

**CITY OF FOLEY
PLANNING COMMISSION
WORK SESSION
&
MEETING**

May 20, 2026

**City Hall
Council Chambers
At 4:00 p.m.**

**PLANNING COMMISSION
WORK SESSION AGENDA MAY 20, 2026
(Council Chambers of City Hall) 4:00 P.M.**

The City of Foley Planning Commission will hold a work session on May 20, 2026 at 4:00 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

WORK SESSION:

1. Grand Riviera Boat and RV Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of the Grand Riviera Boat and RV Storage site plan. Property is located S. of Mifflin Rd and W. of James Rd. Applicant is Lieb Engineering Company.

2. PJ's Coffee- Site Plan

The City of Foley Planning Commission has received a request for approval of the PJ's Coffee site plan. Property is located S. of Mifflin Rd. and W. of James Rd. Applicant is Lieb Engineering Company.

3. Vulcan, Inc.- Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 2 +/- acres. Property is currently zoned M-1 (Light Industrial District). Proposed zoning is B-3 (Local Business District). Property is located at 339 E. Berry Ave. Applicant is Vulcan, Inc.

4. Harold Motter- Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 1.03 +/- acres. Property is currently zoned R-1A (Residential Single Family). Proposed zoning is B-3 (Local Business District). Property is located at 20971 Brinks Willis Rd. Applicant is Harold Motter.

5. The Waters at OWA-PDD Modification

The City of Foley Planning Commission has received a request for a PDD modification for The Waters at OWA, proposing a slight north shift of the detention pond. Property is located W. of the Foley Beach Express and N. of N. OWA Blvd. Applicant is Stoa Group.

6. The Waters at OWA- Site Plan

The City of Foley Planning Commission has received a request for a site plan for The Waters at OWA. Property is located W. of the Foley Beach Express and N. of N. OWA Blvd. Applicant is Stoa Group.

7. Climate Storage- Conditional Use

The City of Foley Planning Commission has received a request for a Conditional Use to allow storage structures in a B-1A zone. Property is located at 14965-A State Hwy. 59. Applicant is Trey Potts.

8. Tretheway Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of Tretheway Subdivision a minor subdivision which consists of 4.92 +/- acres and 2 lots. Property is

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located E. of Foley Beach Express and W. of Roscoe Rd. Applicant is Engineering Design Group.

9. Ridge on Wolf Creek Phase II- PUD Modification

The City of Foley Planning Commission has received a request for approval of a PUD modification for the Ridge on Wolf Creek Phase II. Property is located N. of County Rd. 12 S. and E. of Clarke Ridge Rd. Applicant is McGuire Associates.

10. Nature Walk at Graham Creek Subdivision- Deviation

The City of Foley Planning Commission has received a request for a deviation from the Subdivision Regulations, Section 5.5.F.2.b at least 50% of the civic open space perimeter shall front public streets or active building frontages and Section 5.8.B requiring street trees along Roscoe Rd. and Philomene Holmes Blvd. Property is located N. and S. of Philomene Homes Blvd. Applicant is DHI Engineering, LLC.

11. Nature Walk at Graham Creek Subdivision- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of the Nature Walk at Graham Creek Subdivision, which consists of 77.16 +/- acres and 41 lots. Property is located N. and S. of Philomene Holmes Blvd. Applicant is DHI Engineering, LLC.

12. Zoning Ordinance- Signage Amendments

ADJOURN:

**PLANNING COMMISSION
MEETING AGENDA MAY 20, 2026
(Council Chambers of City Hall)
Immediately Following Work Session**

The City of Foley Planning Commission will hold a meeting on May 20, 2026 immediately following the work session in the Council Chambers of City Hall located at 407 E. Laurel Avenue.

MEETING MINUTES:

Approval of the April 15, 2026 work session and meeting minutes.

AGENDA ITEMS:

1. Grand Riviera Boat and RV Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of the Grand Riviera Boat and RV Storage site plan. Property is located S. of Mifflin Rd and W. of James Rd. Applicant is Lieb Engineering Company.

Planning Commission Action:

2. PJ's Coffee- Site Plan

The City of Foley Planning Commission has received a request for approval of the PJ's Coffee site plan. Property is located S. of Mifflin Rd. and W. of James Rd. Applicant is Lieb Engineering Company.

Planning Commission Action:

3. Vulcan, Inc.- Rezoning

The City of Foley Planning Commission has received a request to recommend to the Mayor and Council the rezoning of 2 +/- acres. Property is currently zoned M-1 (Light Industrial District). Proposed zoning is B-3 (Local Business District). Property is located at 339 E. Berry Ave. Applicant is Vulcan, Inc.

Public Hearing:

Planning Commission Action:

4. Harold Motter- Rezoning

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Public Hearing:

Planning Commission Action:

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5. The Waters at OWA-PDD Modification

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Planning Commission Action:

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The City of Foley Planning Commission has received a request for a site plan for The Waters at OWA. Property is located W. of the Foley Beach Express and N. of N. OWA Blvd. Applicant is Stoa Group.

Planning Commission Action:

7. Climate Storage- Conditional Use

The City of Foley Planning Commission has received a request for a Conditional Use to allow storage structures in a B-1A zone. Property is located at 14965-A State Hwy. 59. Applicant is Trey Potts.

Public Hearing:

Planning Commission Action:

8. Tretheway Subdivision- Minor

The City of Foley Planning Commission has received a request for approval of Tretheway Subdivision a minor subdivision which consists of 4.92 +/- acres and 2 lots. Property is located E. of Foley Beach Express and W. of Roscoe Rd. Applicant is Engineering Design Group.

Public Hearing:

Planning Commission Action:

9. Ridge on Wolf Creek Phase II- PUD Modification

The City of Foley Planning Commission has received a request for approval of a PUD modification for the Ridge on Wolf Creek Phase II. Property is located N. of County Rd. 12 S. and E. of Clarke Ridge Rd. Applicant is McGuire Associates.

Planning Commission Action:

10. Nature Walk at Graham Creek Subdivision- Deviation

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trees along Roscoe Rd. and Philomene Holmes Blvd. Property is located N. and S. of Philomene Homes Blvd. Applicant is DHI Engineering, LLC.

Planning Commission Action:

11. Nature Walk at Graham Creek Subdivision- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of the Nature Walk at Graham Creek Subdivision, which consists of 77.16 +/- acres and 41 lots. Property is located N. and S. of Philomene Holmes Blvd. Applicant is DHI Engineering, LLC.

Public Hearing:

Planning Commission Action:

12. Zoning Ordinance- Signage Amendments

Public Hearing:

Planning Commission Action:

ADJOURN:

Items not meeting 2nd Deadline: Clearwater Landing-Rezoning

**PLANNING COMMISSION
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April 15, 2026
(Council Chambers of City Hall) 4:00 P.M.**

The City of Foley Planning Commission held a work session on April 15, 2026 at 4:00 p.m. in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Deborah Mixon, Larry Engel, Vera Quaites, Wes Abrams and Calvin Hare. Absent members were: Tommy Gebhart, Ralph Hellmich, Bill Swanson and Phillip Hinesley. Staff present were: Shawn Mitchell, Planning Manager; Nelson Bauer, Infrastructure and Development Manager; Taylor Davis, City Engineer; Raven Roberts, Deputy City Engineer; Jackie McGonigal, Environmental Manager; Buford King, Director of Public Projects Infrastructure and Development; Miriam Boone, Planning Director; Eden Lapham, Planner 1 and Amanda Cole, Acting Recording Secretary.

WORK SESSION:

1. Gulf Self Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of the Gulf Self Storage site plan. Property is located at 3501 S. McKenzie St. Applicant is Axis Engineering Company.

Mrs. Miriam Boone stated staff was recommending conditional approval based on staff comments.

Commissioner Hare asked where the project would be located.

Mrs. Eden Lapham showed the location on the map and explained it would be behind an existing storage business.

Mrs. Boone gave a summary of comments from the staff report. The Environmental Department lists there are potential wetlands on the property and a landscape plan has been submitted. The Fire Department states a hydrant is required to be 100ft from the fire department connection for the automatic sprinkler system. Planning and Zoning stated the photometric plan needs amended.

2. United Bank- Site Plan

The City of Foley Planning Commission has received a request for approval of the United Bank site plan. Property is located at 516 S. McKenzie St. Applicant is S.E. Civil Engineering & Surveying.

Mrs. Boone stated staff was recommending conditional approval based on staff comments.

Mrs. Boone stated there were comments from the Engineering Department regarding an expiration date of the proposed temporary structure shown and the site plan is not a technical review of all site elements and features. A complete technical review will be performed during the land development permit process.

Mrs. Boone stated the Environmental Department had comments regarding the landscaping and erosion and sediment control information. Planning and Zoning noted the applicant was applying to the Board of Adjustment and Appeals to allow a temporary 2 way lane width of 21 ft and an extension of the 3 month maximum time allowed for a temporary/mobile structure. The Building

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Department stated the temporary structure would be required to meet all applicable building codes.

Mrs. Lapham stated the Board of Adjustments did approve the variance requests for the temporary drive width and the maximum time allowed for a temporary/mobile structure which they approved for 14 months with the option to return to the Board of Adjustment and Appeals to request more time if the permanent bank construction is not finished.

Commissioner Engel asked how wide the bank drive thru lanes will be.

Mrs. Lapham reads the widths from the site plan that shows 9ft with one showing 11ft.

Mr. David Lavery with S.E. Civil stated the bank was going to widen the drive thru lanes after speaking with the Engineering Department.

Mr. Taylor Davis stated staff or at least the Engineering Department was under the impression the approval tonight was going to be for the temporary structure. If the request is for the approval of the whole site then Mr. Davis asked if a carry over to next month can be requested to give staff more time to review.

Chairman Abrams asked the applicant if they would be open to carrying the item over.

Mr. Lavery stated they were under the impression the site plan was for the full site and a more technical review would be done with the land disturbance process.

Chairman Abrams asked if the applicant would agree to the possible approval be for phase 1 only which includes the demolition of the current bank and the placement of the temporary structure.

A representative from United Bank asked what the timeline would be.

Mrs. Lapham stated if it is a carryover item it can be placed on next month's agenda.

Mr. Davis stated there is a new technical design process in place which requires more review up front.

Mr. Lavery asked if phases 2-5 were reviewed during the process.

Mr. Davis stated he could not speak for other departments however phases 2-5 were not reviewed by the Engineering Department to the point of being able to provide official comments to the Planning Commission.

A representative for United Bank asked what an approval for phase 1 would allow.

Mrs. Lapham stated phase 1 was identified as the temporary setup for the new bank. Prepping the

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site and placing the temporary trailer would be allowed.

A representative for United Bank stated the comments provided from the Engineering Department stated a technical review would be required after the Planning Commission approval so there is confusion as to why it would be required now before approval is received.

Mr. Davis stated the technical review with the land development permit is through the city ordinance that is under the City Council. The current process is when the preliminary review is approved then technical land development permit can be submitted.

David Lavery asked why all the phases were not reviewed when comments were received on items such as detention.

Mr. Davis stated the comments that were received were preliminary comments as a land Disturbance permit has not been submitted.

3. Live Oak Village Phase 4- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 4, which consists of 30 +/- acres and 54 lots. Property is located S. of Underwood Rd. and W. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Mrs. Boone stated staff recommends approval.

Commissioner Engel stated he was concerned regarding the proximity of the wetlands along the backside of the development.

Commissioner Engel asked if amenities were planned for the common area shown in the middle.

Arthur Johnson with S.E. Civil there were no plans for more amenities with the phase at this time. There will be trees and landscaping to meet city requirements.

4. Live Oak Village Phase 5- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 5, which consists of 6.75 +/- acres and 36 lots. Property is located S. of Underwood Rd. and W. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Mrs. Boone stated staff is recommends approval.

Commissioner Engel asked how wide the lots will be.

Mrs. Boone stated the smallest lot will be 5,500 sq. ft. and the largest lot will be 10,352 sq. ft. with a width of 50 ft.

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5. Live Oak Village Phase 7- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 7, which consists of 6.65 +/- acres and 11 lots. Property is located S. of Underwood Rd. and W. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Mrs. Boone stated staff was recommending conditional approval based on comments from staff. The Environmental Department provided landscape information and noted the wetland needed to be flagged prior to construction activity of the phase. The Engineering Department right-of-way width for Laney Way Court needed to be provided.

Mr. Johnson stated a new plat with the right-of-way width has been submitted.

6. Zoning Ordinance Amendments- Signage

Mrs. Lapham went over the proposed signage amendments which includes allowing sandwich board signs throughout the commercial district and content based requirements to be changed.

Chairman Abrams asked about the downtown signage allowed. Mrs. Lapham explained has different regulations regarding signs and those were not being changed.

Chairman Abrams asked if there was a time frame for temporary yard signs.

Mrs. Lapham stated there was not one specific to the yard signs however the Commission can put one they if would like.

Mrs. Shawn Mitchell stated it would be good to research time limits for the temporary signs.

Commissioner Engel asked if the sandwich board signs outside of the downtown area would be allowed to be larger.

Mrs. Lapham stated all the sandwich board signs are proposed to be the same size.

Mrs. Lapham explained the proposed sign changes made to the Medical Overlay District will allow a slightly larger sign for multi-tenant businesses.

Mrs. Shawn Mitchell requested a 5 minute intermission between the work session and the meeting.

Chairman Abrams adjourned the work session at 4:36 p.m.

**PLANNING COMMISSION
MEETING MINUTES APRIL 15, 2026
(Council Chambers of City Hall)
Immediately Following Work Session**

The City of Foley Planning Commission held a meeting on April 15, 2026 immediately following the work session in the Council Chambers of City Hall located at 407 E. Laurel Avenue. Members present were: Deborah Mixon, Larry Engel, Vera Quaites, Wes Abrams and Calvin Hare. Absent members were: Tommy Gebhart, Ralph Hellmich, Bill Swanson and Phillip Hinesley. Staff present were: Shawn Mitchell, Planning Manager; Nelson Bauer, Infrastructure and Development Manager; Taylor Davis, City Engineer; Raven Roberts, Deputy City Engineer; Jackie McGonigal, Environmental Manager; Buford King, Director of Public Projects Infrastructure and Development; Miriam Boone, Planning Director; Eden Lapham, Planner 1 and Amanda Cole, Acting Recording Secretary.

Chairman Abrams called to meeting to order at 4:41 p.m.

MEETING MINUTES:

Approval of the March 18, 2026 work session and meeting minutes.

Commissioner Quaites made a motion to approve the March 18, 2026 work session and meeting minutes. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to approve the March 18, 2026 work session and meeting minute's passes.

AGENDA ITEMS:

1. Gulf Self Storage- Site Plan

The City of Foley Planning Commission has received a request for approval of the Gulf Self Storage site plan. Property is located at 3501 S. McKenzie St. Applicant is Axis Engineering Company.

Mrs. Miriam Boone stated staff is recommending conditional approval.

Planning Commission Action:

Commissioner Engel made a motion to approve the requested site plan. Commissioner Mixon seconded the motion. All Commissioners voted aye.

Motion to approve the requested site plan passes.

2. United Bank- Site Plan

The City of Foley Planning Commission has received a request for approval of the United Bank site plan. Property is located at 516 S. McKenzie St. Applicant is S.E. Civil Engineering & Surveying.

Mrs. Boone stated staff is recommending conditional approval.

Mr. Taylor Davis stated the Engineering Department recommends this case moves forward for all phases. Mr. Davis stated this would allow the applicant to be able to move into the technical

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design review with the land development permit which would allow staff to continue the review process.

Planning Commission Action:

Commissioner Engel made a motion to approve the requested site plan. Commissioner Quaites seconded the motion. All Commissioners voted aye.

Commissioner Hare asked to clarify the applicant is agreeing to comply with any comments the Engineering Department may find in their technical review.

Mr. David Lavery with S.E. Civil stated the applicant was expecting a technical review process and will work with staff on any review comments.

Motion to approve the requested site plan passes.

3. Live Oak Village Phase 4- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 4, which consists of 30 +/- acres and 54 lots. Property is located S. of Underwood Rd. and W. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item.

Stephen Rogosky resident of 1621 Hudson Rd. asked if turn lanes were going to put in off of Underwood and Cedar St.

Chairman Abrams asked for any answers/comments to questions be provided after all the questions have been received.

Mr. Rogosky asked if there would be a secure construction entrance, and if the builder was known yet. Mr. Rogosky stated the construction entrance now is not secure and there have been issues of people stealing out of cars.

Sharon Bertschi resident of 1625 Hudson Rd. asked what kind of buffer was going to be placed across from the swale shown and how many trees will be removed. Ms. Bertschi also asked about the plan for the debris removal.

Rick Stephens resident of 311 Savannah Cir. asked if sidewalks were required for these phases.

Robert Benning resident of 1745 Breckinridge Pl. asked about the infrastructure.

Pat McDonald resident of 1804 Charleston Cir. asked about the amenities. Ms. McDonald stated the existing clubhouse and amenities can't accommodate the addition of these homes.

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Chairman Abrams stated he can address the infrastructure question pertaining to utilities as he works for Riviera Utilities. For electric they have extreme extra capacity right now, for water several new wells have been added and a wastewater upgrade was done to the system 4-5 years ago. There is room to possibly double the current capacity.

Chloe Kelly with 68 Ventures stated there is not a proposed amenity center with these phases from their group. There will be left and right turn lanes installed at the entrance on Underwood Rd.

Ms. Kelly stated the construction entrance will be accessed through the public right-of-way because a separate construction entrance would require crossing wetlands. Ms. Kelly stated they are not contracted with any builders at this time. They are probably 8-9 months out from knowing who the builder will be.

Ms. Kelly stated any clearing on the site will not begin until a land disturbance permit is received. Sidewalks are included in the plan.

Ms. McDonald asked about the buffer area by the swale and the debris removal process.

Ms. Kelly stated Alabama did have burn bans regarding when burning can take place.

Chief Darby, the Fire Chief for the City of Foley, stated a city ordinance prohibits the burning of debris from land clearing practices with the exception of approval of a forced air incinerator. The use of a forced air incinerator is approved under very specific conditions.

Chief Darby stated he is unlikely to permit any burning at this site due to the proximity of residences and the municipal airport. A conversation would need to be had with the developer.

An audience member asked who will be paying to widen the entrance off of Underwood Rd. that was mentioned.

Ms. Kelly answered they would be.

An audience member asked if security will be provided at the construction entrance since it will likely be used during all hours. The gates now are permanently closed due to issues in the past.

Michael with CHS Properties stated the gates can be put on a schedule or can open through command. The gates are brand new and can take the multiple times of opening and closing.

Susan Stephens resident of 311 Savannah Cir. asked about an agreement regarding the wear and tear of the roads.

Ms. Kelly stated they have agreed to pay contributions on a per lot basis to off-set any wear and

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tear that may happen.

Ray Nilssen resident at 301 Savannah Cir. asked if turn lanes were still going to be installed on Co Rd 24.

Chairman Abrams stated yes.

Ms. McDonald asked about the buffer along the swale.

Ms. Kelly stated she can't speak on the buffer as the plans have not be done yet.

Mrs. Boone stated staff was recommending approval.

Planning Commission Action:

Commissioner Quaites made a motion to approve the requested preliminary subdivision based on staff's comments. Commissioner Hare seconded the motion.

Commissioner Engel stated he had concerns regarding the wetlands, smaller lot sizes and would like to see sidewalks. Commissioner Engel also stated he would like to have seen a separate construction entrance.

Commissioner Engel voted nay. All other Commissioners voted aye.

