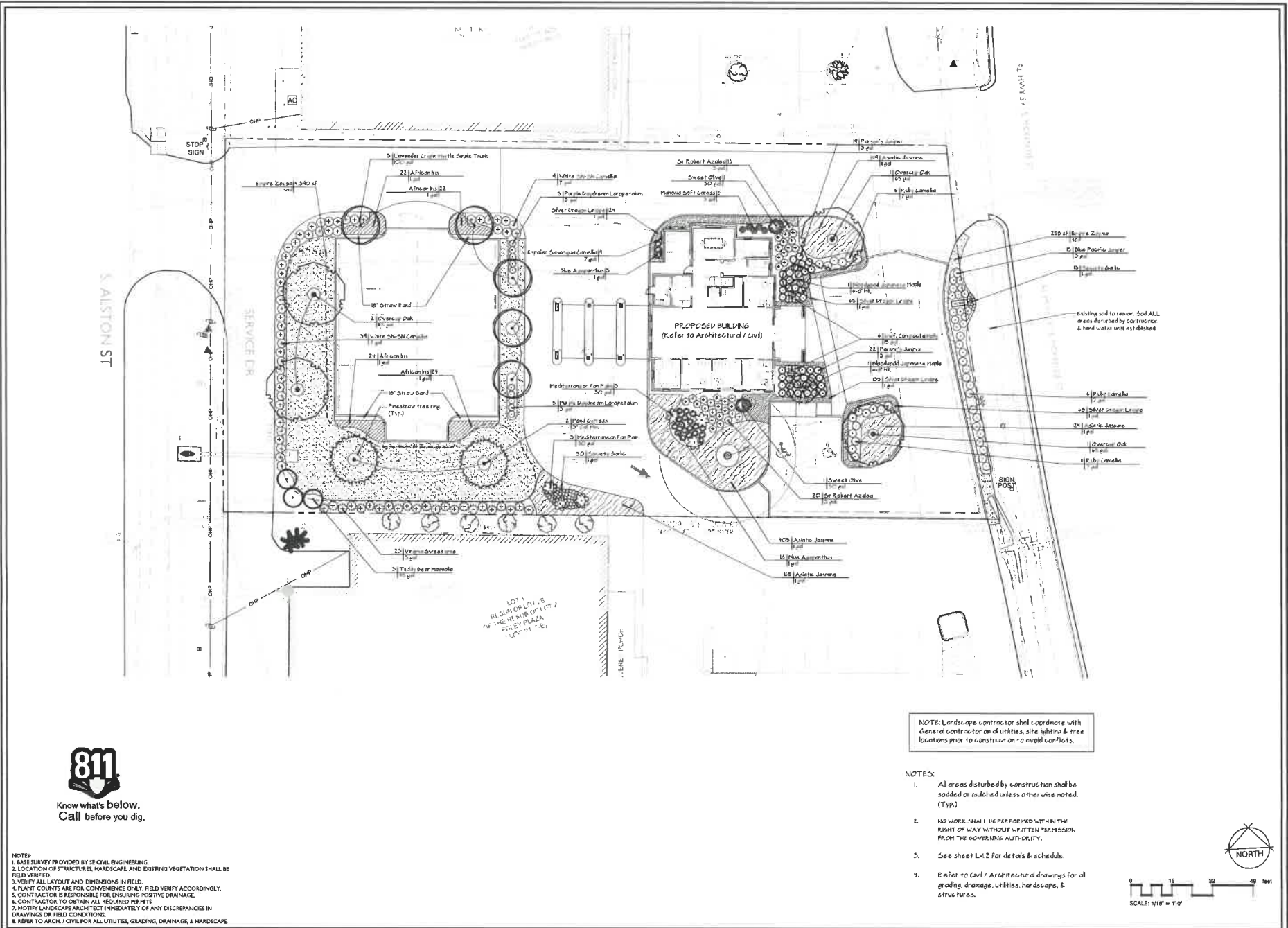
UNITED BANK
S. MCKENZIE ST.
FOLEY, AL



ISSUED/REVISED
Permitting 2/23/26

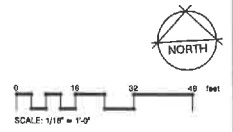
LANDSCAPE PLAN

DRAWN BY: J.C.
CHECKED BY: J.C.
DATE: 2/11/26
SCALE: 1/16" = 1'-0"



NOTE: Landscape contractor shall coordinate with General contractor on all utilities, site lighting & tree locations prior to construction to avoid conflicts.

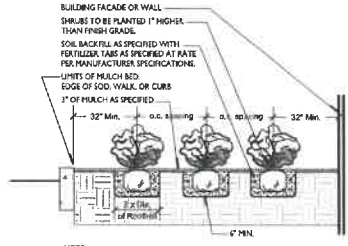
- NOTES:
- All areas disturbed by construction shall be sodded or matched unless otherwise noted. (TYP.)
 - NO WORK SHALL BE PERFORMED WITHIN THE RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
 - See sheet L-12 for details & schedule.
 - Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.



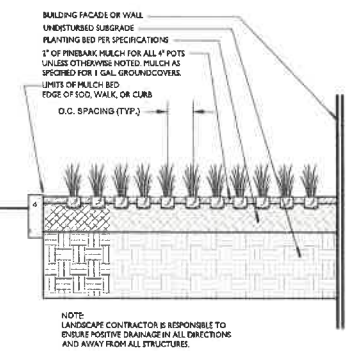
NOTES:
1. BASE SURVEY PROVIDED BY SE CIVIL ENGINEERING.
2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. RLD VERIFY ACCORDINGLY.
5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
8. REFER TO ARCH / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

LANDSCAPE NOTES:

- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plan. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architects attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform the work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to PCA or ARB guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be sandy/loam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from rocks, stumps, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plan list are for convenience only.
- All groundcover & flower beds shall receive 2" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Kala beds smooth and top dress with 2" min. of ground pinebark prior to planting.
- All trees and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
- All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufacturers recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufacturer's recommendations prior to finishing.
- All beds shall receive FreeAid pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plastic or plexiglass shall be mulched with pelvartzed pinebark mulch unless otherwise noted.
- All bed lines shall have 3" V-shaped trenches. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant diseases and insect control.
- All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
- All trees shall be soaked with arbor gey (or equal) tree stakes per manufacturers recommendations.
- All disturbed areas shall be irrigated and sodded.
- Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or defoliated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

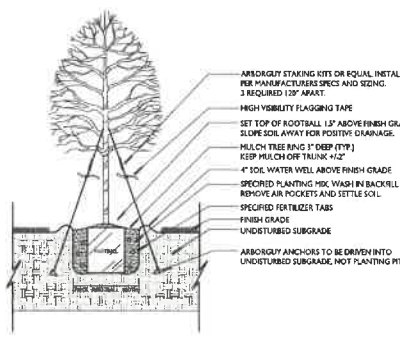


3 SHRUB PLANTING DETAIL
N.T.S. LA-03



4 GROUND COVER PLANTING DETAIL
N.T.S. LA-03

1 LANDSCAPE NOTES
N.T.S. LA-14



2 TREE PLANTING
N.T.S. LA-01



5 TRENCH BED EDGE
N.T.S. LA-04

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPECS	REMARKS
TREES								
	AK2	2	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	6-8' Ht.			
	LMS	5	Lagerstroemia x 'Musings' Standard	Lavender Crapa Myrtle Single Trunk	100 gal	14' Ht. Min.	1.5" Cal. Min	Single Trunk, Cherrylake Nursery, Spaldine
	HT	3	Magnolia grandiflora 'Teddy Bear'	Teddy Bear Magnolia	45 gal	6-8' Ht. Min.	3" Cal. Min.	Full to Ground, Greenforest Nursery
	QO	4	Quercus lyrata	Overcup Oak	45 gal	10' Ht. Min.	3" Cal. Min.	
	TA	2	Taxodium ascendens	Pond Cypress	3" Cal. Min.	12' Ht. Min.		

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	REMARKS
SHRUBS								
	AB	21	Agavea africana 'Bliss'	Rice Agavea	1 gal		36" o.c.	
	AX	33	Azalea x 'Sir Robert'	Sir Robert Azalea	3 gal		36" o.c.	
	CO	33	Cannella sazanqua 'Green 02-003'	Ruby Cannella	7 gal		42" o.c.	Waters Nursery
	CW	48	Cannella sazanqua 'Green 02-004'	White Sh-Sh Cannella	7 gal		42" o.c.	
	CH	6	Chamerops humilis	Mediterranean Fan Palm	30 gal		72" o.c.	Multi Trunk, Spedman Approve Photo w/LA
	IC2	6	Ilex cornata 'Compacta'	Dwarf Compacta Holly	15 gal		36" o.c.	
	IL	23	Ilex virginica 'Little Henry'	Virginia Sweetgum	3 gal		48" o.c.	
	JP	15	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 gal		36" o.c.	
	JB	41	Juniperus dehorizontalis 'Parsons'	Parsons Juniper	3 gal		36" o.c.	
	LPO	10	Loropetalum chinense 'Purple Dyeodrum'	Purple Dyeodrum Loropetalum	3 gal		36" o.c.	
	MS	5	Mahonia azevirens 'Soft Carass'	Mahonia Soft Carass	3 gal		36" o.c.	
	OF	2	Olea europaea 'Fragnans'	Sweet Olive	30 gal	Specimen	72" o.c.	Approve photo with Landscape Architect.
	TV	63	Tulbaghia violacea	Society Garlic	1 gal		12" o.c.	
VINES/ESPALIER								
	CS	4	Cannella sazanqua 'Espalier'	Espalier Sazanqua Cannella	7 gal		48" o.c.	Trellised, Approve variety with LA

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
GROUND COVERS								
	DM	392	Dietes bicolor 'Morona'	African Iris	1 gal		24" o.c.	
	LS	372	Liriodendron muscari 'Silver Dragon'	Silver Dragon Liriodendron	1 gal		18" o.c.	Plant Cause Nursery Doug Young Nursery
	TA2	843	Tribesalpernum asiaticum 'Astarte'	Asaric Jasmine	1 gal		18" o.c.	
	ZE	4718	Zeyla japonica 'Empire'	Empire Zeyla	sod			Contractor shall field verify exact quantity.