Motion to approve the requested preliminary subdivision passes.

4. Live Oak Village Phase 5- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 5, which consists of 6.75 +/- acres and 36 lots. Property is located S. of Underwood Rd. and W. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item. An audience member stated the current clubhouse and amenities will not accommodate these proposed homes.

Karen Przysucha a resident at 1785 Breckinridge Pl. was concerned about the small lot sizes and stated there is not enough parking right now and didn't see any additional parking shown for these new lots. Ms. Przysucha asked for more parking to be added.

An audience member wanted to add they were in favor of preserving the current woodlands on site.

Note: *Denotes property located in the Planning Jurisdiction

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Mrs. Boone stated staff is recommending approval.

Planning Commission Action:

Commissioner Hare made a motion to approve the requested preliminary subdivision.
Commissioner Quaites seconded the motion.

Commissioner Engel stated he understands this development was approved under old guidelines however the city has a new Comprehensive Plan in place right now with requirements for larger houses and lots and he would like to start seeing those.

Commissioner Hare stated this PUD was approved under different regulations and hoped going forward we can see more progress for the developments we want to see.

Commissioner Engel stated he would like to see an expiration date on projects.

Mr. Davis stated he wanted to mention these phases will include sidewalks that will meet our standards.

Commissioner Engel voted nay. All other Commissioners voted aye.

Motion approve the request preliminary subdivision passes.

5. Live Oak Village Phase 7- Preliminary

The City of Foley Planning Commission has received a request for preliminary approval of Live Oak Village Phase 7, which consists of 6.65 +/- acres and 11 lots. Property is located S. of Underwood Rd. and W. of Cedar St. Applicant is S.E. Civil Engineering & Surveying.

Public Hearing:

Chairman Abrams asked if there were any members of the public to speak on the item.
An audience member stated he is concerned about the trees along Live Oak Village Rd. not being preserved.

Mr. Stephens of 311 Savannah Cir. stated he didn't have an issue with the additional homes being added however he was concerned about the drainage and the wetlands.

Jackie McGonigal stated phases 4 and 7 do back up to wetlands. When a land development permit is submitted they will have to provide full detailed plans and supplemental materials including a wetland delineation. Post storm and random inspections are completed by Environmental Staff throughout the development process with the power to place stop work orders and require remediation in the event that adverse wetland impacts are found.

An audience member stated trees have already started being cut down across from the Savannah

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Cir. entrance and asked if approvals have been received.

Mr. Davis stated he observed what appeared to some clearing for surveying.

Mrs. McGongial stated a site visit would be made to the site.

Planning Commission Action:

Commissioner Mixon made a motion to approve the requested preliminary subdivision.
Commissioner Quaites seconded the motion.

Commissioner Engel voted nay. All other Commissioners voted aye.

Motion to approve the requested preliminary subdivision passes.

ADJOURN:

Chairman Abrams adjourned the meeting at 5:28 p.m.



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval with Conditions
PROJECT NAME: Grand Riviera Boat RV Storage
REQUEST: Zoning - Site Plan Approval
SUBTYPE: Property is in a PUD
OWNER / APPLICANT: Lieb Engineering Company - Christopher Lieb

ACREAGE: 1.74

NUMBER OF LOTS: 1

PIN#(s): 367206

LOCATION:
S of Mifflin Rd, W of James Rd

PROJECT DESCRIPTION:
Grand Riviera Boat RV Storage

CURRENT CITY ZONING:
PUD - Planned Unit Development

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

ADJACENT ZONING:
PDD, PUD, B-3

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Commercial Corridor

EXISTING LAND USE:
Vacant



PC JOINT STAFF REPORT

Permit #: ZSP26-000003

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Approved**Reviewer:** Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. Site plan approved with landscape plans; Civil plans will have detailed review at the LDP phase.

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved

1. The comments from the previous review have been addressed.

Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved**Reviewer:** Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

1. Approval based on no buildings located on this site.

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

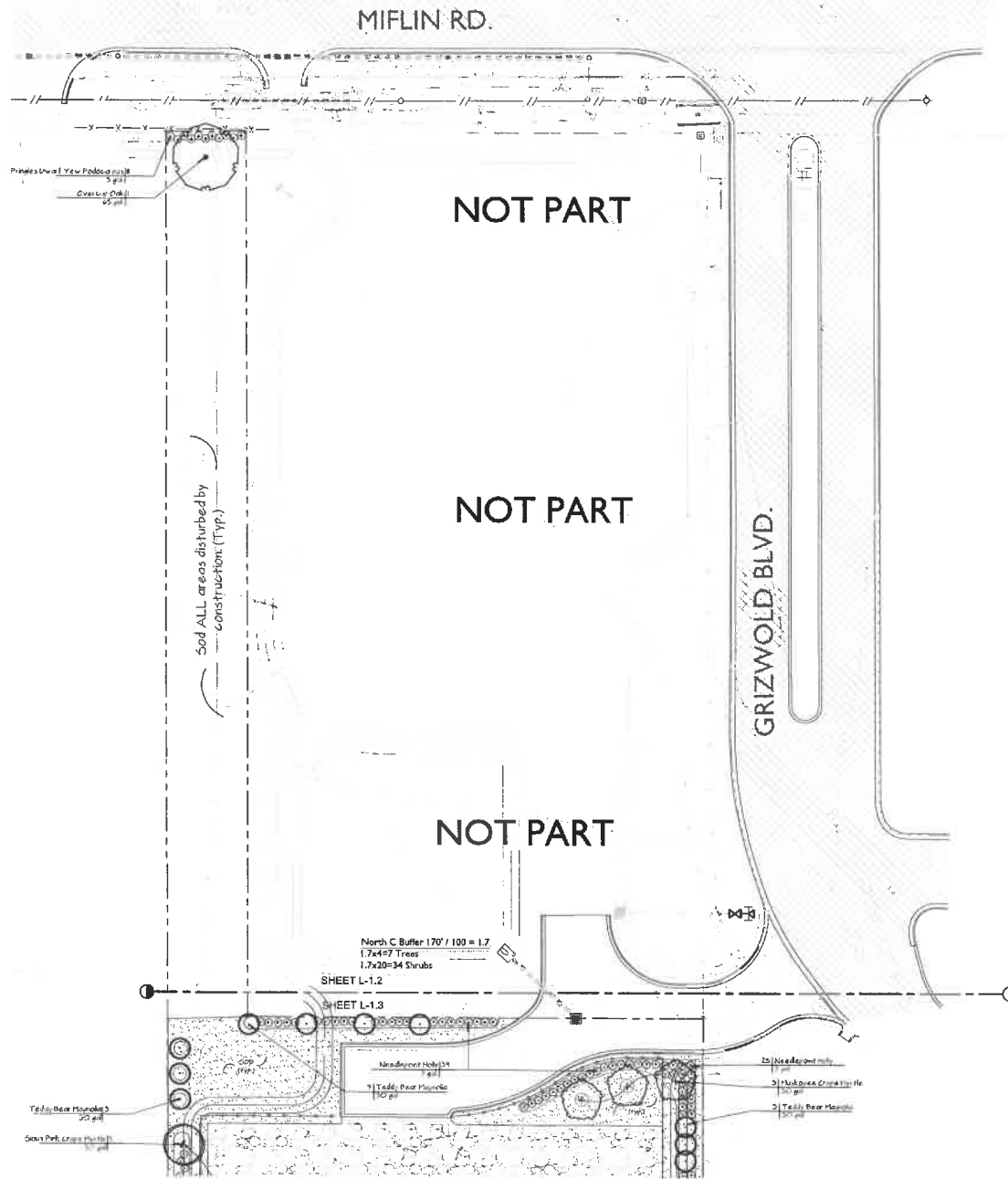
Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

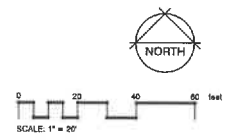
Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.



Contractor shall include a separate price for an automatic irrigation system, providing 100% head to head coverage using Rainbird equipment.

- NOTES:**
- All areas disturbed by construction shall be sodded unless otherwise noted. (Typ.)
 - NO WORK SHALL BE PERFORMED WITHIN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
 - See sheet L-1.2 for details & schedule.
 - Refer to Civil Architectural drawings for all grading, drainage, utilities, hardscape, & structures.

INSTALLATION NOTE:
 These plans shall not be changed or modified without approval from the landscape architect.
 Changes made without approval may result in denial of certificate of occupancy.
 Persons making changes without approval shall be responsible for providing a final as-built drawing as required by the governing authority.



- NOTES:**
- BASE SURVEY PROVIDED BY LUB ENGINEERING.
 - LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 - VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 - PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 - CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 - NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 - REFER TO ARCH. / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE & HARDSCAPE.

ESPALIER
 landscape architects

Espalier, LLC
 P.O. Box 1247
 Foley, Alabama 36533
 P: 251.454.2500
 espalierdesign.com

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GRAND RIVIERA BOAT & RV STORAGE
 Miflin Road
 Foley, AL



ISSUED / REVISED

Permitting	2/23/26
City Comment	3/30/26
City Comment	4/21/26

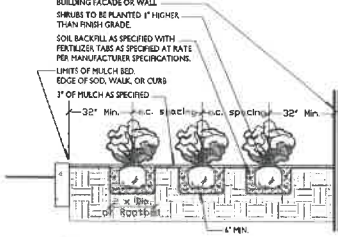
LANDSCAPE PLAN

DESIGNED BY	PLT	DATE	2/19/26
DRAWN BY			
CHECKED BY			
PROJECT NO.			
DATE	2025		

L-1.2

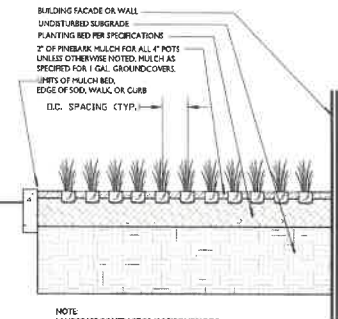
LANDSCAPE NOTES:

- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plan. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of any existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between the conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architect's attention immediately. Landscape contractor to provide fine grading to assure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to PCA or AIA's guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be a topsoil natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plan list are for convenience only.
- All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
- All trees and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
- All trees and shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufacturers recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufacturers recommendations prior to mulching.
- All beds shall receive Fertiand pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
- All bed lines shall have 3" V-shaped trenches. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant diseases and insect control.
- All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
- All trees shall be staked with arbor guy (or equal) tree stakes per manufacturers recommendations.
- All disturbed areas shall be irrigated and sodded.
- Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or deteriorated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.V. without approval by the appropriate Federal, State, County, or City authority.



3 SHRUB PLANTING DETAIL

N.T.S. LA-02



4 GROUNDCOVER PLANTING DETAIL

N.T.S. LA-03

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPECS	REMARKS
TREES								
+	LM	6	Lagerstroemia x 'Muskoega'	Muskogea Creepe Myrtle	30 gal	8 Ht. Min.	(3) Canal Min. @ 17Cms Min.	Tree Form, Public Trunk, No B&B. Approve photos with LA.
+	LT	10	Lagerstroemia x 'Sour'	Sour Pink Creepe Myrtle	30 gal	8 Ht. Min.	(3) Canal Min. @ 17Cms Min.	Tree Form, Public Trunk, Greenforest Nursery
+	MT	36	Magnolia grandiflora 'Teddy Bear'	Teddy Bear Magnolia	30 gal	6-8 Ht. Min.		Full to Ground, Greenforest Nursery
+	QO	1	Quercus lyrata	Overcup Oak	45 gal	10' Ht. Min.	3' Cal. Min.	

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	REMARKS
REQUIRED BUFFER SHRUBS								
+	NP	129	Ilex cornuta 'Needlepole'	Needlepole Holly	7 gal	30" Tall At Planting	36" o.c.	Must be 30" tall at time of planting.
+	IP	114	Ilexium parviflorum	Yellow Anise	7 gal	30" Tall At Planting	36" o.c.	Must be 30" tall at time of planting.
+	TD2	69	Nyctia conferta 'Tom's Dwarf'	Tom's Dwarf Waxmyrtle	3 gal		36" o.c.	

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	REMARKS
REQUIRED FRONTAGE SHRUBS								
+	PP	11	Panicum macrophyllum 'Pringle'	Pringle's Dwarf Yaw Panicgrass	3 gal		36" o.c.	
GROUND COVERS								
+	CT	17,591 sf	Cynodon dactylon 'TM 419'	419 Bermuda Grass	seed			Contractor shall verify quantity.

- GENERAL NOTES:**
- LONG LEAF PINE STRAW ALL TREE KINGS & BEDS EXCEPT 4" & 1 GAL POTS.
 - 4" & 1 GAL. POTS TO BE PLANTED IN 3" OF PLANTING MIX AND TOP DRESSED WITH GROUND PINEBARK.
 - USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTES.
 - PREP PLANTING PITS & GROUND-COVER AREAS WITH PLANTING MIX. SEE NOTES.
 - THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 - SEE LANDSCAPE NOTES.
- APPROVED NURSERIES:**
- GREEN FOREST NURSERY
 - FLOWERWOOD NURSERY
 - WATERS NURSERY
 - CHERRY LAKE NURSERY
- Other nurseries may be approved at the discretion of the landscape architect.

TREE NOTES:

- All trees shall be container grown unless otherwise noted or approved.
- Approve photos of ALL plant material with Landscape Architect.
- Trees must meet site specifications regardless of container size.

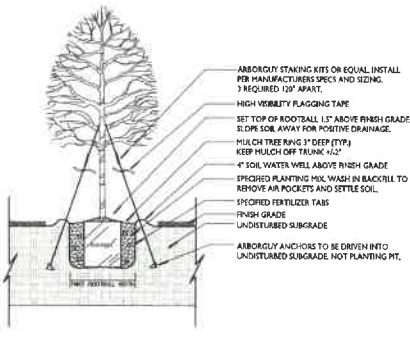
Contractor shall include a separate price for an automatic irrigation system, providing 100% head to head coverage using Rainbird equipment.

CITY OF FOLEY LANDSCAPE REQUIREMENTS:

TREE REQUIREMENTS:
 Minimum tree density of ten (10) trees per acre
 Site Acreage = 1.74 x 10 = 17 Trees Required
 Site Impervious Area = 22,414 / 2000 = 11 Trees Required
 Frontage: 30' / 40' = 1 Frontage Trees
 Continuous evergreen hedge that will reach 30-36" in height.

1 LANDSCAPE NOTES

N.T.S. LA-16

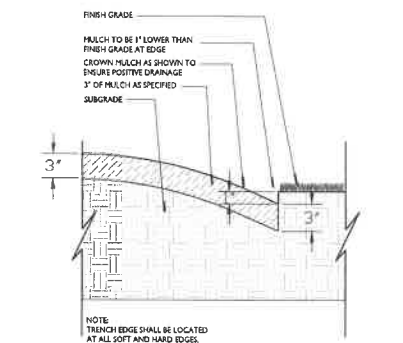


2 TREE PLANTING

N.T.S. LA-01

4 GROUNDCOVER PLANTING DETAIL

N.T.S. LA-03



5 TRENCH BED EDGE

N.T.S. LA-04

ESPALIER
 landscape architecture

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 esparierdesign.com

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GRAND RIVIERA BOAT & RV STORAGE

Millfin Road
 Foley, AL



ISSUED / REVISED

Permitting 2/23/26
 City Comment 3/30/26
 City Comment 4/21/26

LANDSCAPE DETAILS

DESIGNED BY	FILE NAME
DESIGNED BY: J.C. GARDNER	FILE NAME: L-1.4
DATE: 2/23/26	
DATE: 3/30/26	
DATE: 4/21/26	



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval
PROJECT NAME: PJs Coffee
REQUEST: Zoning - Site Plan Approval
SUBTYPE: Property is in a PUD
OWNER / APPLICANT: Lieb Engineering Company - Christopher Lieb

ACREAGE: 1.29

NUMBER OF LOTS: 1

PIN#(s): 627681

LOCATION:
S of Mifflin Rd, W of James Rd

PROJECT DESCRIPTION:
PJs Coffee

CURRENT CITY ZONING:
PUD - Planned Unit Development

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

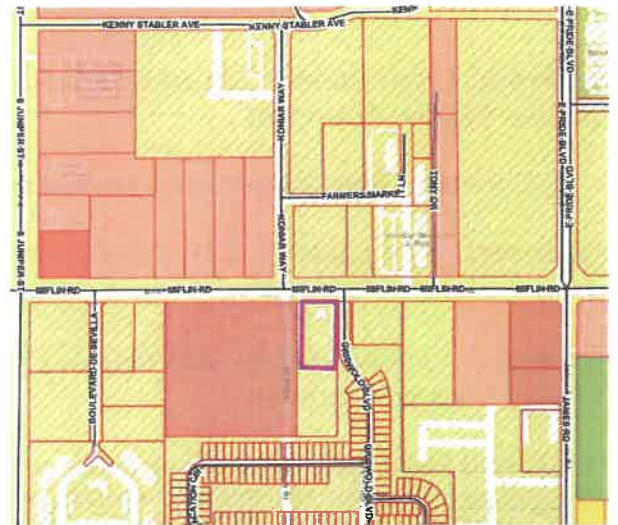
ADJACENT ZONING:
PDD, PUD, B-3

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Commercial Corridor

EXISTING LAND USE:
Vacant



PC JOINT STAFF REPORT

Permit #: ZSP25-000013

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Approved with Comments

1. Please note that the uploaded Architectural plans are not coordinated with the provided site plans. The architectural plans show the proposed PJs Coffee on the west side of the building. However, the site plan shows the proposed PJs Coffee including the drive-thru located on the east side of the building. This will need to be coordinated for the Land Development Permit and Building Permit phases of this development.

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. No new review comments; see 1st Review standing conditions for when project reaches the LDP phase
2. Applicant has ordered a wetland delineation for the site and will upload the report once they receive it [3/30/26 Comment Response Letter].

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved

1. Comment from the previous review has been addressed

Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved**Reviewer:** Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.