NOTES:

- LONG LEAF PINE STRAW ALL TREE RINGS & BEDS EXCEPT 4" & 1 GAL. POTS.
- 4" & 1 GAL. POTS TO BE PLANTED IN 2" OF PLANTING MIX AND TOP DRESSED WITH GROUND PINEBARK.
- USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTES.
- PREP. PLANTING PITS & GROUND COVER AREAS WITH PLANTING MIX. SEE NOTES.
- QUANTITIES ARE FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
- SEE LANDSCAPE NOTES.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SOODED UNLESS NOTED OTHERWISE.

APPROVED NURSERIES:

- GREEN FOREST NURSERY
- FLOWERWOOD NURSERY
- GRASS NURSERY
- CHERRY LAKE NURSERY

Other nurseries may be approved at the discretion of the landscape architect.

CITY OF FOLEY LANDSCAPE REQUIREMENTS:

TREE REQUIREMENTS:
Minimum tree density of ten (10) trees per acre
Site Average = 99 x 10 = 10 Trees Required
10 x 6 Existing Tree Credits = 4 Trees Required
Site Impervious Area = 11,465 / 2000 = 6 Trees Required
Frontage: (48.6' / 40 = 4 Frontage Trees
Continuous evergreen hedge that will reach 30-36" in height.

TREE NOTES:

- All trees shall be container grown unless otherwise noted or approved.
- Approve photos of ALL plant material with Landscape Architect.
- Trees must meet size specifications regardless of container size.



Espalier, LLC
P.O. Box 1247
Fairhope, Alabama 36533
P: 251.454.3500
espalierdesign.com

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UNITED BANK
S. MCKENZIE ST.
FOLEY, AL



ISSUED/REVISED
Permitting 2/23/26

LANDSCAPE DETAILS

DESIGNED BY: J.C.
DRAWN BY: J.C.
CHECKED BY: J.C.
DATE: 2/23/26
SCALE: 1/8" = 1'-0"
SHEET: L-1.2
DATE: 2/19/26

proposed temporary structure





PLANNING COMMISSION JOINT STAFF REPORT APRIL 2026

STAFF RECOMMENDATION: Approval
PROJECT NAME: Live Oak Village Phase 4
REQUEST: Subdivision
SUBTYPE: Preliminary
OWNER / APPLICANT: S.E. Civil Engineering & Surveying - Larry Smith

ACREAGE: 30

NUMBER OF LOTS: 54

PIN#(s): 299681

LOCATION:
S of Underwood Rd, W of N Cedar St

PROJECT DESCRIPTION:
Live Oak Village Phase 4

CURRENT CITY ZONING:
PUD - Planned Unit Development

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

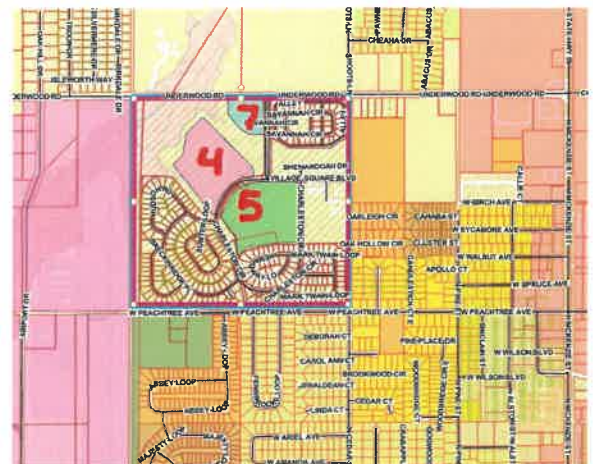
ADJACENT ZONING:
PUD

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Suburban Neighborhood

EXISTING LAND USE:
Senior Living Community



PC JOINT STAFF REPORT

Permit #: SUB26-000003

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering**Review Status:** Approved

1. The site plan review phase is not an exhaustive technical review of all site elements and features. A complete technical review will be performed during the land development permit review process.

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. Wetland boundary is marked on site layout with 30 ft buffer indicated.
2. Site's common area AC = 22.96 requiring planting plan of 229 trees. Planting schedule lists 133 trees to be installed (22 tulip trees, 50 magnolias, 61 oaks) and preserved trees on-site are to be used to offset the remaining 96 trees to meet the native tree planting density of 10 trees per acre of open/common/civic space. Preserved trees must be identified within the tree survey at LDP application phase; preserved trees with 8" DBH and greater will be credited towards total tree density. Total preserved DBH/6 = # of tree credits. [LDO 22-2028 sec 5-1 through 5-3]

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved**Reviewer:** Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved

1. First round submittal comments have been addressed.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.



PLANNING COMMISSION JOINT STAFF REPORT APRIL 2026

STAFF RECOMMENDATION: Approval
PROJECT NAME: Live Oak Village Phase 5
REQUEST: Subdivision
SUBTYPE: Preliminary
OWNER / APPLICANT: S.E. Civil Engineering & Surveying - Larry Smith

ACREAGE: 6.75

NUMBER OF LOTS: 36

PIN#(s): 23154

LOCATION:
S of Underwood Rd, W of N Cedar St

PROJECT DESCRIPTION:
Live Oak Village Phase 5

CURRENT CITY ZONING:
PUD - Planned Unit Development

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

ADJACENT ZONING:
PUD

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Suburban Neighborhood

EXISTING LAND USE:
Senior Living Community



PC JOINT STAFF REPORT

Permit #: SUB26-000004

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering**Review Status:** Approved

1. The site plan review phase is not an exhaustive technical review of all site elements and features. A complete technical review will be performed during the land development permit review process.

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. Site plan does not indicate wetlands presence on Phase 5
2. Site's common area AC = 22.96 requiring planting plan of 229 trees. Planting schedule lists 133 trees to be installed (22 tulip trees, 50 magnolias, 61 oaks) and preserved trees on-site are to be used to offset the remaining 96 trees to meet the native tree planting density of 10 trees per acre of open/common/civic space. Preserved trees must be identified within the tree survey at LDP application phase; preserved trees with 8" DBH and greater will be credited towards total tree density. Total preserved DBH/6 = # of tree credits. [LDO 22-2028 sec 5-1 through 5-3]

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved**Reviewer:** Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved

1. First round submittal comments have been addressed.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

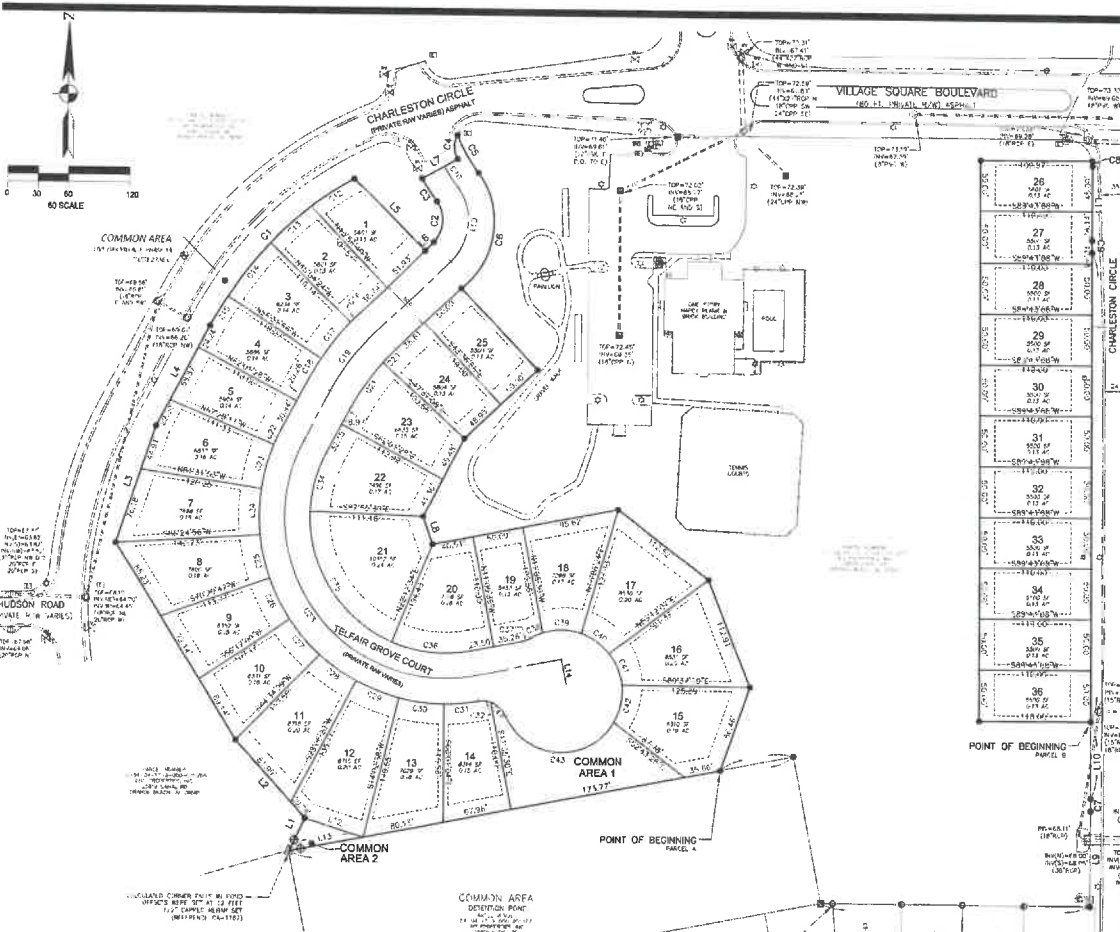
Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.



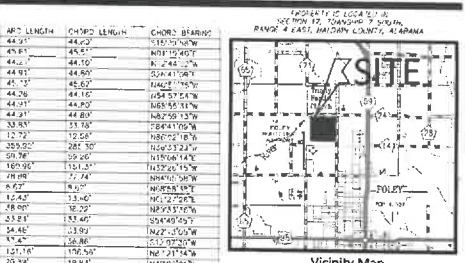
CURVE TABLE with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING.