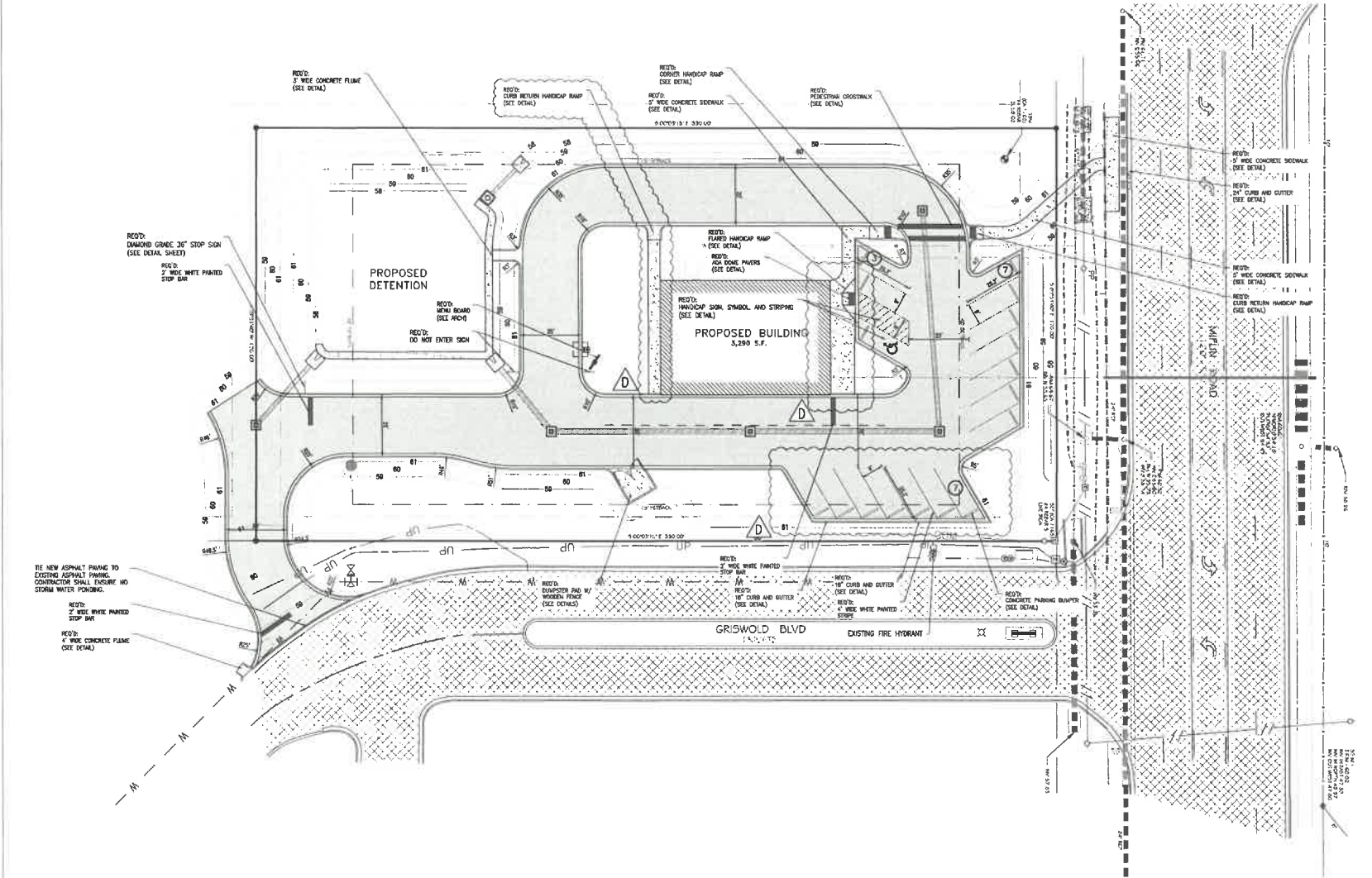
0 20' 40'
SCALE: 1" = 20'

NOTES:
1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.

LEGEND:

- EXISTING ASPHALT PAVING
- EXISTING CONCRETE
- PROPOSED ASPHALT
- PROPOSED CONCRETE

SITE PLAN DATA:		
TOTAL ACRES:	1.28 AC ±	
PARCEL ID:	05-61-02-08-D-001-022.168	COMMERCIAL
PROPOSED USE:		PUD
ZONING:		40'
FRONT SETBACK:		40'
REAR SETBACK:		15'
SIDE SETBACK:		9 SPACES
PARKING REQ'D:	5,290 SF/400	9
PARKING SPACES PROVIDED:		17



REVISIONS		
A	ISSUED FOR REVIEW	01/26/2026
B	ADDRESSED CITY COMMENTS	03/10/2026
C	ADDRESSED CITY COMMENTS	03/26/2026
D	ADDRESSED CITY COMMENTS	04/17/2026



LIEB ENGINEERING COMPANY

LIEB ENGINEERING COMPANY
7671 PARKER ROAD
FAIRHOPE, AL 36532
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2024-072
DRAWN BY: NTR
DATE: 01/26/2026
SCALE: 1"=20'
CHECKED BY: CUL
APPROVED BY: CUL
ENGR: CUL

PJ'S COFFEE
SITE PLAN
FOLEY, AL
OWNER: PJ'S COFFEE

SHEET NUMBER: 4 OF 9
C4.0 D



04/17/2026

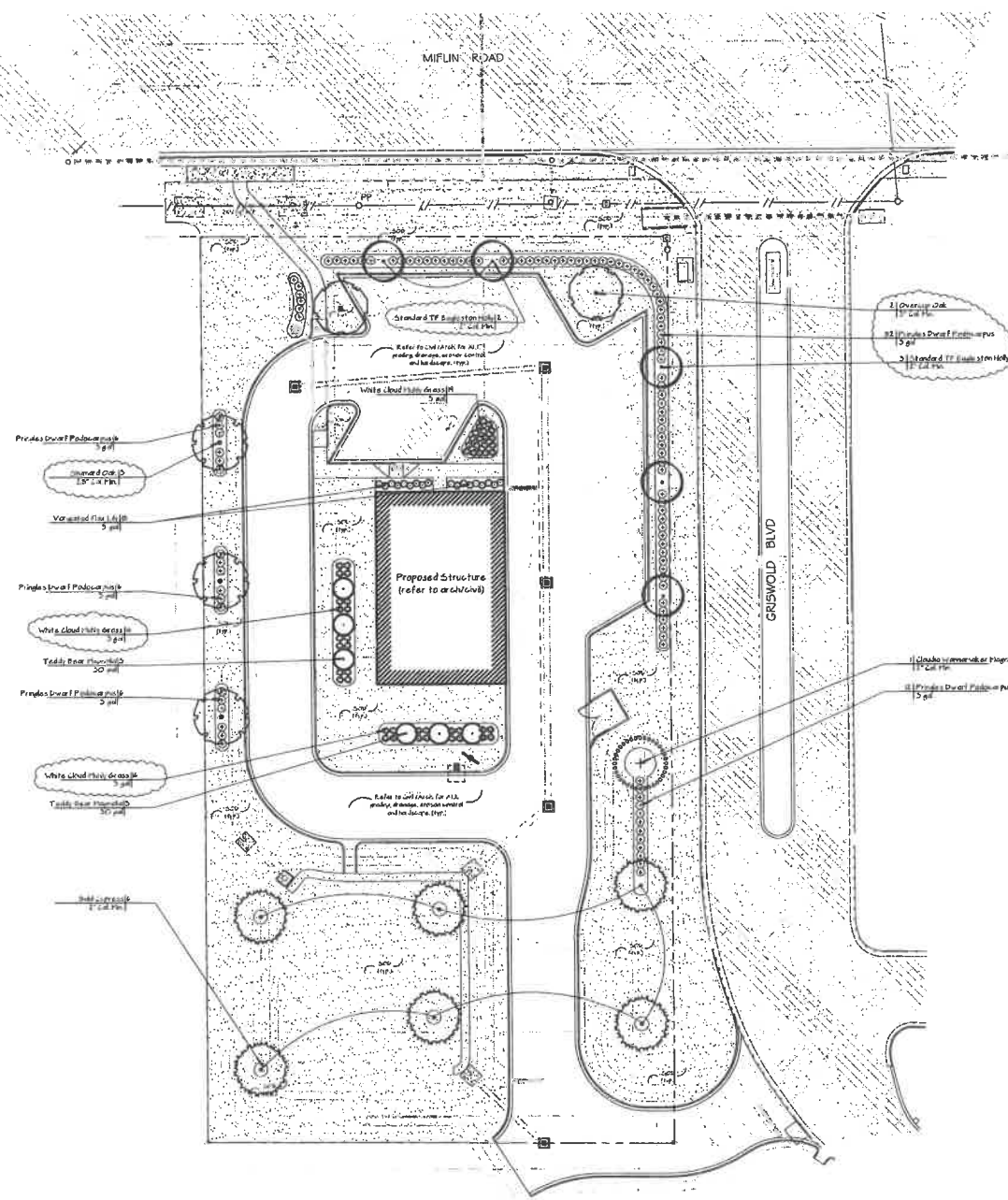


ISSUED/REVISED
Permitting 11/17/25
City Comment 3/10/25
City Comment 3/26/25

LANDSCAPE PLAN

DESIGNED BY JC	FILE NO. PUBLIC
DRAWN BY JC	
CHECKED BY JC	
DATE 2/26	
SCALE 11/12/25	

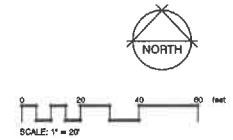
L-1.1



Contractor shall include a separate price for an automatic irrigation system, providing 100% head to head coverage using Rainbird equipment.

- NOTES:**
- All areas disturbed by construction shall be sodded unless otherwise noted (Typ.)
 - NO WORK SHALL BE PERFORMED WITHIN THE CITY RIGHT OF WAY WITHOUT APPLICABLE PERMISSION FROM THE GOVERNING AUTHORITY.
 - See sheet L-1.2 for details & schedule.
 - Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.

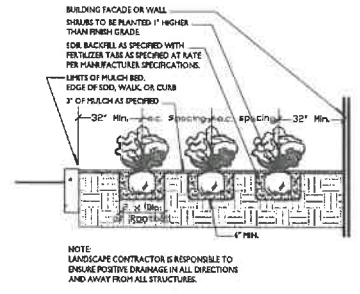
INSTALLATION NOTE:
These plans shall not be changed or modified without approval from the landscape architect.
Changes made without approval may result in denial of certificate of occupancy.
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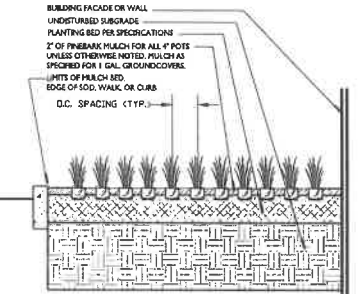
- NOTES:**
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 - CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
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LANDSCAPE NOTES:

- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include material, labor, equipment and services as described herein and indicated on the drawing. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location services. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Grading grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architect attention immediately. Landscape contractor to provide fine grading to assure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable material.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to PCA or ARB guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be sandy/loam natural. Fertilize and ferti-lize with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including the utility of all materials.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plant list are for convenience only.
- All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rate beds smooth and top dress with 3" min. of ground pinebark prior to planting.
- All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
- All trees and shrubs shall be planted with Woodace fertilizer tabs at rates per manufacturers recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufacturers recommendations prior to mulching.
- All beds shall receive Freshland pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with polymerized pinebark mulch unless otherwise noted.
- All pit lines shall have 3" V-shaped trench. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
- All pit material shall be Florida #1 or better and meet the latest standards of the "American Standard for Nursery Stock".
- All trees shall be staked with arbor guy (or equal) tree stakes per manufacturers recommendations.
- All disturbed areas shall be irrigated and soaked.
- Contractor shall maintain all planting and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or defoliated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

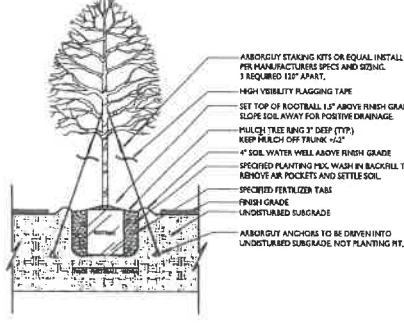


3 SHRUB PLANTING DETAIL
N.T.S. LA-02

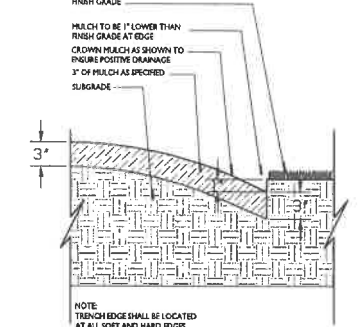


4 GROUNDCOVER PLANTING DETAIL
N.T.S. LA-02

1 LANDSCAPE NOTES
N.T.S. LA-18



2 TREE PLANTING
N.T.S. LA-01



5 TRENCH BED EDGE
N.T.S. LA-04

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPECS	CANOPY	DETAIL	REMARKS
TRFES	IE	5	Ilex x stecora 'Egerton'	Standard TF Egerton Holly	3" Cal. Min.	8' Ht. Min.	30 Gal.	15'		Single Trunk, Tree Form
	HT	4	Magnolia grandiflora 'Teddy Bear'	Teddy Bear Magnolia	30 gal	6-8' Ht. Min.	30 Gal.	8'		Full to Ground, Greenforest Nursery
	MC	1	Magnolia grandiflora 'Claudia Wannamaker'	Claudia Wannamaker Magnolia	3" Cal. Min.	8' Ht. Min.	20 Gal.	20'		Greenforest Nursery
	QO	2	Quercus lyrata	Overcup Oak	3" Cal. Min.	9-10' Ht. Min.	30 Gal.	20'		Greenforest Nursery
	Q5	3	Quercus stanandii	Shumard Oak	1.5" Cal. Min.	10' Ht. Min.		20'		Single Trunk, Tree Form, Specimen
	TD	4	Taxodium distichum	Bald Cypress	3" Cal. Min.	9-10' Ht. Min.	30 Gal.	20'		

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	DETAIL	REMARKS
SHRUBS	DV	18	Daniella baccata 'Variegata'	Variegated Fire Fly	3 gal		30" o.c.		
	HW	51	Mulleinbergia capillaris 'White Cloud'	White Cloud Planty Grass	3 gal		36" o.c.		
	PP	112	Panicum megeriphylla 'Pringle'	Pringle Dwarf Podocephalus	3 gal		36" o.c.		

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DETAIL	REMARKS
GROUND COVERS	CT	34,473 sq	Cymodon dactylon 'TE 419'	419 Bermuda Grass	seed				Contractor shall verify quantity.

GENERAL NOTES:
 1. LONG LEAF PINE STRAW ALL TREE RINGS & BEDS EXCEPT 4" x 1 GAL. POTS.
 2. 4" x 1 GAL. POTS TO BE PLANTED IN 3" OF PLANTING MIX AND TOP DRESSED WITH GROUND PINEBARK.
 3. USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTE 5.
 4. PIPING PLANTING PITS & GROUND COVER AREAS WITH PLANTING MIX. SEE NOTE 5.
 5. THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 6. SEE LANDSCAPE NOTES.
APPROVED NURSERIES:
 1. GREEN FOREST NURSERY
 2. FLOWERWOOD NURSERY
 3. WATERS NURSERY
 4. CHEERY LAKE NURSERY
 Other nurseries may be approved at the discretion of the landscape architect.

TREE NOTES:
 1. All trees shall be container grown unless otherwise noted or approved.
 2. Approve photos of ALL plant material with Landscape Architect.
 3. Trees must meet size specifications regardless of container size.

Contractor shall include a separate price for an automatic irrigation system, providing 100% head to head coverage using subirrigated equipment.

ESPALIER
landscape architecture

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Fairhope, Alabama 36533
P: 251-454-3300
esparierdesign.com

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PJ'S COFFEE
Millfin Road
Foley, AL



ISSUED/REVISED

Permitting 11/17/25
 City Comment 3/10/25
 City Comment 3/26/26

LANDSCAPE DETAILS

DATE	FILE NAME	PAGE
11/12/25	L-1.2	



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval

PROJECT NAME: Vulcan Inc- Rezone From M-1 to B-3

REQUEST: Zoning Application

SUBTYPE: Re-Zoning Application

OWNER / APPLICANT: Salt Church - Bo Smith

ACREAGE: 2

NUMBER OF LOTS: 2

PIN#(s): 120304 & 115366

LOCATION:
339 E BERRY AVE

PROJECT DESCRIPTION:
Vulcan Inc- Rezone From M-1 to B-3

CURRENT CITY ZONING:
M-1, Light Industry

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
B-3, Local Business District

ADJACENT ZONING:
M-1 & PUD

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Industrial District / General Commercial Corridor

EXISTING LAND USE:
Commercial Office Building



PC JOINT STAFF REPORT

Permit #: Z26-000008

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Approved**Reviewer:** Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved**Reviewer:** Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved**Reviewer:** Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved

1. With another church's parking lot to the west, and the new Medical PUD to the east, this rezoning request for the intent of repurposing the building for a church is appropriate and in character with the immediate neighborhood.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

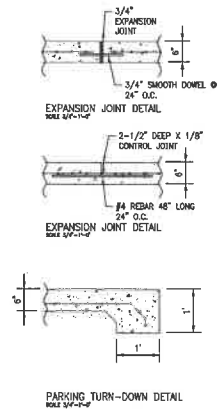
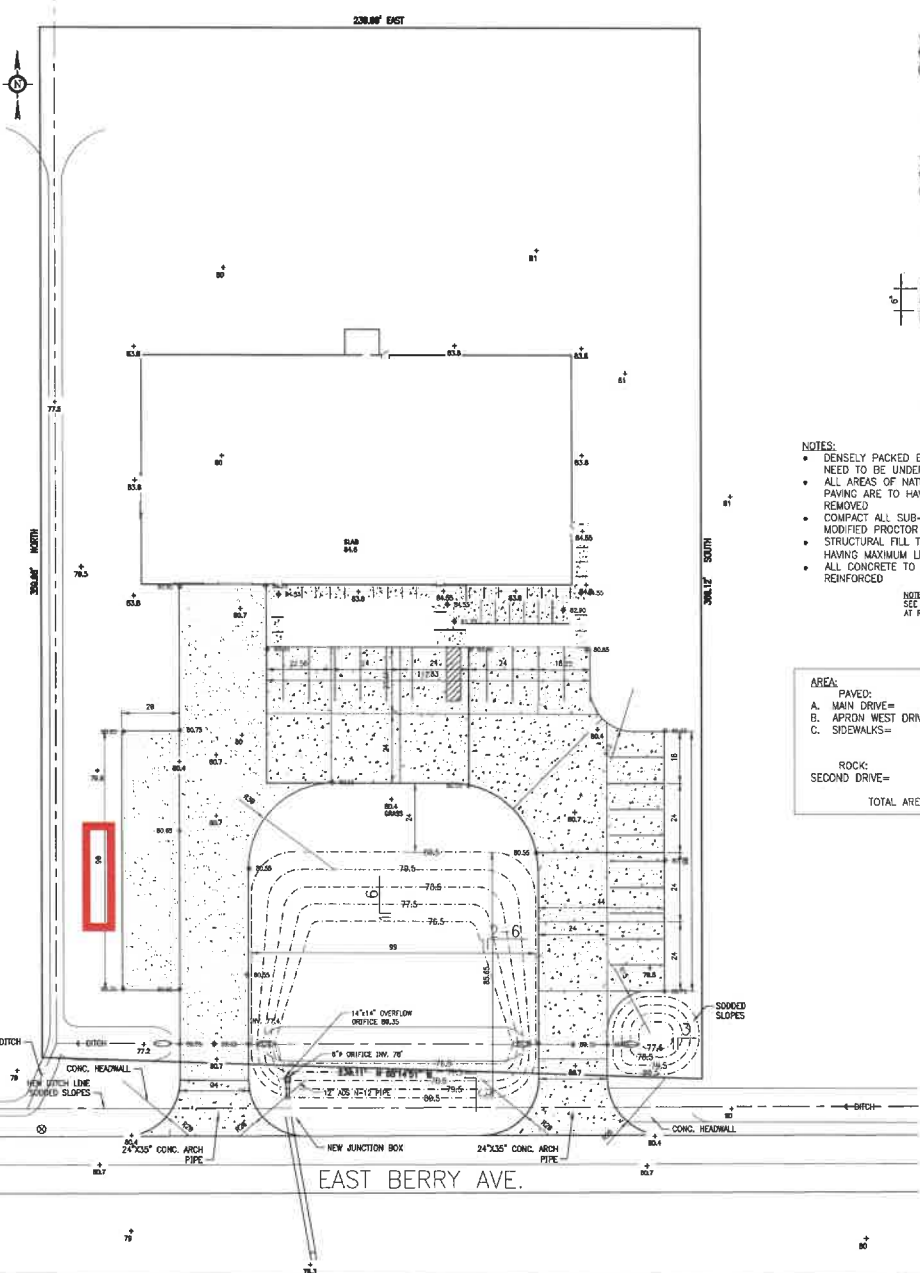
Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