LINE TABLE with columns: LINE, BEARING, DISTANCE.

SITE DATA including CURRENT ZONING, FRONT YARD, REAR YARD, SIDE YARD, SIDE STREET, COMMON AREAS, OPEN SPACE, OPEN SPACE (USABLE), TOTAL AREA.

GENERAL NOTES with numbered list of conditions and surveyor notes.

SURVEYOR'S CERTIFICATE with fields for SURVEY DESCRIPTION, BEGINNING, and COMMENCEMENT.



UTILITY PROVIDERS, FLOOD STATEMENT, OWNER/DEVELOPER, PARCEL INFORMATION, and DENSITY information.

- LEGEND: Symbols for various utility lines and features like 1/2" CAPPED REAR SET, 1/2" CAPPED REAR SET, etc.

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES (WATER) - APPROVED THIS WITHIN PLAT FOR THE RECORDING OF SAID MAP IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2022.

CERTIFICATION OF OWNERSHIP AND DEDICATION - I, THE UNDERSIGNED, AS REPRESENTATIVE OF THE PROPERTY OWNERS ASSOCIATION, HAVE CAUSED THE LAND HEREIN TO BE WITHIN PLAT FOR THE RECORDING OF SAID MAP IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, AND THAT THE STREETS AND EASEMENTS, AS SHOWN ON SAID PLAT, ARE HEREBY DEDICATED TO THE USE OF THE PUBLIC.

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER - THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAID MAP IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2022.

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES (ELECTRIC) - THE UNDERSIGNED, AS AUTHORIZED REPRESENTATIVE OF RIVERIA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAID MAP IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2022.

CERTIFICATE OF NOTARY PUBLIC - I, _____, Notary Public in and for said County, in and for said State, do hereby certify that _____ is the duly qualified and authorized representative of the undersigned herein.

CERTIFICATE OF APPROVAL BY BRIGHTSPEED INTERNET - THE UNDERSIGNED, AS AUTHORIZED REPRESENTATIVE OF BRIGHTSPEED INTERNET, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAID MAP IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2022.

CERTIFICATE OF APPROVAL BY E-911 ADDRESSING - THE UNDERSIGNED, AS AUTHORIZED REPRESENTATIVE OF E-911 ADDRESSING, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAID MAP IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2022.

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES (SEWER) - THE UNDERSIGNED, AS AUTHORIZED REPRESENTATIVE OF RIVERIA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAID MAP IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2022.

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION - THE CITY OF FOLEY PLANNING COMMISSION HAS REVIEWED AND APPROVED THE WITHIN PLAT FOR THE RECORDING OF SAID MAP IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2022.

LIVE OAK VILLAGE - PHASE 5
02/10/2026 SHEET 1 OF 1
PROPERTY BOUNDARY & PLAT OF SUBDIVISION
CHS PROPERTIES, INC.
S.E. Civil Engineering & Surveying



PLANNING COMMISSION JOINT STAFF REPORT APRIL 2026

STAFF RECOMMENDATION: Conditional
PROJECT NAME: Live Oak Village Phase 7- Preliminary
REQUEST: Subdivision
SUBTYPE: Preliminary
OWNER / APPLICANT: S.E. Civil Engineering & Surveying - Larry Smith

ACREAGE: 6.65

NUMBER OF LOTS: 11

PIN#(s): 299681

LOCATION:
S of Underwood Rd, W of N Cedar St

PROJECT DESCRIPTION:
Live Oak Village Phase 7- Preliminary

CURRENT CITY ZONING:
PUD - Planned Unit Development

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

ADJACENT ZONING:
PUD

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Suburban Neighborhood

EXISTING LAND USE:
Senior Living Community



PC JOINT STAFF REPORT

Permit #: SUB26-000005

Reviewer: Engineering Team, 2519524021, tdavis@cityoffoley.org, Engineering**Review Status:** Approved with Comments

1. Provide ROW width for Laney Way Court. Upload updated plat prior.
2. The site plan review phase is not an exhaustive technical review of all site elements and features. A complete technical review will be performed during the land development permit review process.

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. Site's common area AC = 22.96 requiring planting plan of 229 trees. Planting schedule lists 133 trees to be installed (22 tulip trees, 50 magnolias, 61 oaks) and preserved trees on-site are to be used to offset the remaining 96 trees to meet the native tree planting density of 10 trees per acre of open/common/civic space. Preserved trees must be identified within the tree surevy at LDP application phase; preserved trees with 8" DBH and greater will be credited towards total tree density. Total preserved DBH/6 = # of tree credits. [LDO 22-2028 sec 5-1 through 5-3]
2. Wetland boundary to be marked with flagged 30 ft buffer prior to construction activity in Phase 7

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved**Reviewer:** Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved

1. First submittal comments have been addressed.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:

Approved

Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

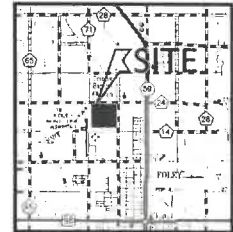
Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.

PROPERTY IS LOCATED IN SECTION 17, TOWNSHIP 7 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA.