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- NOTES:**
- DENSELY PACKED EXISTING DRIVE DOES NOT NEED TO BE UNDERCUT
 - ALL AREAS OF NATURAL GROUND BENEATH PAVING ARE TO HAVE ORGANIC TOP SOIL REMOVED
 - COMPACT ALL SUB-GRADE TO 90% BASED ON MODIFIED PROCTOR TEST
 - STRUCTURAL FILL TO BE COMPACTED TO 95% HAVING MAXIMUM LIST OF 6"
 - ALL CONCRETE TO BE 5000 PSI FIBER MESH REINFORCED
- NOTE:**
SEE SHIT 8 FOR 2 NEW CONCRETE LANDINGS AT REAR OF BUILDING

AREA:	
PAVED:	
A. MAIN DRIVE=	10,828.23
B. APRON WEST DRIVE=	708.81
C. SIDEWALKS=	1,179.50
	12717.54 SQ FT
ROCK:	
SECOND DRIVE=	4,843 SQ FT
TOTAL AREA=	17,560.54 SQ FT

Project 120905
Date 09/21/12
L.E. STIFFLER, ENGINEER LLC
309 W. LAUREL AVE.
FOLEY, AL 36535
251-943-8591
251-943-8441 FAX
lend@esengr.com

PLANT #9
VULCAN, INC
EAST BERRY AVE.
FOLEY, ALABAMA

120905VulcanP9.dwg	
Date:	06-07-2012
Drawn:	9-20-2012
TRN	
Revision Description	
1	UPDATED DRIVE, ANODE SCHEDULES
SCALE:	1" = 20'

REVISIONS:

1	10-01-2012
2	10-16-2012

C - 1



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval

PROJECT NAME: Harold Motter-Rezoning Property from R-1A to B-3

REQUEST: Zoning Application

SUBTYPE: Re-Zoning Application

OWNER / APPLICANT: Harold Motter

ACREAGE: 1.03

NUMBER OF LOTS:

PIN#(s): 17104 & 627668

LOCATION:

20971 BRINKS WILLIS RD

PROJECT DESCRIPTION:

Harold Motter-Rezoning Property from R-1A to B-3

CURRENT CITY ZONING:

R-1A, Residential Single Family

OVERLAY DISTRICT:

N/A

REQUESTED ZONING:

B-3, Local Business District

ADJACENT ZONING:

R-1D, BC Dist 30 RA & RSF-1

COUNTY ZONING:

N/A

COUNTY LOT SIZE:

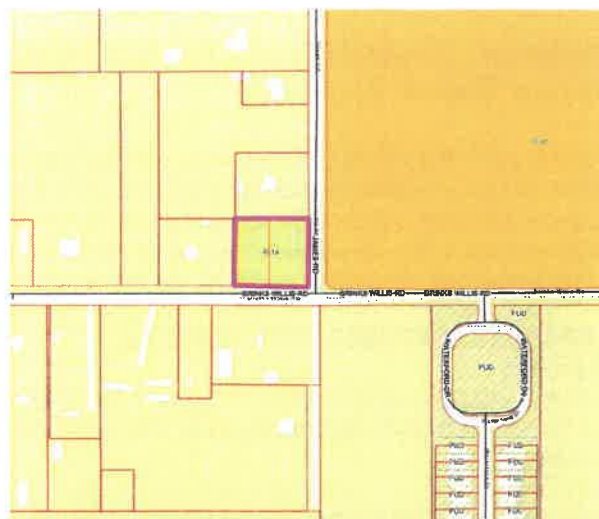
N/A

FUTURE LAND USE:

Place Type: Suburban Neighborhood

EXISTING LAND USE:

Vacant



PC JOINT STAFF REPORT

Permit #: Z26-000007

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Approved**Reviewer:** Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved**Reviewer:** Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved**Reviewer:** Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved

1. Zoning recommends approval. With the future extension of James Rd to the south, having a location for local business at the intersection is appropriate in this suburban neighborhood place type. Gas stations are specifically prohibited in B-3, but other local commercial uses are allowed.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

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Approved with Comments

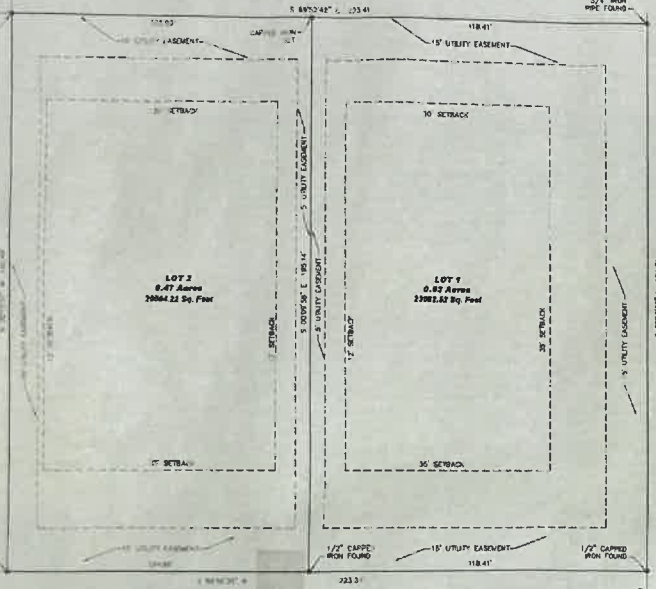
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Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.

GRAPHIC SCALE
0 20 40

05-81-00-18-0-001-002-000
JAMES, WILSON, ANGEL, OLGA, STELLA,
LILIANE, R AND OLGA BELLA PEREZ
3500 JAMES ROAD
FOLEY, AL 36535



JAMES RD (60' R.O.W.)

BRINKS WILLIS RD (60' R.O.W.)



SITE DATA
Parcel Number: 05-81-00-18-0-001-024-000
NUMBER OF LOTS: 2
TOTAL AREA: 1.29 ACRES
OWNER: RONNIE NORDAN
PO BOX 307, OUBENTOWN, AL 36007
PHONE: 334-314-
PROPERTY:
MINIMUM DEPTH OF FRONT YARD: 35 FEET
MINIMUM DEPTH OF REAR YARD: 30 FEET
MINIMUM DEPTH OF REAR YARD WITH POOL/SPACIA ENCLOSURE: 10 FEET
MINIMUM WIDTH OF EACH SIDE YARD: 12 FEET
MINIMUM DEPTH OF SIDE YARD ABUTTING STREET: 15 FEET
EASEMENTS:
15' UTILITY EASEMENT ACROSS THE FRONT OF ALL LOTS
15' UTILITY EASEMENT ALONG THE SIDE OF ALL LOTS
15' UTILITY EASEMENT ACROSS THE REAR OF ALL LOTS

SURVEY NOTES

- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE INSURANCE COMMITMENT OR TITLE SEARCH PROVIDED TO UNDER SURVEYING CONSULTANTS BY THE BIDDING SUBMITTER.
- NO ADJACENT OR OTHER PLATS SHOWN WERE LOCATED.
- THIS IS A SUBSTANTIAL CLASS B BOUNDARY SURVEY.
- DATE OF RECORDS FOR THIS SURVEY IS THE ALABAMA STATE PLANNING COORDINATE SYSTEM WEST ZONE, 1983 (2011), AS DETERMINED BY GPS OBSERVATIONS.
- ALL 1/2" IRON PIPE SET ON THIS SURVEY ARE MARKED WITH BLUE CAPS STAMPED "UNDER SURVEYING-CAL-1088-LS".
- THIS PROPERTY IS LOCATED IN ZONE 3 - UNIMPAVED AS SHOWN FROM FOUR PINS PLACED IN SUBSEQUENCE.

LEGAL DESCRIPTION

CONVENIENCES AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA, THENCE S 89°32'17" W A DISTANCE OF 30.00 FEET TO A POINT "NODEN" IN "ODD" W/4 A DISTANCE OF 50.00 FEET TO A CAPPED IRON FOUND AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF JAMES ROAD AND THE NORTH RIGHT OF WAY LINE OF BRINKS WILLIS ROAD, EACH POINT BEING THE POINT OF RECORDING FOR THE PARCEL HEREIN DESCRIBED, THENCE S 89°32'17" W ALONG THE NORTH RIGHT OF WAY LINE OF BRINKS WILLIS ROAD A DISTANCE OF 233.33 FEET TO A FOUND 1/2" IRON PIPE, THENCE DEPARTING SAID RIGHT OF WAY IN ORDER TO W A DISTANCE OF 184.88 FEET TO A FOUND 1/2" CAPPED IRON, THENCE S 89°32'17" W A DISTANCE OF 233.41 FEET TO A 3/4" IRON PIPE FOUND ON THE WEST RIGHT OF WAY LINE OF JAMES ROAD, THENCE S 0°00'00" E ALONG SAID WEST RIGHT OF WAY LINE A DISTANCE OF 184.74 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S CERTIFICATE

I, JASON W. UNDER, HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

Jason W. Under 5-30-24
STATE OF ALABAMA REGISTRATION NO. 34782

CERTIFICATE OF COMPLETION
STATE OF ALABAMA
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT I, CHARLES RONNIE NORDAN, THE UNDERSIGNED, ARE OWNER(S) OF THE LAND SHOWN AND DESCRIBED IN THE PLAT AND THAT I HAVE CAUSED THE SAME TO BE SURVEYED AND DESCRIBED AS INDICATED HEREOF, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED.

THIS THE 14th DAY OF August 2024
Charles Ronnie Nordan
OWNER

ACKNOWLEDGEMENT
STATE OF ALABAMA
COUNTY OF BALDWIN

I, *Alicia C. Smith*, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE HEREBY CERTIFY THAT RONNIE NORDAN WHOSE NAMED AND SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY AND WITH FULL AUTHORITY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL, THIS THE 14th DAY OF August 2024

Alicia C. Smith
NOTARY PUBLIC

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER
THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
THIS THE 20th DAY OF AUGUST 2024
City Engineer
CITY ENGINEER

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION
THE WITHIN PLAT OF FOLEY FIELDS SUBDIVISION, FOLEY, ALABAMA, IS HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION.
THIS THE 21st DAY OF AUGUST 2024
Community Development Director
COMMUNITY DEVELOPMENT DIRECTOR

CERTIFICATE OF APPROVAL BY BALDWIN DMC (DEVELOPER)
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN DMC, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
THIS THE 19th DAY OF June 2024
Community Development Director
BALDWIN DMC REPRESENTATIVE

CERTIFICATE OF APPROVAL BY GENERAL UTILITIES CENTER
THE UNDERSIGNED, AS AUTHORIZED BY GENERAL UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
THIS THE 15th DAY OF June 2024
General Utilities Representative
GENERAL UTILITIES REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER SERVICE FACILITY
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY SEWER SERVICE, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
THIS THE 15th DAY OF June 2024
Baldwin County Sewer Service Representative
BALDWIN COUNTY SEWER SERVICE REPRESENTATIVE

CERTIFICATE OF APPROVAL BY CENTRAL LINK COMMUNICATIONS (COMMUNICATIONS)
THE UNDERSIGNED, AS AUTHORIZED BY CENTRAL LINK COMMUNICATIONS, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
THIS THE 10th DAY OF August 2024
Central Link Communications Representative
CENTRAL LINK COMMUNICATIONS REPRESENTATIVE

BALDWIN COUNTY HEALTH DEPARTMENT RECORDING ENLISTMENT
"THE LOTS ON THIS PLAT ARE SUBJECT TO APPROVAL OR OBJECTION BY THE BALDWIN COUNTY HEALTH DEPARTMENT AND REPRESENTATION IS MADE THAT ANY LOT ON THIS PLAT IS ACCORDING TO THE HEALTH DEPARTMENT'S STANDARDS FOR A LOT FOR HEALTHY DEVELOPMENT. THE FRONT AND REAR YARDS SHALL BE DETERMINED BASED ON AN APPLICATION AS SUBMITTED BY THE LOTS' APPLICANT AND THE HEALTH DEPARTMENT SHALL REVIEW THE USES OF THE LOTS ON THIS PLAT TO DETERMINE IF THEY MEET THE HEALTH DEPARTMENT'S STANDARDS AND PROCEDURES FOR HEALTHY DEVELOPMENT."
THE UNDERSIGNED AS AUTHORIZED BY BALDWIN COUNTY HEALTH DEPARTMENT, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
THIS THE 20th DAY OF August 2024

UNDER SURVEYING CONSULTANTS, LLC
UNDER SURVEYING CONSULTANTS, LLC
370 FIRST STREET
BILAR, ALABAMA 36619
978 251 296 2800
www.underurveying.com

FOLEY FIELDS SUBDIVISION
RONNIE NORDAN
SECTION 16, TOWNSHIP 8 SOUTH, RANGE 4 EAST
BALDWIN COUNTY, ALABAMA



Official seal of the Baldwin County Health Department.

2142832
BALDWIN COUNTY, ALABAMA
PROPERTY DIVISION, 401 PRORATA JUDGE
PINECRAWF, OGDONSBORO #1 200 PM
FOLEY, AL 36506 1 Page
FILED: 8/28/24-C



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval with Conditions
PROJECT NAME: The Waters at OWA Multi-Family Development
REQUEST: Zoning - Site Plan Approval
SUBTYPE: Property is in a PDD
OWNER / APPLICANT: Stoa Group - Heidi Spring

ACREAGE: 19.69

NUMBER OF LOTS: 1

PIN#(s): 395447

LOCATION:
10531 N FOLEY-BEACH EXPRESS BLVD

PROJECT DESCRIPTION:
The Waters at OWA Multi-Family Development

CURRENT CITY ZONING:
PDD

OVERLAY DISTRICT:
FBEOD, Foley Beach Express Overlay District

REQUESTED ZONING:
N/A

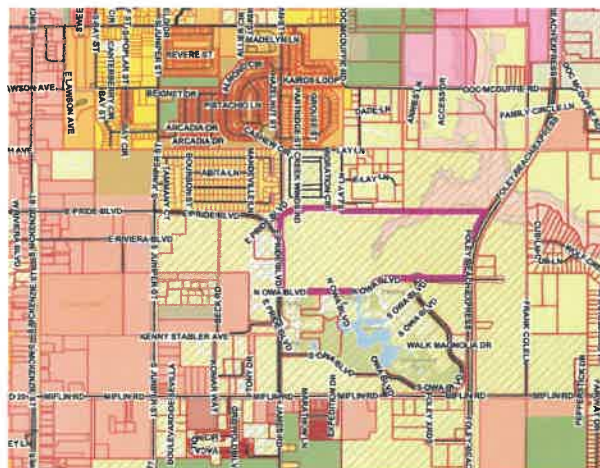
ADJACENT ZONING:
portion of parcel to be developed is surrounded by PDD

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Mixed Use Node & Suburban Neighborhood

EXISTING LAND USE:
Vacant



PC JOINT STAFF REPORT

Permit #: ZSP26-000005

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Approved**Reviewer:** Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. No additional comments from Environmental. Please refer to 1st review comments.

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved**Reviewer:** Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved with Comments

1. Still need confirmation of new road name north of the traffic circle.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

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NOTES - ELEVATIONS

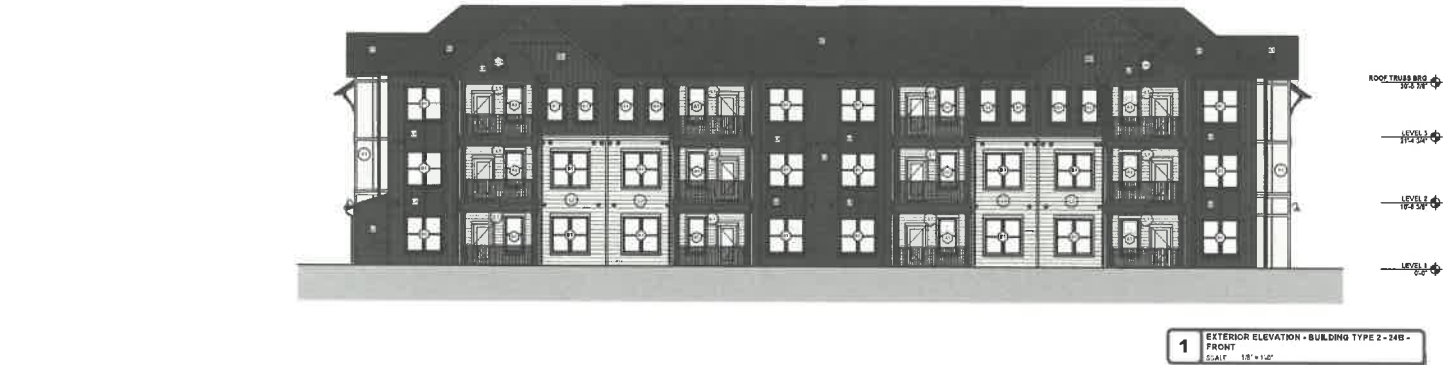
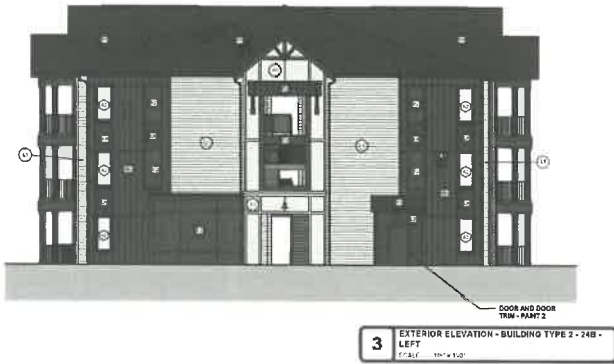
- GENERAL**
- FOUNDATION AND GRADES ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL AND CIVIL DRAWINGS FOR MORE INFORMATION.
 - SEE ALL FINISH SCHEDULES FOR DOOR AND WINDOW TYPES AND SIZES.
 - SEE ROOF SCHEDULES FOR ROOF BELOW, DRAINAGE, GUTTER AND ROOF VENT INFORMATION.
 - PROVIDE FLASHING FOR ALL EXTERIOR WALL PENETRATIONS. PROVIDE COMP ROJ. JOISTS IN ACCORDANCE WITH STANDARD PRODUCT SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS IF EQUIPPED.
 - WHERE A COLOR IS NOT PROVIDED BY THE ARCHITECT, ALL EXPOSED FLASHING, PENETRATING ELEMENTS, DRYER VENTS AND PLUMBING VENTS AND OTHER MISCELLANEOUS EXPOSED EXTERIOR ITEMS SHALL MATCH OR BE PAINTED TO MATCH THE ADJACENT EXTERIOR SURFACE. CONTACT ARCHITECT WITH ANY QUESTIONS OR CONCERNS.
 - PROVIDE SUBMITTALS SHOWING ALL CONTROL, EXPANSION AND CONTRACTION Joints AND JOINTS RECOMMENDED BY MANUFACTURER. USE MANUFACTURER'S RECOMMENDATIONS, SPECIFIC SPECIFICATIONS AND STANDARDS PRIOR TO PROCEEDING WITH WORK.
 - ALL EXPOSED FLASHING TO BE PREFINISHED.
 - SEE TRIM SCHEDULE ON 05-20 FOR MORE INFORMATION.
 - SEE BUILDING COMPONENT SCHEDULE ON 05-20 FOR MORE INFORMATION.
 - WHERE SHEET APPLIED WEATHER BARRIERS ARE SPECIFIED, INSTALL IN ACCORDANCE WITH ALL THEIR RECOMMENDATIONS AND INSTRUCTIONS.
 - ALL EXTERIOR FINISHES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 - ALL FINISHES TO BE FULLY FLUSH BEFORE BEGINNING EXTERIOR FINISH AREA WITHIN EACH WORK AREA.
- FIBER CEMENT SIDING**
- ALL FIBER CEMENT SIDING AND TRIM TO BE INSTALLED PER JAMES HARDIE INSTALLATION INSTRUCTIONS FOR MULTIFAMILY COMMERCIAL PROJECTS.
 - TOUCH UP PAINT AND PRIMER AT ALL FIELD CUTS.
 - REFER TO TRIM SCHEDULE FOR ALL TRIM PROFILES, MATERIALS AND SIZES.
 - PROVIDE SMOOTH PANEL SIDING BEHIND ALL DISCONNECTS AND ELECTRICAL EQUIPMENT.
 - PROVIDE PLUMB BLOCKS AT ALL PLUMBING HANG AND ELECTRICAL PENETRATIONS GREATER THAN THREE". SEE SHEET AS 36 FOR TYPICAL PLUMB BLOCK HANG.
 - SEE MATERIAL LEGEND FOR LAP / JOINTABLE SIDING.
- EXPOSED CMU**
- ALL EXPOSED CMU ON THE EXTERIOR THAT DOES NOT RECEIVE A CLADDING TO REMAIN EXPOSED PER STON STANDARD.

EXTERIOR MATERIAL LEGEND

- (1) FIBER CEMENT LAP SIDING, 4" EXPOSED - PAINT 1
- (2) FIBER CEMENT LAP SIDING, 4" EXPOSED - PAINT 2
- (3) FIBER CEMENT LAP SIDING, 8" EXPOSED - PAINT 1
- (4) FIBER CEMENT LAP SIDING, 8" EXPOSED - PAINT 2
- (5) FIBER CEMENT PANELS - PAINT 1
- (6) FIBER CEMENT PANELS - PAINT 2
- (7) BRICK - PAINT 1
- (8) BRICK - PAINT 2
- (9) BRICK - PAINT 3
- (10) BRICK - PAINT 1 (RANDOM BY GENERAL SIZES OF 5S)
- (11) METAL SHED ROOF
- (12) STANDING SEAM METAL ROOF

EXTERIOR COLOR LEGEND

PAINT 1	SHAWNEESIDE	SW 9001-20
PAINT 2	BRUNNEN	SW 9001-20
ADHESIVE GYPSUM	MED HONEY WOOD	
SSR	LIGHT BROWN	SW 9001-20
NOTE	COLORS TO BE MATCHED UP AND APPROVED BY THE ARCHITECT PRIOR TO ORDERING PAINT. PAINT TO BE KEPT IN BAG.	



PRELIMINARY

FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION.



ARCHITECTURAL ELEVATIONS

WATERS AT OWA

STOA GROUP
1600 ELLIE DRIVE
COLUMBIA, SC 29203

REVISIONS

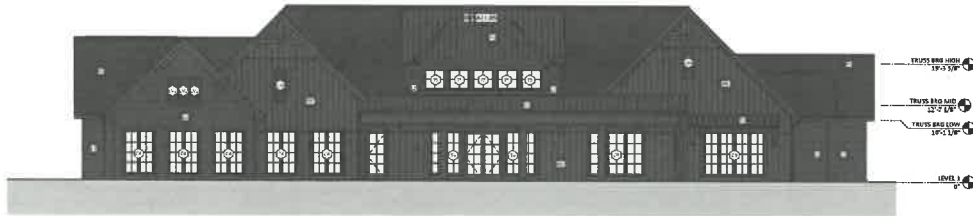
DATE DESCRIPTION

PROJ. NO. 24048 | ISSUE DATE 01/21/2025

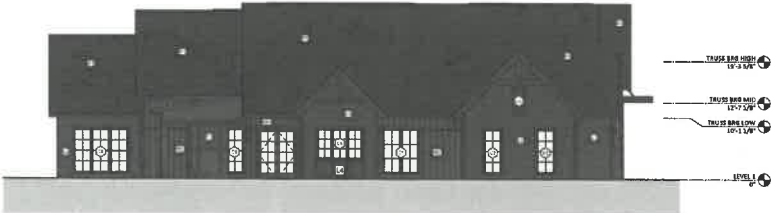
SHEET NAME:
EXTERIOR ELEVATION - BUILDING TYPE 2-24B

SHEET NO:
A4.21

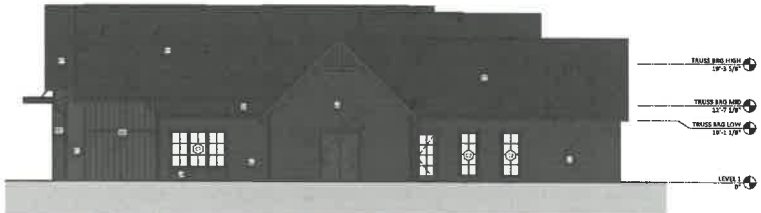
COPYRIGHT 2024 - FIFTH DIMENSION ARCHITECTURE & INTERIORS, LLC



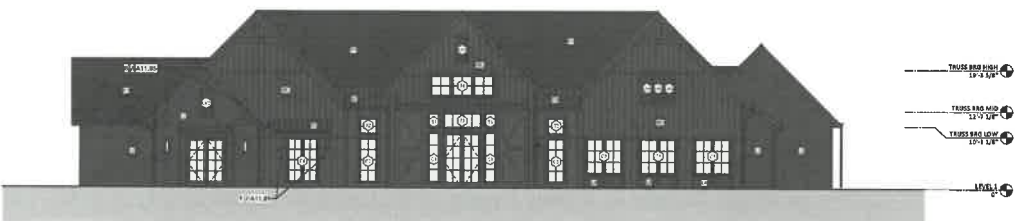
4 EXTERIOR ELEVATION - CLUBHOUSE - BACK
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - CLUBHOUSE - LEFT
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - CLUBHOUSE - RIGHT
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - CLUBHOUSE - FRONT
SCALE: 1/8" = 1'-0"

NOTES - ELEVATIONS

- GENERAL**
- FOUNDATION AND GRADES ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. SEE STRUCTURAL AND CIVIL DRAWINGS FOR MORE INFORMATION.
 - REFER TO PLANS AND SCHEDULES FOR DOOR AND WINDOW TYPES AND SIZES.
 - SEAL ALL PENETRATIONS WITH SEALANT TO MATCH ADJACENT MATERIALS.
 - SEE ROOF PLANS FOR ROOF SLOPE, DOWNSPOUTS, GUTTERS AND ROOF VENT INFORMATION.
 - PROVIDE FLASHING ROOF AT ALL EXTERIOR WALL PENETRATIONS. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH STANDARD PRODUCT SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS.
 - FLASHINGS NOT PROVIDED BY THE ARCHITECT. ALL EXPOSED FLASHING PENETRATING ELEMENTS, GUTTER VENTS AND PLUMBING VENTS AND OTHER MECHANICAL EXPOSED EXTERIOR FIBER PANELS SHALL BE PAINTED TO MATCH THE ADJACENT EXTERIOR SURFACE FINISH. CONTACT ARCHITECT WITH ANY QUESTIONS OR CONCERNS.
 - PROVIDE SUBMITTAL SHOWING ALL CONTROL, EXPANSION AND SEPARATION JOINT LOCATIONS REQUIRED BY DRAWINGS, CODE, MANUFACTURER'S RECOMMENDATIONS, SPECIFIC SPECIFICATIONS AND STANDARD PRACTICE TO PROTECTION WITH FINISH.
 - ALL EXPOSED FLASHING TO BE PRE-FINISHED.
 - SEE TRIM SCHEDULE ON OWS FOR MORE INFORMATION.
 - SEE BUILDING COMPONENT SCHEDULE ON OWS FOR MORE.
 - FINISH SHEET APPLIED WEATHER BARRIERS ARE SPECIFIED. INSTALL IN ACCORDANCE WITH ALL TRADE RECOMMENDATIONS AND INSTRUCTIONS.
 - ALL EXTERIOR FINISHES TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 - ALL PENETRATIONS TO BE FULLY FLASHED BEFORE BEGINNING EXTERIOR FINISH AREA WITHIN EACH WORK AREA.
- FIBER CEMENT SIDING**
- ALL FIBER CEMENT SIDING AND TRIM TO BE INSTALLED PER JAMES HARDIE INSTALLATION INSTRUCTIONS FOR MULTIFAMILY COMMERCIAL PRODUCTS.
 - TOUCH-UP PAINT AND FINISH AT ALL FIELD JOINTS.
 - REFER TO TRIM SCHEDULE FOR ALL TRIM PROFILES, MATERIALS AND SIZES.
 - PROVIDE SMOOTH PANEL SIDING BEHIND ALL DISCONNECTS AND ELECTRICAL EQUIPMENT.
 - PROVIDE PLUMB BLOCKS AT ALL PLUMBING HANG AND ELECTRICAL PENETRATIONS LOWER THAN METEEL. SEE SHEET A4.06 FOR TYPICAL PLUMB BLOCK SIDING.
 - SEE MATERIAL LEGEND FOR LAP EXPOSURE SIDING.
- EXPOSED CMU**
- ALL EXPOSED CMU ON THE EXTERIOR THAT DOES NOT RECEIVE A CLADDING TO REMAIN EXPOSED PER STATION STANDARD.

EXTERIOR MATERIAL LEGEND

- (1) FIBER CEMENT LAP SIDING, 1" EXPOSURE, PAINT 1
- (2) FIBER CEMENT LAP SIDING, 1" EXPOSURE, PAINT 2
- (3) FIBER CEMENT LAP SIDING, 1" EXPOSURE, PAINT 1
- (4) FIBER CEMENT LAP SIDING, 1" EXPOSURE, PAINT 2
- (5) FIBER CEMENT PANELS, PAINT 1
- (6) FIBER CEMENT PANELS, PAINT 2
- (7) BRICK 4 BATTERY, PAINT 1
- (8) BRICK 4 BATTERY, PAINT 2
- (9) BRICK, PAINT 1 BRICK BY GENERAL DAVIS OR CRA
- (10) ASPHALT SHINGLE ROOF
- (11) STANDARD SEAM METAL ROOF

EXTERIOR COLOR LEGEND

PART 1	FINISHED	AS SHOWN
PAINT	FLUOROC	AS SHOWN
ASPHALT SHINGLE	WEATHERED WOOD	
BRICK	BRICK-4 BATTERY	

NOTE: COLORS TO BE MATCHED UP AND APPROVED BY OUR SUBSEQUENT TRIM TO FINISHING PAINT. PAINT TO BE LATEST FINISH.

PRELIMINARY

FOR INTERIM REVIEW ONLY. NOT FOR REGULATOR APPROVAL, PERMITTING OR CONSTRUCTION.

5 FIFTH DIMENSION
ARCHITECTURE & INTERIORS, LLC

ARCHITECTURAL ELEVATIONS

WATERS AT OWA

STOA GROUP
1800 FLEET DRIVE
COLUMBIA, SC 29203

REVISIONS

NO.	DATE	DESCRIPTION

PROJ. NO. 240548 | ISSUE DATE 01/21/2025

SHEET NAME:
EXTERIOR ELEVATION - CLUBHOUSE

SHEET NO:
A4.71



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval

PROJECT NAME: The Waters at OWA Multi-Family Development

REQUEST: PDD Modification

SUBTYPE: Application for PDD Modification

OWNER / APPLICANT: Stoa Group - Heidi Spring

ACREAGE: 19.69 acres

NUMBER OF LOTS:

PIN#(s): 395447

LOCATION:
10531 N FOLEY-BEACH EXPRESS BLVD

PROJECT DESCRIPTION:
The Waters at OWA Multi-Family Development

CURRENT CITY ZONING:
PDD - Planned Development District

OVERLAY DISTRICT:
FBEOD, Foley Beach Express Overlay District

REQUESTED ZONING:
N/A

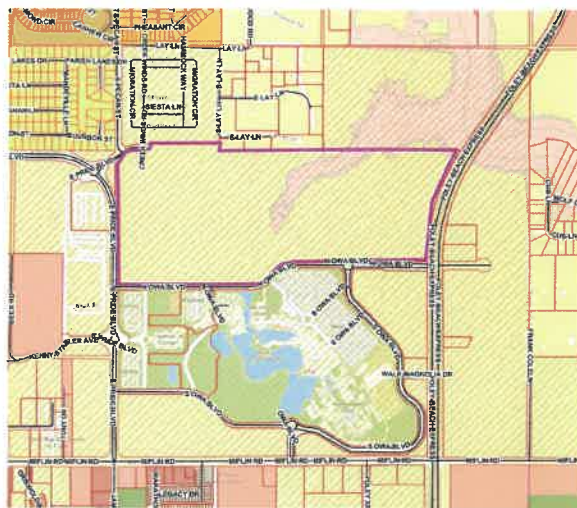
ADJACENT ZONING:
PDD, PUD, Unzoned BC Dist 34

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Mixed Use Node & Suburban Neighborhood

EXISTING LAND USE:
Vacant



PC JOINT STAFF REPORT

Permit #: PDD26-000003

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering
Review Status: Approved

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental
Review Status: Approved

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department
Review Status: Approved

Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning
Review Status: Approved

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department
Review Status: Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.

PC JOINT STAFF REPORT

Permit #: CUP26-000001

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Approved**Reviewer:** Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. If there are no exterior alterations that would cause land disturbance/expose soils, or removal of trees, this building use change would be approved by Environmental if all other department requirements have been met.

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved with Comments

Owner submitted a letter and has agreed to satisfy our comments which are:

1. Currently, there is no proper turnaround area once we enter the property. Turnaround specifications can be found in Appendix D of the IFC.
2. All portions of the building's exterior walls must be accessible within 200ft of the fire department apparatus. Currently, the apparatus's drivable surface is at the front of the building. Since the building is 250 feet long, our hose lines cannot reach all exterior portions. An access road could be added to one side of the building to meet this requirement. Appendix D of the 2024 IFC references criteria for access road and turn around design, Access roads over 150 feet require the proper turnaround for the apparatus. I don't believe this can be achieved by locating the access road on the east side of the building. If you are planning future developments, locating the access road on the west side may be beneficial.
3. Consult and provide documentation from a fire protection contractor that states the current sprinkler design is capable of providing the proper protection for the proposed change of use.

Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved with Comments

1. With the consideration that this lot is a second tier lot and not directly fronting Hwy 59, Zoning has no objection to the repurposing of this building to a storage use. Any further development of the property would require frontage on an open and improved ROW, not just the existing easement.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved with Comments

1. Building permit is required for any building modifications.

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

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Approved with Comments

Subject: Conditional Use Request – Self-Storage

Property: 14965 SR-59 | PIN: 216162

To Whom It May Concern,

I am writing to formally request approval of a **conditional use to allow self-storage** for the property located at **14965 SR-59 (PIN: 216162)**. This request aligns with the existing improvements on the site and supports the long-term viability and productive use of the property.

The subject property contains an approximately **32,250 square foot single-story warehouse** that is fully insulated, climate-controlled, and equipped with a comprehensive fire suppression system. The building includes commercial storefront doors on all elevations and is situated on a **second-tier lot**, not directly fronting Highway 59.

Due to the building's **limited eave heights and overall configuration**, the structure presents challenges for many traditional commercial or industrial uses. Typical warehouse or distribution operations require greater clear heights to accommodate modern equipment and racking systems, which this building cannot efficiently support. Additionally, commercial retail uses rely heavily on **direct visibility and frontage traffic**, both of which are limited due to the property's second-tier location.

Given these constraints, the building's current utility is effectively limited, and the structure is **currently vacant**.

A conditional use approval for **self-storage** represents a logical and compatible reuse of the existing improvements. Self-storage is well-suited for second-tier properties, does not require direct frontage exposure, and is recognized as one of the **lowest traffic-generating commercial uses**, with industry data reflecting an average of **three to four peak-hour trips per day** by end users.

Summary:

- **Current Use:** Vacant warehouse
- **Proposed Conditional Use:** Self-storage
- **Justification:** Building configuration, limited eave heights, second-tier location, and low traffic impact
- **Compatibility:** Consistent with surrounding development patterns and infrastructure capacity

Approval of this conditional use would allow the property to be utilized in a manner consistent with its physical limitations while contributing positively to the local tax base and minimizing traffic and infrastructure impacts.

Thank you for your time and consideration. I welcome the opportunity to discuss this request in further detail and am available to meet at your convenience.

Sincerely,

Trey Potts

850-501-9101

Current Improvements









PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Denial
PROJECT NAME: Tretheway Subdivision
REQUEST: Subdivision
SUBTYPE: Minor
OWNER / APPLICANT: ENGINEERING DESIGN GROUP

ACREAGE: 4.92

NUMBER OF LOTS: 2

PIN#(s): 18543

LOCATION:
7767 -A ROSCOE RD

PROJECT DESCRIPTION:
Tretheway Subdivision

CURRENT CITY ZONING:
Split zoned: B-1A & R-3

OVERLAY DISTRICT:
FBEOD (Foley Beach Express Overlay District)

REQUESTED ZONING:
N/A

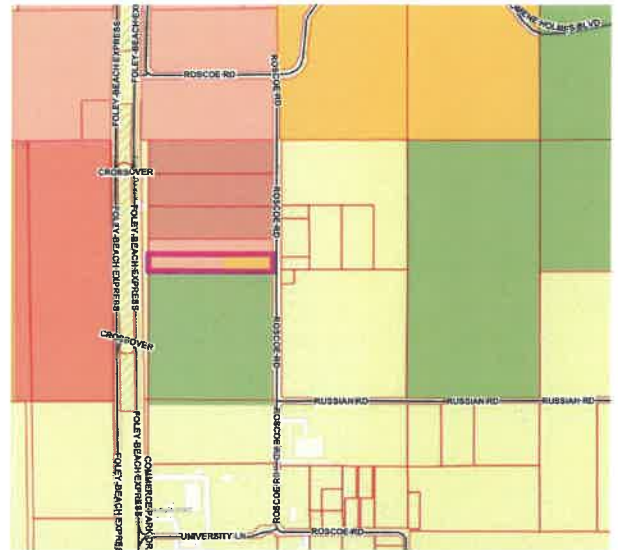
ADJACENT ZONING:
B-1A, AO, and BC Dist 30 RA & RSF-1

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Suburban Neighborhood

EXISTING LAND USE:
East end: Single Family Residential, West end:
vacant/wooded



PC JOINT STAFF REPORT

Permit #: SUB26-000006

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Not Approved - Comments

1. The west lot would need direct access to a roadway. There's currently a piece of City owned property between what would be the west lot and the FBE. The east lot would have frontage off Roscoe. We cannot approve this layout as presented due to lack of frontage of the west lot per Sect. 5.9.A of the Subdivision Regulations.