- LEGEND:**
- (R) = RECORD BEARING/DISTANCE
 - CRP = CRIMP TOP IRON FOUND
 - RPB = REAL PROPERTY BOOK
 - PG = PAGE
 - INV = INVERT
 - RCP = REINFORCED CONCRETE PIPE
 - RCR = REINFORCED CONCRETE ARCH PIPE
 - CM = CORRUGATED METAL PIPE
 - = 1/2" REBAR FOUND IN PLACE
 - = 1/2" CAPPED IRON PIN FOUND (DOOR UNLESS OTHERWISE NOTED)
 - = 1/2" CAPPED REBAR SET (5% CIVIL CALLS)
 - ◆ = BOLLARD
 - ◆ = DRAINAGE MANHOLE
 - P2 = GAS VALVE
 - = FIBER OPTIC UTILITY POLE
 - = QTY WIRE
 - = TELEPHONE JUNCTION BOX
 - = POST & WIRE FENCE
 - = UNDER GROUND GAS-LINE
 - = OVERHEAD POWER-LINE

LINE TABLE

LINE	BEARING	DISTANCE
L1	N42°23'26"	20.00
L2	N89°52'19"	26.00

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	30.00'	49.44'	44.02'	S44°37'38"E
C2	75.00'	117.98'	106.18'	N44°58'59"W
C3	25.00'	26.84'	20.00'	S30°07'14"W
C4	20.00'	10.43'	10.31'	S75°03'31"W
C5	50.00'	78.63'	73.79'	N44°00'00"W
C6	20.00'	20.94'	20.00'	N25°52'19"W
C7	20.00'	10.52'	10.40'	N74°36'06"W
C8	98.45'	33.01'	32.46'	N82°30'00"W
C9	98.81'	41.28'	40.97'	N59°17'16"W
C10	100.00'	72.14'	70.29'	N28°48'29"W
C11	100.00'	109.88'	109.88'	N02°59'11"W
C12	28.00'	35.18'	32.35'	N40°11'15"W
C13	51.00'	28.84'	28.87'	N65°34'14"W
C14	81.04'	67.80'	65.75'	N30°07'55"W
C15	61.08'	56.30'	57.08'	N02°56'07"E
C16	61.00'	72.63'	68.42'	S89°12'04"W
C17	61.00'	58.81'	58.38'	S27°23'52"E

GENERAL NOTES:

1. FOR THE LOCATION OF ALL UTILITIES SEE CONSTRUCTION PLANS
2. ALL COMMON AREAS INCLUDING ALL STORMWATER DRAINAGE INFRASTRUCTURE WITHIN THOSE COMMON AREAS, ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION AND WILL NOT BE MAINTAINED BY THE CITY OF FOLEY.
3. ALL UTILITIES WILL BE CONSTRUCTED UNDERGROUND.
4. RECORD INFORMATION OBTAINED FROM REAL PROPERTY BOOKS 841, PAGE 184 LIVE OAK VILLAGE, PHASE 1 (SLIDE 1831-A), LIVE OAK VILLAGE, PHASE 3A (SLIDE 2236-C), LIVE OAK VILLAGE, PHASE 1A AND 1B (SLIDE 2096-C), IN THE OFFICE OF THE JUDGE OF PROBATE COURT, BALDWIN COUNTY, ALABAMA.
5. WETLANDS SHOWN HEREON WERE BASED ON A DELINEATION PERFORMED BY WETLAND SCIENTISTS ON MARCH 28, 2024 (PROJECT NO. 2024-113).
6. ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD8S).
7. THERE ARE APPARENT ENCROACHMENTS FROM ADJACENT PROPERTIES ONTO SURVEYED PROPERTY.

SURVEYOR'S NOTES:

1. SURVEY WAS CONDUCTED IN SEPTEMBER 2023, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
2. BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAPPERS, AND ARE BASED ON NAD83 (2011), STATE PLANE JOB, ALABAMA WEST ZONE USING OBS. OBSERVATIONS.
3. THE UTILITY INFORMATION SHOWN HEREON WAS OBTAINED BY SURVEYING AND PLOTTING THE VISIBLE ABOVE GROUND UTILITY FEATURES.
4. RECORD INFORMATION OBTAINED FROM REAL PROPERTY BOOKS 841, PAGE 184 LIVE OAK VILLAGE, PHASE 1 (SLIDE 1831-A), LIVE OAK VILLAGE, PHASE 3A (SLIDE 2236-C), LIVE OAK VILLAGE, PHASE 1A AND 1B (SLIDE 2096-C), IN THE OFFICE OF THE JUDGE OF PROBATE COURT, BALDWIN COUNTY, ALABAMA.
5. WETLANDS SHOWN HEREON WERE BASED ON A DELINEATION PERFORMED BY WETLAND SCIENTISTS ON MARCH 28, 2024 (PROJECT NO. 2024-113).
6. ALL ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD8S).
7. THERE ARE APPARENT ENCROACHMENTS FROM ADJACENT PROPERTIES ONTO SURVEYED PROPERTY.