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Not Approved**Reviewer:** Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Not Approved**Reviewer:** Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Not Approved**Reviewer:** Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Not Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

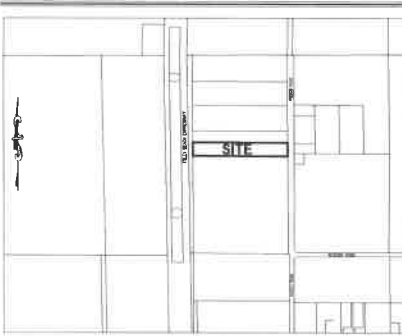
Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

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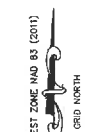


SITE DATA
TOTAL ACREAGE = 4.82 AC
NUMBER OF LOTS = 2
SMALLEST LOT SIZE = 1.93 AC
LARGEST LOT SIZE = 2.99 AC

ZONING (FOLEY)
LOT 1
B-1A
MINIMUM YARD SETBACKS
FRONT: 30 FEET
REAR: 30 FEET
SIDE: 30 FEET
LOT 2
R-3
MINIMUM YARD SETBACKS
FRONT: 30 FEET
REAR: 30 FEET
SIDE: 10 FEET
LOTS ARE SUBJECT TO THE FOLEY BEACH EXPRESS OVERLAY DISTRICT

SURVEYOR
ENGINEERING DESIGN GROUP, LLC
1000 EAST LAUREL AVENUE
FOLEY, AL 36535
(251) 943-8950
CONTACT: MICHAEL A. JOHNSON, P.L.S.

OWNER
SHALMARA TRETHERWEY
7757 ROSCOE ROAD
GULF SHORES, AL 36542

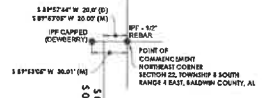
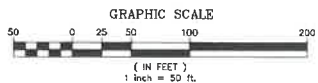


TRETHERWEY SUBDIVISION

SITUATED IN SECTION 22,
TOWNSHIP 8 SOUTH, RANGE 4 EAST,
BALDWIN COUNTY, ALABAMA

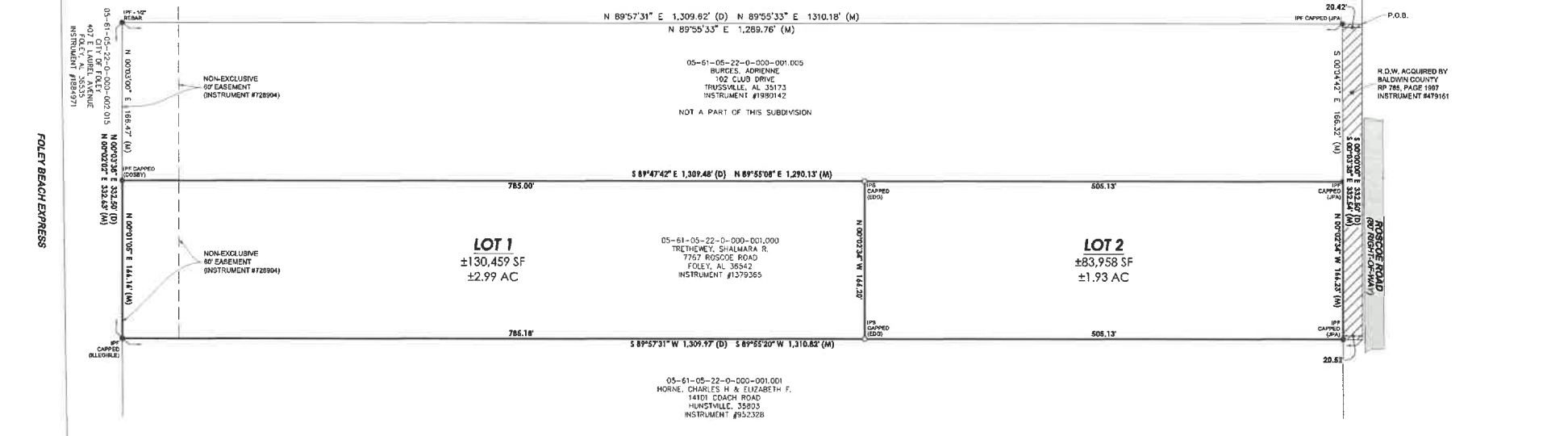
THE INTENT OF THIS PLAT IS TO SUBDIVIDE
A PARCEL OF LAND INTO 2 LOTS.

BALDWIN EMC NOTE:
THERE IS A DEDICATED 10' UTILITY EASEMENT ON ALL LOT LINES AND COMMON AREAS ADJACENT TO THE RIGHT-OF-WAYS AND A 10' UTILITY EASEMENT ON EACH SIDE OF LOT AND COMMON AREAS, UNLESS OTHERWISE NOTED. ALSO, THERE EXISTS A 20 FEET EASEMENT THAT IS 10 FEET EITHER SIDE OF THE CENTERLINE OF EXISTING OVERHEAD POWER LINES AND A 10 FEET EASEMENT THAT IS 5 FEET EITHER SIDE OF THE CENTERLINE OF EXISTING UNDERGROUND POWER LINES UPON AND ACROSS THE PARCEL(S) SHOWN HEREIN.



VICINITY MAP

N.T.S.



CERTIFICATE OF OWNERSHIP AND DEDICATION
THIS IS TO CERTIFY THAT I (WE) ARE THE OWNERS OF THE LAND SHOWN AND DESCRIBED IN THE PLAT THAT I (WE) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED, AND GRANT ALL EASEMENTS AND DEDICATE STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACE TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.
DATED THIS _____ DAY OF _____, 2026.

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER
THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF FOLEY, ALABAMA HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
SIGNED THIS _____ DAY OF _____, 2026.

CERTIFICATE OF APPROVAL BY BALDWIN EMC (ELECTRIC)
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.
SIGNED THIS _____ DAY OF _____, 2026.

CERTIFICATE OF APPROVAL BY HINERA UTILITIES (SEWER)
THE UNDERSIGNED, AS AUTHORIZED BY HINERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. THIS THE _____ DAY OF _____, 2026.

RECORD LEGAL DESCRIPTION:
COMMENCING AT A 6" IRON ROD LOCATED AT THE NORTHEAST CORNER OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA, THENCE SOUTH 88 DEGREES 57 MINUTES 44 SECONDS WEST ALONG THE NORTH LINE OF SAID SECTION 22 FOR 20.0 FEET TO THE WEST RIGHT OF WAY LINE OF ROSCOE ROAD (40 FOOT RIGHT OF WAY CLAY ROAD); THENCE SOUTH 60 DEGREES 10 MINUTES 00 SECONDS EAST ALONG SAID WEST RIGHT OF WAY FOR 962.6 FEET TO AN IRON ROD AND CAP AND POINT OF BEGINNING; THENCE CONTINUE SOUTH 60 DEGREES 10 MINUTES 00 SECONDS EAST FOR 202.58 FEET TO AN IRON ROD AND CAP; THENCE SOUTH 88 DEGREES 57 MINUTES 31 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER FOR 1328.87 FEET TO AN IRON ROD AND CAP; THENCE NORTH 89 DEGREES 57 MINUTES 38 SECONDS EAST ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF NORTHEAST QUARTER FOR 1305.62 FEET TO THE POINT OF BEGINNING.

CERTIFICATE OF APPROVAL BY NOTARY PUBLIC
STATE OF _____
COUNTY OF _____
I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY CERTIFY THAT SHALMARA TRETHERWEY WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY.
GIVEN UNDER MY HAND AND OFFICIAL SEAL
THIS _____ DAY OF _____, 2026.

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION
FOLEY, ALABAMA I HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION THIS THE _____ DAY OF _____, 2026.

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LESS AND EXCEPT: COMMENCING AT A 6" IRON ROD LOCATED AT THE NORTHEAST CORNER OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA, THENCE SOUTH 88 DEGREES 57 MINUTES 44 SECONDS WEST ALONG THE NORTH LINE OF SAID SECTION 22 FOR A DISTANCE OF 20.0 FEET TO THE WEST LINE OF ROSCOE ROAD (40 FOOT RIGHT OF WAY CLAY ROAD); THENCE RUN SOUTH ALONG SAID WEST RIGHT OF WAY LINE FOR A DISTANCE OF 962.64 FEET TO AN IRON ROD AND CAP AND POINT OF BEGINNING; THENCE NORTH 89 DEGREES 47 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 1308.57 FEET TO A POINT; THENCE RUN SOUTH 88 DEGREES 47 MINUTES 42 SECONDS EAST FOR A DISTANCE OF 1300.44 FEET TO A POINT; THENCE RUN NORTH FOR A DISTANCE OF 168.4 FEET TO THE POINT OF BEGINNING.

CERTIFICATE OF APPROVAL BY NOTARY PUBLIC
STATE OF _____
COUNTY OF _____
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CERTIFICATE OF APPROVAL BY NOTARY PUBLIC
STATE OF _____
COUNTY OF _____
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THIS _____ DAY OF _____, 2026.

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CERTIFICATE OF APPROVAL BY HINERA UTILITIES (SEWER)
THE UNDERSIGNED, AS AUTHORIZED BY HINERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. THIS THE _____ DAY OF _____, 2026.

LESS AND EXCEPT: COMMENCING AT A 6" IRON ROD LOCATED AT THE NORTHEAST CORNER OF SECTION 22, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA, THENCE SOUTH 88 DEGREES 57 MINUTES 44 SECONDS WEST ALONG THE NORTH LINE OF SAID SECTION 22 FOR A DISTANCE OF 20.0 FEET TO THE WEST LINE OF ROSCOE ROAD (40 FOOT RIGHT OF WAY CLAY ROAD); THENCE RUN SOUTH ALONG SAID WEST RIGHT OF WAY LINE FOR A DISTANCE OF 962.64 FEET TO AN IRON ROD AND CAP AND POINT OF BEGINNING; THENCE NORTH 89 DEGREES 47 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 1308.57 FEET TO A POINT; THENCE RUN SOUTH 88 DEGREES 47 MINUTES 42 SECONDS EAST FOR A DISTANCE OF 1300.44 FEET TO A POINT; THENCE RUN NORTH FOR A DISTANCE OF 168.4 FEET TO THE POINT OF BEGINNING.

CERTIFICATE OF APPROVAL BY NOTARY PUBLIC
STATE OF _____
COUNTY OF _____
I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY CERTIFY THAT SHALMARA TRETHERWEY WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY.
GIVEN UNDER MY HAND AND OFFICIAL SEAL
THIS _____ DAY OF _____, 2026.

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION
FOLEY, ALABAMA I HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION THIS THE _____ DAY OF _____, 2026.

CERTIFICATE OF APPROVAL BY BALDWIN EMC (ELECTRIC)
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. THIS THE _____ DAY OF _____, 2026.

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CERTIFICATE OF APPROVAL BY NOTARY PUBLIC
STATE OF _____
COUNTY OF _____
I, _____, NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, HEREBY CERTIFY THAT SHALMARA TRETHERWEY WHOSE NAME IS SIGNED TO THE FOREGOING INSTRUMENT AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, EXECUTED THE SAME VOLUNTARILY.
GIVEN UNDER MY HAND AND OFFICIAL SEAL
THIS _____ DAY OF _____, 2026.

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FOLEY, ALABAMA I HEREBY APPROVED BY THE CITY OF FOLEY PLANNING COMMISSION THIS THE _____ DAY OF _____, 2026.

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DATE
REVISIONS
DRAWN BY: GZA
CHECKED BY: MAJ
PROJECT No.: F. TRETHERWEY
DATE: February 19, 2026
SCALE: 1" = 50'
TRETHERWEY SUBDIVISION
120 BISHOP CIRCLE, SUITE 300 (PELHAM)
PELHAM, AL 35124
[205] 403-9158
ENGINEERING DESIGN GROUP, LLC
1000 EAST LAUREL AVENUE
FOLEY, AL 36535
[251] 943-8950
1 OF 1



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval with Conditions

PROJECT NAME: Phase II Ridge on Wolf Creek

REQUEST: PUD Modification- Request to install street with valley gutter in lieu of street with ditches

SUBTYPE: PUD Modification

OWNER / APPLICANT: McGuire Associates a Division of GSA an LJA Company - Michael McGuire

ACREAGE: 33 acres

NUMBER OF LOTS:

PIN#(s): 72378

LOCATION:
9124 CLARKE RIDGE RD

PROJECT DESCRIPTION:
Phase II Ridge on Wolf Creek- Request to install street with valley gutter in lieu of street with ditches.

CURRENT CITY ZONING:
PUD - Planned Unit Development

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

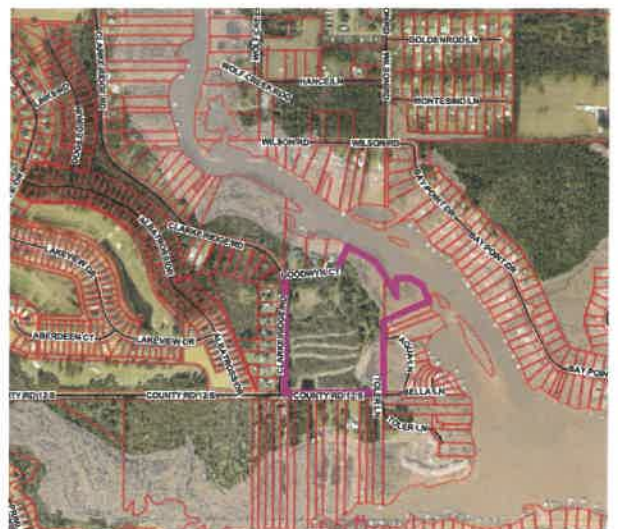
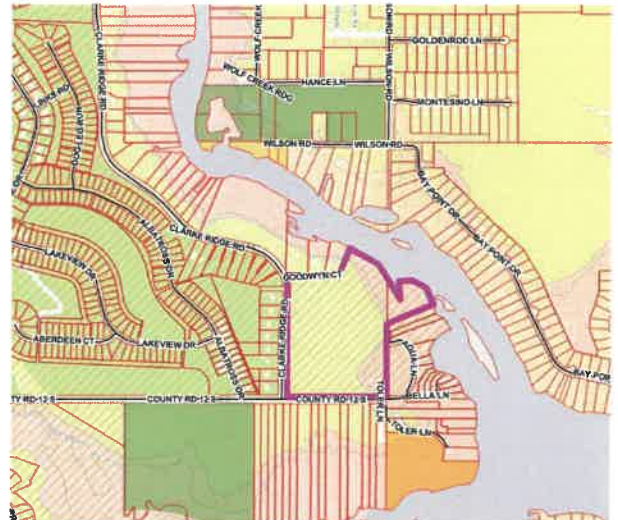
ADJACENT ZONING:
PUD & BC Dist 30 RSF-1

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Edge Neighborhood

EXISTING LAND USE:
Vacant



PC JOINT STAFF REPORT

Permit #: PUD26-000003

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Approved with Comments

1. The adopted 2026 Technical Design Manual guidance will apply to this development.

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved**Reviewer:** Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Approved**Reviewer:** Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved with Comments

1. If approved at PC, the existing LDP approval will no longer be valid and a new LDP application will be required that meets all of the new TDM requirements.

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department**Review Status:** Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:**Approved**

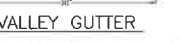
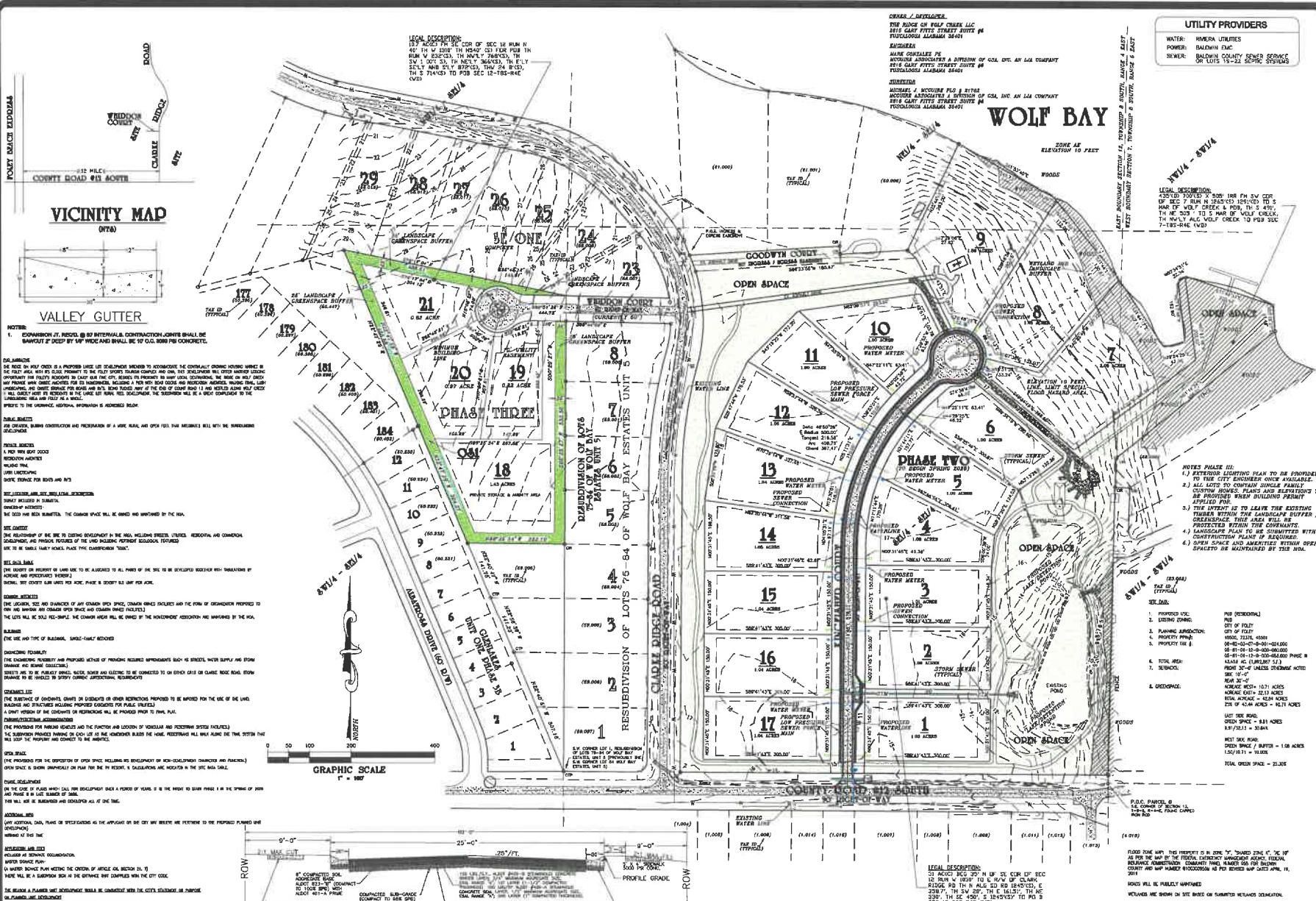
Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.



NOTES:
 1. EXPANSION JOINTS SHALL BE SPACED AT 10' INTERVALS. CONTRACTION JOINTS SHALL BE SPACED AT 20' INTERVALS AND SHALL BE 1/4" DEEP BY 1/4" WIDE AND SHALL BE 1/4" GALV. ZINC PBI CONCRETE.

LANDSCAPE:
 THE LANDSCAPE DESIGN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THE LANDSCAPE DESIGN SHALL BE SUBMITTED WITHIN 90 DAYS OF THE DATE OF THE PERMIT TO CONSTRUCT.

PHASE I:
 PHASE I SHALL INCLUDE THE CONSTRUCTION OF THE OPEN SPACE AND THE CONSTRUCTION OF THE PAVEMENT AND UTILITIES.

PHASE II:
 PHASE II SHALL INCLUDE THE CONSTRUCTION OF THE BUILDINGS AND THE CONSTRUCTION OF THE PAVEMENT AND UTILITIES.