SURVEYS CERTIFICATION

SURVEY DESCRIPTION

COMMENCING AT A 1/2" CAPPED REBAR SET (CA-1167) AT THE NORTHWEST CORNER OF LIVE OAK VILLAGE, PHASE 3A, AS SHOWN BY MAP OF PLAT THEREOF RECORDED AT SLIDE 2336-C, THENCE RUN NORTH 02 DEGREES 16 MINUTES 32 SECONDS EAST, A DISTANCE OF 639.13 FEET TO A 3/4" CRIMP TOP IRON FOUND ON THE SOUTH RIGHT-OF-WAY OF COUNTY ROAD 24 (AKA UNDERWOOD ROAD); THENCE RUN NORTH 89 DEGREES 45 MINUTES 20 SECONDS EAST, A DISTANCE OF 895.50 FEET TO A 1/2" CAPPED REBAR SET (CA-1167) SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID RIGHT-OF-WAY NORTH 89 DEGREES 45 MINUTES 20 SECONDS EAST A DISTANCE OF 744.40 FEET TO A 1/2" REBAR FOUND; THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY, RUN ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 49.44 FEET, CHORD BEARS SOUTH 14 DEGREES 37 MINUTES 38 SECONDS EAST, FOR A CHORD BEARING OF 44.02 FEET, TO A 1/2" CAPPED REBAR FOUND (CR-008); ON THE WEST RIGHT-OF-WAY OF LIVE OAK BULLDOGS; THENCE RUN SOUTH 00 DEGREES 07 MINUTES 41 SECONDS WEST ALONG SAID WEST RIGHT-OF-WAY, A DISTANCE OF 591.10 FEET, TO A 1/2" CAPPED REBAR SET (CA-1167); THENCE DEPARTING SAID WEST RIGHT-OF-WAY, RUN NORTH 87 DEGREES 27 MINUTES 58 SECONDS WEST, A DISTANCE OF 200.00 FEET TO A 1/2" CAPPED REBAR SET (CA-1167); THENCE RUN NORTH 44 DEGREES 12 MINUTES 15 SECONDS WEST, A DISTANCE OF 823.62 FEET TO THE POINT OF BEGINNING SAID DESCRIBED PARCEL, CONTAINING 6.65 ACRES, MORE OR LESS, AND IS LYING IN AND BEING A PART OF SECTION 17, TOWNSHIP 7 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA.

WE, S.E. CIVIL, E.C.A. A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF FAIRHOPE, ALABAMA, HEREBY STATE THAT ALL PARTS OF THIS MAP OF SURVEY HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

S.E. CIVIL, DMD & DIEHL, AL. P.L.S. NO. 28614 DATE

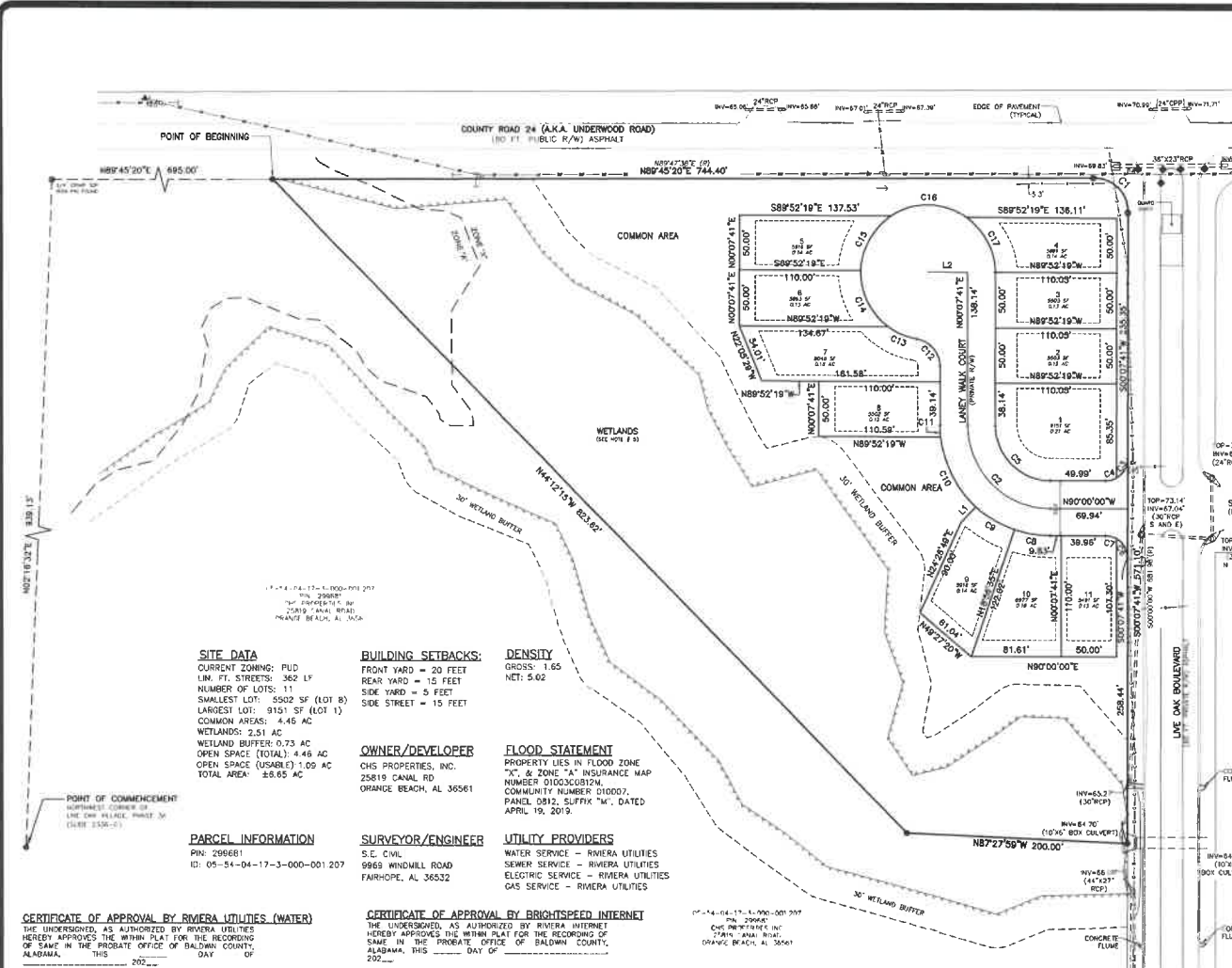
SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

LIVE OAK VILLAGE - PHASE 7
02/10/2026 SHEET 1 OF 1

PROPERTY BOUNDARY & PLAT OF SUBDIVISION
CHS PROPERTIES, INC.



DRAWN	SHB
CHKD	EMH
PROJ/MGR	DEB
SCALE	1"=50'
PROJECT	20231549
FILE	20231548_P07_P01.DWG
SHEET	1 of 1



SITE DATA

CURRENT ZONING: PUD
 LIN. FT. STREETS: 362 LF
 NUMBER OF LOTS: 11
 SMALLEST LOT: 5502 SF (LOT 8)
 LARGEST LOT: 9151 SF (LOT 1)
 COMMON AREAS: 4.46 AC
 WETLANDS: 2.51 AC
 WETLAND BUFFER: 0.73 AC
 OPEN SPACE (TOTAL): 4.46 AC
 OPEN SPACE (USABLE): 1.09 AC
 TOTAL AREA: ±8.65 AC

BUILDING SETBACKS:
 FRONT YARD = 20 FEET
 REAR YARD = 15 FEET
 SIDE YARD = 5 FEET
 SIDE STREET = 15 FEET

DENSITY
 GROSS: 1.65
 NET: 5.02

FLOOD STATEMENT
 PROPERTY LIES IN FLOOD ZONE "X" & ZONE "A" INSURANCE MAP NUMBER D100C0021W, COMMUNITY NUMBER D10007, PANEL D812, SUFFIX "M", DATED APRIL 19, 2019.

PARCEL INFORMATION

PIN: 299661
 ID: 05-54-04-17-3-000-001 207

OWNER/DEVELOPER
 CHS PROPERTIES, INC.
 25819 CANAL RD
 ORANGE BEACH, AL 36561

UTILITY PROVIDERS
 WATER SERVICE - RIVERA UTILITIES
 SEWER SERVICE - RIVERA UTILITIES
 ELECTRIC SERVICE - RIVERA UTILITIES
 GAS SERVICE - RIVERA UTILITIES

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES (WATER)
 THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 202__.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY BRIGHTSPEED INTERNET
 THE UNDERSIGNED, AS AUTHORIZED BY RIVERA INTERNET HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 202__.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES (ELECTRIC)
 THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 202__.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER
 THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 202__.

CITY ENGINEER _____

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION
 THE WITHIN PLAT OF OUTPOST ORCHARD PHASE 3, FOLEY, ALABAMA, IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION,
 THIS _____ DAY OF _____, 202__.

CITY PLANNING COMMISSION CHAIRMAN _____

CERTIFICATE OF NOTARY PUBLIC:
 STATE OF _____
 COUNTY OF _____
 I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN AS OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND AS SUCH LEASED OWNER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.
 GIVEN UNDER MY HAND AND OFFICIAL SEAL THE _____ DAY OF _____, 202__.

NOTARY PUBLIC _____ BY COMMISSION EXPIRES _____

CERTIFICATE OF OWNERSHIP AND DEDICATION:
 THE UNDERSIGNED, _____, AS PROPRIETOR(S), HAVE CAUSED THE LAND ENCOMPASSED IN THE WITHIN PLAT TO BE SURVEYED, LAD OUT AND PLATTED TO BE KNOWN AS LIVE OAK VILLAGE, PHASE 4, FOLEY, ALABAMA, AND THAT THE STREETS AND EASEMENTS, AS SHOWN ON SAID PLAT, ARE HEREBY DEDICATED TO THE USE OF THE PUBLIC.
 DATED THIS _____ DAY OF _____, 202__.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES (SEWER)
 THE UNDERSIGNED, AS AUTHORIZED BY RIVERA UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 202__.

AUTHORIZED REPRESENTATIVE _____

AUTHORIZED SIGNATURE _____ PRINT NAME _____ SIGNATURE _____