PHASE III:
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PHASE XI:
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PHASE XXX:
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UTILITY PROVIDERS

WATER: WILCOX UTILITIES
 POWER: BALDWIN EMC
 SEWER: BALDWIN COUNTY SEWER SERVICE OR LOTS 13-22 SEWER SYSTEMS

DEVELOPER:
 THE RIDGE ON WOLF CREEK, LLC
 815 EAST FIFTH STREET, SUITE 204
 TUSCALOOSA, ALABAMA 36601

DESIGNER:
 MARK COLETTI, P.E.
 10000 WOODBRIDGE AVENUE, SUITE 100
 TUSCALOOSA, ALABAMA 36601

REGISTERED PROFESSIONAL ENGINEER:
 MICHAEL J. WOODRUFF, P.E.
 10000 WOODBRIDGE AVENUE, SUITE 100
 TUSCALOOSA, ALABAMA 36601

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PRELIMINARY ENGINEERING PLAN
RIDGE ON WOLF CREEK
PHASE II
A RESIDENTIAL DEVELOPMENT
FOLEY, ALABAMA

MCGUIRE ASSOCIATES
 A DIVISION OF
ANALOG COMPANY
GONZALEZ - STRENGTH & ASSOCIATES, INC.
 CIVIL ENGINEERING, LAND SURVEYING, PLANNING, TRAFFIC & TRANSPORTATION

REGISTERED PROFESSIONAL ENGINEER
 MICHAEL J. WOODRUFF, P.E.
 10000 WOODBRIDGE AVENUE, SUITE 100
 TUSCALOOSA, ALABAMA 36601

DATE: 2/29/2024
SCALE: AS SHOWN
PROJECT: PP-1
NO.: 25-0088

KALABAMA
 No. 21702
REGISTERED PROFESSIONAL ENGINEER
 MICHAEL J. WOODRUFF, P.E.
 2/29/2024

DATE: 2/29/2024
SCALE: AS SHOWN
PROJECT: PP-1
NO.: 25-0088



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval with Conditions (Conditions listed under requested preliminary)

PROJECT NAME: Nature Walk at Graham Creek Subdivision- Deviation Request

REQUEST: Subdivision - Deviation

SUBTYPE: Subdivision - Deviation

OWNER / APPLICANT: DHI Engineering, LLC - Justin Britt

ACREAGE: 77.16

NUMBER OF LOTS: 41

PIN#(s): 397332 & 397333

LOCATION:
Corner of Roscoe Rd and Philomene Holmes Blvd

PROJECT DESCRIPTION:
Nature Walk at Graham Creek Subdivision- Deviation Request

CURRENT CITY ZONING:
R-3 - Residential Multifamily

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

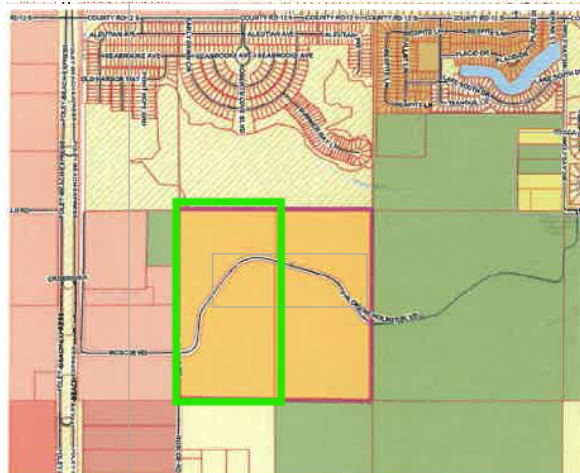
ADJACENT ZONING:
PUD, AO, B-1A, BC Dist 30 RA

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Edge Neighborhood

EXISTING LAND USE:
Vacant/Wooded





DHI Engineering, LLC

DHI Engineering, LLC.
22000 Town Center Ave
Suite 100
Spanish Fort, AL 36527
www.dhiengineering.com

20-April-2026

Planning Staff
City of Foley
200 West Laurel Avenue
Foley, AL 36535

**Re: Nature Walk at Graham Creek
Deviation Request**

To Whom it May Concern,

Nature Walk at Graham Creek is a proposed 41-lot single-family residential subdivision located off Philomene Holmes Boulevard and Roscoe Road. The development is designed to utilize existing roadway infrastructure to provide access to the proposed homes, avoiding the need for new road construction. By relying on existing access and limiting site disturbance, the project preserves the natural character of the area while minimizing impacts to existing vegetation.

On behalf of the applicant, this letter respectfully requests a deviation from the perimeter open space requirement as outlined in the City of Foley Subdivision Regulations section 5.5.F.2.b and from street trees as outlined in section 5.8.B for the above-referenced property. These requests are submitted in accordance with the criteria for granting deviations and are justified based on the unique characteristics and constraints of the subject site.

Deviation 1: Open Space: 50% of the perimeter must front either the street or active building frontages

The total site area associated with Nature Walk at Graham Creek is ± 77 acres with ± 41.5 acres serving as wetlands. By utilizing the existing roadway and limiting development into the uplands, the proposed development will restrict the developed/disturbed area to ± 21 acres. The deviation will not reduce the area or percentage of open space, only the perimeter requirement of 50% fronting a right of way or building front. It will not impact emergency access, visibility, stormwater management, or neighboring uses. Adjacent properties will remain adequately buffered, and the overall site design maintains functional open areas consistent with the intent of the subdivision regulations.

The conditions forming the basis of this request are unique to the subject property and are not generally applicable to other parcels. The property is affected by specific site constraints, including its shape, orientation, and existing physical features, which limit the ability to meet the fronting perimeter open space requirement while still allowing a reasonable and functional site layout. These conditions are inherent to the property itself and were not created by the applicant. As such, the deviation request does not represent a general waiver of the regulations but rather a site-specific accommodation warranted by these unique circumstances.

Page 2

It is understood that the option of 'reversing' the frontage of lots 5-22 has been suggested to meet the criteria. Though this would satisfy the open space perimeter frontage requirement, it is felt that having the homes reversed on lots 5-22 would create an undesirable aesthetic for the subdivision and the city.

Deviation 2: Street Trees: required along Roscoe and Philomene Holmes

In addition, the applicant also requests a deviation from the street tree requirement of the City of Foley Subdivision Regulations as outlined in section 5.8.B.

The purpose and intent of the street tree requirement is generally to provide buffering, visual enhancement, and preservation of community character, all of which will be met through the preservation and utilization of a 25' greenbelt buffer consisting of established vegetation and mature trees along the roadway frontage. The existing vegetation provides immediate canopy coverage, improved aesthetics, shade, and environmental benefits that exceed what newly planted street trees would provide at the time of installation.

Accordingly, the requested deviation represents a reasonable and context-sensitive alternative that satisfies the intent of the street tree requirement while promoting preservation of existing natural features and minimizing site disturbance.

Please feel free to contact me if you have any questions, comments or concerns.

Respectfully,
DHI Engineering, LLC



Justin Britt, P.E.
Area President
JMBritt@DHIEngineering.com
(251) 209-5730

Digitally signed by Justin
Britt
Date: 2026.04.20
09:09:01-05'00'



PLANNING COMMISSION JOINT STAFF REPORT MAY 2026

STAFF RECOMMENDATION: Approval with Conditions
PROJECT NAME: Nature Walk at Graham Creek
REQUEST: Subdivision
SUBTYPE: Preliminary
OWNER / APPLICANT: DHI Engineering, LLC - Justin Britt

ACREAGE: 77.16

NUMBER OF LOTS: 41

PIN#(s): 397332 & 397333

LOCATION:
Corner of Roscoe Rd and Philomene Holmes Blvd

PROJECT DESCRIPTION:
Nature Walk at Graham Creek

CURRENT CITY ZONING:
R-3 - Residential Multifamily

OVERLAY DISTRICT:
N/A

REQUESTED ZONING:
N/A

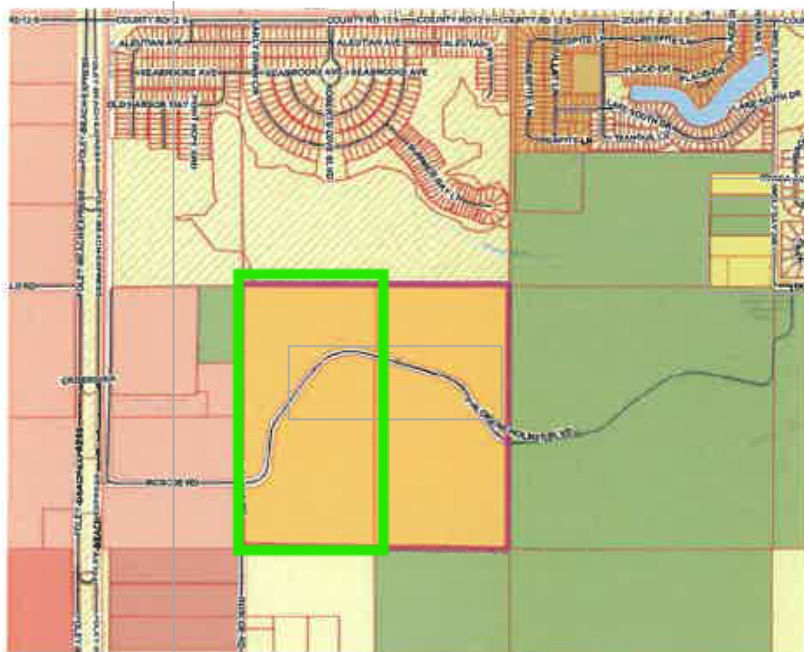
ADJACENT ZONING:
PUD, AO, B-1A, BC Dist 30 RA

COUNTY ZONING:
N/A

COUNTY LOT SIZE:
N/A

FUTURE LAND USE:
Place Type: Edge Neighborhood

EXISTING LAND USE:
Vacant/Wooded



PC JOINT STAFF REPORT

Permit #: SUB26-000007

Reviewer: Engineering Team, 2519524021, rroberts@cityoffoley.org, Engineering**Review Status:** Approved with Comments

1. Provide a crosswalk near the intersection of Philomene Holmes and Roscoe Roads to provide connection for the sidewalks.
2. As part of the land development permit review, the contractor will be required to overlay the existing asphalt roads along Philomene Holmes and Roscoe Rd with the minimum wearing surface requirement as outlined in the 2022 Land Development Ordinance due to the number of open cuts for utilities and current condition of these roads.

Reviewer: Jackie McGonigal, 251-979-9710, jmcgonigal@cityoffoley.org, Environmental**Review Status:** Approved with Comments

1. Final Civil Plans and Landscape Plans will go through technical review at the LDP phase. This project will be subject to LDO 2022 requirements.
2. Prelim Plat shows 30 ft wetland buffer; wetland delineation report from Wetland Science, Inc was uploaded 3/30/26 to documents. This is adequate if the wetlands are to remain in ownership of the developer. If any portion of wetlands is to be donated to Graham Creek Nature Preserve, this wetland buffer would need to increase to 50 ft along any of the residential lot lines with 40'-50' access points. City email correspondence uploaded to Documents.
3. Landscape schematic uploaded; the full landscape plan will be a required for all new developments at the LDP phase. LDO 2022 tree density requirements are minimum 10 native trees per acre of open and civic space. This density can be offset by preserving native trees 8" DBH or greater.
4. Protected Tree Assessment from Wetland Science, Inc uploaded 3/30/26 identified 29 Heritage trees on site. Heritage tree means a healthy, protected native tree and its root system with a diameter at breast height equal to or greater than thirty (30) inches or seven (7) feet, ten (10) inches circumference, whichever dimension is less. Any of these that are live, healthy and preserved will count towards tree credits. If any are to be removed, Heritage Tree Removal Permits are required to be purchased prior to any land disturbing activity with like-kind plantings per tree removed if the Planting Schedule does not already account for them.

Reviewer: Chad Brewer, 251-943-1266, cbrewer@cityoffoley.org, Fire Department**Review Status:** Not Approved

1. A fire department turn around shall be provided at the end of the development that meets the requirements of Appendix D in the 2024 IFC.

Reviewer: Eden Lapham, 251-952-4011 x 485, elapham@cityoffoley.org, Planning and Zoning**Review Status:** Approved with Comments

1. Show trees that must be preserved/protected as per the tree survey on the Engineering Plan and Landscaping Plan - SHOWN ON LANDSCAPE SCHEMATIC. THOSE WILL NEED TO BE ON DOCUMENTS FOR THE LDO
2. Site data for the Preliminary Plan
REQUESTING DEVIATION 6. Min. building setbacks- ADD STREET SIDE, CORRECT FRONT/REAR ON WEST SIDE OF P. HOLMES, 7. Zoning Classification (if applicable) and Place Type: ADD, 8. Density - gross and net - ADD, 10. Wetland or stream buffers - ADD WIDTH OF BUFFER TO SD TABLE
3. REQUESTED DEVIATION - Setbacks - Correct (reverse) front and rear setbacks for Lots 5-22 to meet open space frontage requirements. Add note to the plat to reflect that these will be rear-entry lots

4. REQUESTED DEVIATION - 50% of the open space perimeter must front either the street or active building frontages. The current plan does not meet that requirement unless lots are rear-entry.
5. If the deviation is approved, the following applies: Fencing, if used for safety or separation, must be no more than 42 inches in height, transparent in design (e.g., metal rail or split rail), and must allow visual and physical permeability on all publicly accessible sides. No side or rear-lot fencing can obstruct views of the civic open space. (Sub Regs Section 5.5.F.2)

Reviewer: Jonathan Cottis, 251-952-4011, jcottis@cityoffoley.org, Building Department

Review Status: Approved

SCOPE AND PURPOSE: The scope and purpose of this analysis was to conduct a review of the plans and specifications submitted for compliance with applicable codes, regulations and ordinances for the City of Foley. Though every attempt is made to produce a thorough and complete review of the information and plans submitted, no representation is made that every aspect of the construction process has been covered. This document in no way relieves any party from being in full compliance with the legally adopted codes, standards, ordinances and regulations of the City of Foley, Alabama.

APPROVAL STATUSES EXPLANATION:

Approved

Indicates that the application or request fully complies with the City of Foley's ordinances, regulations, and adopted plans. No further modifications are required. The applicant may proceed to the next step in the development or permitting process.

Approved with Comments

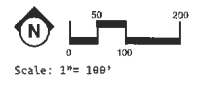
Indicates that the application is generally compliant and may move forward; however, staff have noted additional conditions, recommendations, or clarifications that the applicant must address. These comments do not prevent approval but are intended to guide the preparation of the final plan, permitting, or construction. Compliance with comments may be verified administratively before final approvals are issued.

Not Approved

Indicates that the application does not comply with applicable ordinances, regulations, or adopted plans, or that significant revisions are needed. The applicant must revise and resubmit for further review. The request cannot move forward in its current form.



MASTER PLAN RENDERING
SCALE: 1" = 100'



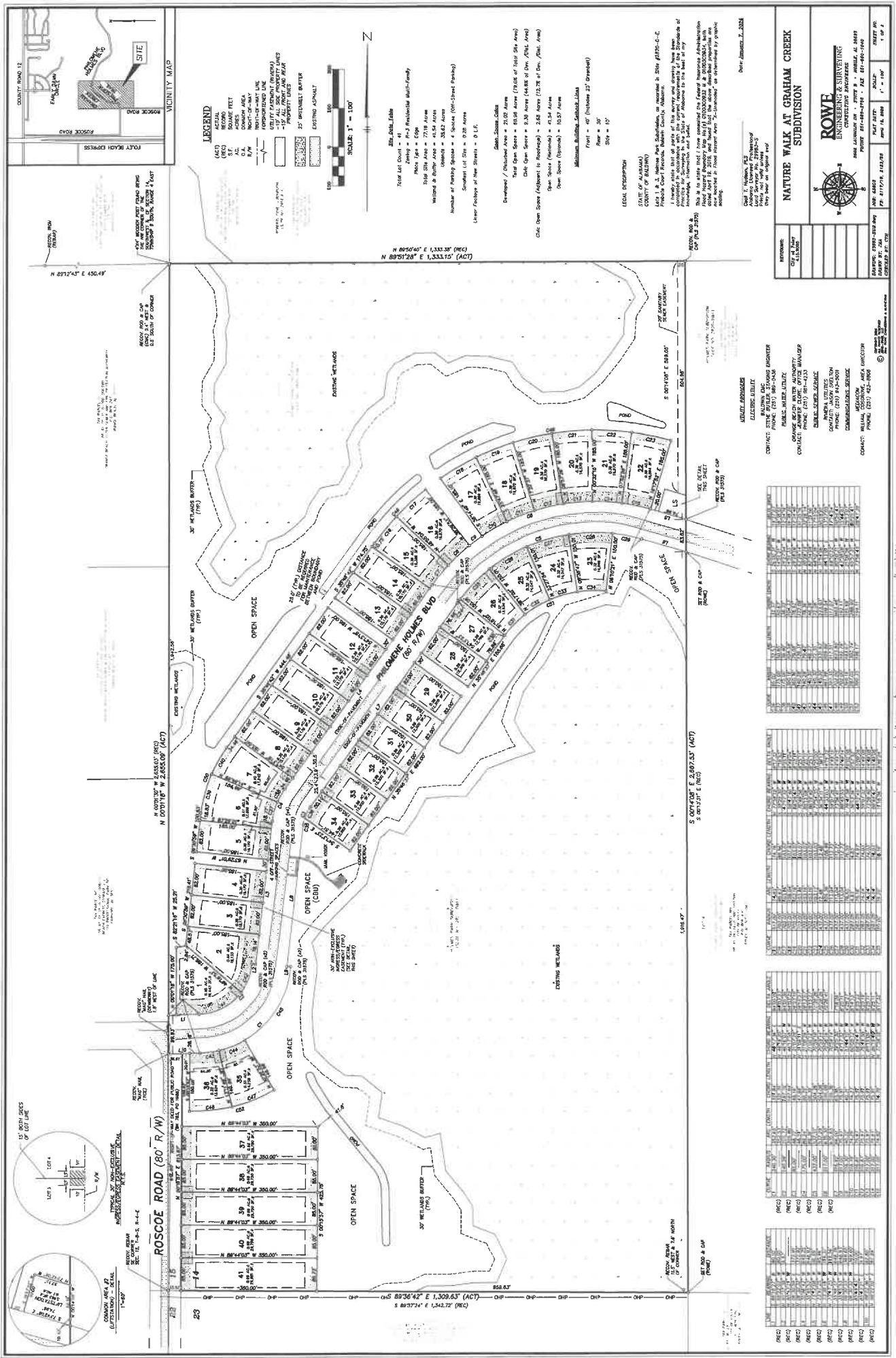
Nature Walk at Graham Creek - Foley, AL

SCHMATIC DESIGN

04.17.26 | Page 1 of 1

Project Number: 261537-146





LEGEND

(ACT) ACTUAL RECORD

(REC) RECORD

(E) EASEMENT

(W) WETLANDS BUFFER

(S) 30' SETBACK BUFFER

(D) 25' DISTRICT BUFFER

(C) EXISTING ASPHALT

200' DRAIN DITCH

Total Lot Count = 41

Zoning = R-3 Residential Multi-Family

Area = 100,000 sq. ft.

Number of Lots = 41

Number of Units = 100

Number of Parking Spaces = 4

Number of Open Spaces = 4

Number of Wetlands = 0

State Street

Development / Finished Area = 21,000 sq. ft.

Total Open Space = 85,000 sq. ft.

City Open Space = 8,500 sq. ft.

City Open Space (adjacent to highway) = 2,500 sq. ft.

Open Space (Residential) = 41,500 sq. ft.

Open Space (Special) = 10,000 sq. ft.

LEGAL DESCRIPTION

STATE OF ALABAMA

COUNTY OF BALDWIN

Parcel 100,000 sq. ft. (ACT)

Parcel 100,000 sq. ft. (REC)

Parcel 100,000 sq. ft. (E)

Parcel 100,000 sq. ft. (W)

Parcel 100,000 sq. ft. (S)

Parcel 100,000 sq. ft. (D)

Parcel 100,000 sq. ft. (C)

PREPARED BY: [Name]

DATE: [Date]

SCALE: 1" = 100'

NATURE WALK AT GRAHAM CREEK SUBDIVISION

ROWE ENGINEERING

REGISTERED PROFESSIONAL ENGINEER

PROJECT NO. [Number]

DATE: [Date]

NO.	DATE	DESCRIPTION
1	10/15/2024	PRELIMINARY PLAN
2	11/05/2024	FINAL PLAN

CLIENT ADDRESS

CLASSIC ESTATE

CONTACT: [Name]

PHONE: [Number]

EMAIL: [Address]

NO.	DATE	DESCRIPTION
1	10/15/2024	PRELIMINARY PLAN
2	11/05/2024	FINAL PLAN

NO.	DATE	DESCRIPTION
1	10/15/2024	PRELIMINARY PLAN
2	11/05/2024	FINAL PLAN

NO.	DATE	DESCRIPTION
1	10/15/2024	PRELIMINARY PLAN
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1	10/15/2024	PRELIMINARY PLAN
2	11/05/2024	FINAL PLAN

NO.	DATE	DESCRIPTION
1	10/15/2024	PRELIMINARY PLAN
2	11/05/2024	FINAL PLAN

NOTES:

- 1.) Overlay Rule: Referenced to Alabama State Plane Coordinate System Cont Zone (D1) NAD 83 (96) established by RVM GPS utility AEDOT network as a collimatory spacing reference station.
- 2.) Type of Survey: Subdivision
- 3.) Plot Date(s): August 14, 2025, January 7, 2026
- 4.) All corners are set and capped (C&A) unless otherwise noted.
- 5.) This drawing does not reflect an easement or file search by the surveyor, Easements or Deeds of easements may exist.
- 6.) Property Address: 8028 Racoon Road
Foley, AL 36538
- 7.) Property Owner(s): Holmes Family LLC
P.O. Box 299
Mable, AL 36051-0299
- 8.) Tax Parcel No.(s): Lot 1 = 05-61-06-14-0-000-003 001
Lot 3 = 05-61-06-14-0-000-003 003
- 9.) The 25' Greenbelt buffer may not be removed by the owners
- 10.) Ownership and maintenance responsibility of water bodies shall not become a City responsibility.

OWNER'S AFFIDAVIT:

The undersigned owner, _____, does hereby accept and approve this plat and subdivision.

By _____
_____, Member

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, a Notary Public in and for said County and State, do hereby certify that _____ whose name as Member of _____, is signed to the foregoing certificate and was in person in me, acknowledged before me on this day, that, being informed of the contents of said certificate, he executed the same voluntarily on the day the same were done for and as an act of said LLC.

Given under my hand and seal this _____ day of _____, 2026.

NOTARY PUBLIC _____ by Commission Expires _____

CERTIFICATE OF APPROVAL BY RIVERA UTILITIES:
(Gas, Water, & Sewer)

The undersigned, as authorized by Rhonda Usher, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this _____ day of _____, 2026.

Authorized Signature _____

CERTIFICATE OF APPROVAL BY BALDWIN EMC:

The undersigned, as authorized by Braden EMC, hereby approves the within plat for the recording of the same in the Probate Office of Baldwin County, Alabama, this _____ day of _____, 2026.

Authorized Signature _____

CERTIFICATE OF APPROVAL BY BALDWIN 9-1-1:

The undersigned, as authorized by Doreen 9-1-1, hereby approves the within plat for the recording of the same in the Probate Office of Baldwin County, Alabama, this _____ day of _____, 2026.

Authorized Signature _____

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER:


The undersigned, as the City Engineer of the City of Foley, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this _____ day of _____, 2026.

City Engineer _____

CERTIFICATE OF APPROVAL BY THE CITY OF FOLEY PLANNING COMMISSION:

The within plat of (The Nature Walk at Graham Creek Subdivision), Foley, Alabama, is hereby approved by the City of Foley Planning Commission, this _____ day of _____, 2026.

City Planning Commission Chairman _____

REFERENCE: City of Foley (L.S. 3608)	NATURE WALK AT GRAHAM CREEK SUBDIVISION
	ROWE ENGINEERING & SURVEYING CONSULTING ENGINEERS 2506 LAURELWOOD DR • SUITE B • MOBILE, AL 36683 PHONE 251-906-1700 • FAX 251-900-1040
DRAWING: 62602-SUB.dwg DRAFTY BY: RCR CHECKED BY: CTR	JOB: 2300 PR: 8/17/19, 8/20/20 DATE: APR 16, 2026 SCALE: 1" = 100' SHEET NO. 2 OF 8

08/17/2019 10:00 AM
 08/20/2020 10:00 AM
 04/16/2026 10:00 AM

12.1.1 BED AND BREAKFAST REQUIREMENTS

- D. No more than one (1) identification sign shall be permitted for the Bed and Breakfast use. ~~Such signs shall state only the name and street address of the establishment. It~~ which shall not exceed four (4) square feet in sign face area. ~~No other signage or advertising copy such as Vacancy/No Vacancy, Rent/Lease, etc. is permitted.~~

22.01 PURPOSE

Signs are an important visual communication tool that benefits our community and its citizens. The City has determined that signs may be unduly distracting to motorists and pedestrians, and thereby create a traffic hazard and reduce the effectiveness of signs needed to direct the public and therefore regulations are necessary. This sign ordinance is adopted under the zoning authority of the City in furtherance of the more general purposes set forth in the Zoning Ordinance. In the interest of furthering the purpose of this Zoning Ordinance, these sign regulations are herein established to provide for the use, location, and size of signs in a manner that ensures that signs are in harmony with the character of the associated use and surrounding area. More specifically, the purposes of these regulations are to:

- To encourage the effective use of signs as a means of communication;
- To maintain and enhance the aesthetic environment and the City's ability to attract sources of economic development and growth;
- To minimize the possible adverse effect of signs on nearby public and private property and maintain attractive, high value residential, commercial and industrial areas;
- Control the size, location, and general design so that signs will be aesthetically harmonious and in context with the area in which they are located;
- Eliminate any conflict that would be hazardous between signs and traffic control signs and traffic control devices; Ensure that signs are located and designed to maintain a safe and orderly pedestrian and vehicular environment;
- To allow a sign containing noncommercial speech to be displayed anywhere that an advertising or business sign is permitted, subject to the same dimensional, locational, and operational regulations otherwise applicable to such sign; and
- To enable the fair and consistent enforcement of these sign restrictions.

22.02 OBJECTIVES

The objectives of this article are to create a set of guidelines that will result in signs that are an asset to the aesthetic appeal of the community, that are restrained in character, are no larger than necessary for adequate identification and advertising, and are of such design as is consistent with the high graphic standards.

Sign eligibility, sign permit status, and applicable standards shall be governed solely by the following objective criteria, with no regard for the topic or viewpoint of displayed message:

1. Safety and functionality;
2. Location;
3. Size, form, and height limitations; and
4. Illumination standards

22.03 DEFINITIONS

~~Abandoned: A permitted sign which was erected on property in conjunction with a particular use, which use has been discontinued for a period of thirty (30) days or more, or a permitted temporary sign for which the permit has expired. Suggested rephrasing—~~A permitted sign erected in conjunction with a use that has been discontinued for thirty (30) days or more, or a permitted temporary sign with an expired permit.

~~Campaign: A temporary sign announcing or supporting political candidates or issues in connection with any national, state or local election.~~

Feather Flag/Feather Banner: a portable, vertical advertising banner made of printed fabric attached to a flexible pole, designed to resemble a bird feather and used to draw attention to an event or business.

Flag: Any rectangular fabric banner up to 4 ft x 6 ft that does not contain copy and is displayed on a halyard or staff. ~~banner, or bunting containing distinctive colors, patterns, or symbols, used as a symbol of a government, political division, or other entity or used as a decorative feature.~~

Incidental: A sign of such minimal size and located in such a manner as to be only visible to pedestrian or vehicular traffic while located on the premises. ~~generally informational, such as “no parking”, “entrance”, “exit”, “loading only”, “drive-through”, “menu boards”, and other similar directives. No sign with a commercial message~~ legible from a position off the zoned lot on which the sign is located shall be considered incidental.

Mural: A decoration or artwork painted on the exterior wall of a building portions of which may be classified as a sign when it contains lettering, trade emblems or logos. ~~When such items are incorporated, the sign specifications shall be as follows:~~

- ~~A. Lettering shall be localized and the area measured to conform to the size limitations of this Ordinance.~~
- ~~B. Trade emblems and logos the entire area of the mural shall be considered to be the sign face area and shall meet the size limitations contained in this Ordinance.~~

Painted Wall Sign: A sign that is not a mural, but which is painted directly on the surface of a structure.

~~Political: A sign erected by a political candidate, group or agent thereof, for the purpose of advertising a candidate or stating a position regarding an issue upon which the voters of the City may vote.~~

Sidewalk / Sandwich Board Sign: A ~~movable~~ portable, two sided, A-frame sign not secured or attached to the ground or any building or structure, and often placed on sidewalks for pedestrian advertisement.

22.1 - GENERAL PROVISIONS

F. SIGN TYPES

6. DETACHED / FREESTANDING SIGNS - Any sign supported by structures or supports that are placed on, or anchored in, the ground and that are independent from any building or other structure.
 - a. Monument Signs - A sign mounted to the ground and designed with a continuous structural element of approximately the same dimension from the ground to the top of the sign.

- b. Pole/Pylon Signs - Any sign supported by a pole, or poles, and otherwise separated from the ground by air.
- c. Multi-tenant Locator Signs - A single ground sign which identifies multiple businesses which are all tenants in a single structure, shopping center or complex. Must be located on the property that is being leased by the businesses who are displayed on the sign face unless otherwise allowed in this ordinance.
- d. Incidental/Directional Signs - A sign of such minimal size and located in such a manner as to be only visible to pedestrian or vehicular traffic while located on the premises. ~~generally informational, such as "no parking", "entrance", "exit", "loading only", "drive-through", "menu boards", and other similar directives.~~ No sign ~~with a commercial message~~ legible from a position off the zoned lot on which the sign is located shall be considered incidental.

G. ATTACHED SIGNS

- 6. Mural Signs - A decoration or artwork painted on the exterior wall of a building ~~is which may be~~ classified as a "Mural sign" when it contains lettering, trade emblems or logos. When such items are incorporated, the sign specifications shall be as follows:
 - a. Lettering, emblems and logos shall be localized and the area measured in accordance with Section 22.1 E.3.b, ~~to conform to the size limitations of this Ordinance;~~ and will count toward the total allowed wall sign for the business upon which it is located.
 - ~~b. Trade emblems and logos the entire area of the mural shall be considered to be the sign face area and shall meet the size limitations contained in this Ordinance.~~
- 7. Painted Wall Signs - A sign that is not a mural, but which is painted directly on the surface of a structure. These signs count toward the total allowed wall signage for a business.
- 8. Window Signs - Any sign, pictures, symbol, or combination thereof, designed to communicate information about an activity, business, commodity, event, sale or service, that is placed inside a window or upon the window panes or glass and is visible from the right-of-way. Window signs count toward the total allowed wall signage for a business, and in no case shall cover more than 50% of a structure's ground floor transparency.

22.2 - PROHIBITED SIGNS

- I. Sidewalk ~~/ Sandwich~~ signs, with the exception of Sandwich Boards as described in 22.3.D.

22.3 - TEMPORARY SIGNS ~~NOT REQUIRING PERMIT~~

The following temporary signs are allowed with the following conditions, and do not require a permit. This section specifically excludes Special Event Signs/Displays as described in 22.4 EXEMPT PERMIT SIGNS.

- A. Temporary signs shall not be illuminated.
- B. ~~Drives or events of a not for profit, civic, educational or religious nature~~ Temporary Event Signs are allowed to advertise for a period of two (2) weeks immediately preceding an event provided that:
 - 1. The sign face must be less than thirty-two (32) square feet.

2. They may be located on and/or off premise, provided it is not in the public right-of-way nor causing a traffic hazard (see 22.1 D - Visibility), and has permission of the landowner on whose property it is placed.
- C. New businesses in the City are allowed to advertise with a single sign for a period of (3) three weeks provided that:
1. The sign is non-electric.
 2. The sign face must not exceed thirty-two (32) square feet.
 3. The sign is located on premises and is not located in the public right-of-way nor pose causing a traffic hazard (see 22.1.D - Visibility).
- D. Sandwich board signs are permitted in all commercially zoned districts for businesses legally operating on the premises where the sign is displayed, provided that:
1. A maximum of one sandwich board sign shall be permitted per business establishment.
 2. The maximum sign face area shall not exceed six (6) square feet, with two (2) faces per sign.
 3. The maximum sign height shall not exceed four (4) feet.
 4. Signs may only be displayed during business operating hours, placed outdoors at the commencement of business, and removed at the close of business each day.
 5. The sign shall be situated on the same lot as the business it advertises.
 6. To ensure durability, stability, and quality appearance, acceptable construction materials shall include molded plastic, aluminum, or wood.
 7. Flashing, moving, illuminated, inflatable, or other similar attention-getting features are strictly prohibited.
 8. The sign shall not obstruct pedestrian circulation, accessible routes, building entrances, curb ramps, parking spaces, fire lanes, loading areas, or any other required areas of safe ingress and egress.
 9. Placement shall not encroach upon the required sight visibility triangles at intersections, driveways, entrances, or exits. They shall not be located in or overhanging the public right-of-way
 10. The sign must be maintained in good condition and shall be removed if damaged, deteriorated, or determined to be unsafe. Non-compliant or unsafe signs are subject to removal at the discretion of the City.
- E. Off-premise Temporary Directional Signs are allowed provided that:
1. No more than two (2) temporary directional signs are utilized per event.
 2. The signs must be non-electric.
 3. Each sign face may not exceed four (4) square feet.
 4. They should be placed no more than one (1) day prior to and removed within one (1) day post event.
 5. Each sign must have placement permission from the property owner.
 6. They shall not be located in or overhanging the public right-of-way nor pose a traffic hazard (see 22.1.D - Visibility).
- F. On Premise Real Estate Signs:
1. Residential Real Estate "For Sale" or Rental Signs ~~(Residential):~~
 - a. Two (2) signs per property advertising the sale or rental are allowed on-premise and two (2) signs are allowed off-premise.
 - b. Must not exceed four (4) square feet of copy area per sign.

- c. Such signs shall not be permitted for a period longer than thirty (30) days after closing the sale or rental of the property.
 2. ~~On-Premise Commercial~~ Real Estate "For Sale" or "For Rent" Signs ~~(Commercial)~~:
 - a. One (1) real estate "For Sale" or "For Rent" sign for commercially zoned properties is allowed for properties with up to 500 linear feet of frontage. An additional sign is allowed for each additional 500 feet of frontage.
 - b. Must be located entirely within the property.
 - c. Must not exceed thirty-two (32) square feet of copy area per sign.
 - d. Such sign(s) shall be removed within thirty (30) days of closing the sale or rental of the property.
 3. ~~Off-Premise Real Estate "For Sale" or "For Rent Signs (Commercial)~~:
 - ~~a. One (1) sign advertising the selling or rental of such property is permitted~~
 - ~~b. Must not exceed four (4) square feet of copy area.~~
 - ~~c. Such sign shall be removed within thirty (30) days of closing the sale or rental of the property.~~
 4. **New Neighborhood or Commercial** Construction Signs:
 - a. Must not exceed thirty-two (32) square feet of sign face.
 - b. May be placed no sooner than actual demolition or construction activities begin and may continue until the permanent sign is erected or the certificate of occupancy is issued, whichever comes sooner.
 - c. Such sign shall not be located in **or overhanging** the public right-of-way nor **pose** **cause** a traffic hazard (see 22.1.D - Visibility).
 5. Model Homes:
 - a. Temporary A-frame signs shall be allowed in residential zones only to be located on the lot of the model home during the business hours in which an agent(s) is present.
- G. ~~Campaign or Election Signs~~ **Temporary Yard Signs on Private Property** are exempt provided that:
1. **Total of** ~~Signs advocating or opposing a public office or a position on an issue to be determined at an election~~ **faces** shall not exceed twelve (12) square feet in residential districts. In all other zoned districts, sign **faces** shall not exceed thirty-two (32) square feet **total**.
 2. ~~Signs advocating or opposing a public office or position on an issue to be determined at an election shall be removed within ten (10) days after the election for which they were erected. In the event of a runoff election, signs may be displayed until the runoff election and then shall be removed within ten (10) days of the runoff election.~~
 3. Property owners shall be held responsible for violations ~~of campaign and election signs~~.
 4. No signs shall be allowed in the public right-of-way, project into or overhang any right-of-way or be attached to any utility pole within the right-of-way.
- H. Decorative Displays
1. **A grouping of up to three** single balloons under twenty-four (24) inches in circumference that do not contain copy are considered decorative. **They shall not be located in, project into, or overhang the public right-of-way nor pose a traffic hazard (see 22.1.D - Visibility).**
 2. **Rectangular fabric flags (separate and distinct from "Feather Flags") with a maximum size of 4 ft x 6 ft that do not contain copy** ~~that display seasonal, holiday, governmental and political displays~~ and are properly mounted on a staff or halyard located on private property are considered decorative. **These should be maintained in good condition without frayed edges or significant fading.**

22.4 - SPECIAL EVENT SIGNAGE / DISPLAYS

Temporary special use or event signs and displays are allowed but only under the following conditions and requirements:

- A. Special event signage and displays require an Exempt Permit (no fee required) found in the City's online permitting system under Planning & Zoning - Special Event Signs/Displays prior to the erection and placement of any such temporary sign or display. ~~Such signs and displays shall be specifically described in writing as to their type and reason for special event.~~

22.5 - SIGNS REQUIRING A PERMIT

A. RESIDENTIAL SIGNAGE

- 1. The following Zones are considered "residential" for the purposes of these sign regulations: R-1R, R-1A, R-1B, R-1C, R-1D, R-2, R-3, R-4, GPH-1, TH-1, MH-1, RV Park, and residential areas of a PUD, PDD, or AO

RESIDENTIAL SIGNAGE ALLOWED							
Purpose	Sign Type	Max Area per Face	# Faces	Max Height	Illumination	Number Signs	Electronic allowed?
Primary Entrance Neighborhood Identification	Ground	50 sf	2	6 ft	Direct or Indirect	1 at Main entrance	no
Secondary Entrance Neighborhood Identification	Ground	32 sf	2	4 ft	Direct or Indirect	1 per Secondary entrance	no
Home Occupation	Ground	4 sf	2	4 ft	PROHIBITED	1	no
Bed & Breakfast	Ground	4 sf	2	4 ft	Direct or Indirect	1 containing only name, street address, and occupancy info	no

C. COMMERCIAL/INDUSTRIAL SIGNAGE

- 2. Painted Murals on the sides of buildings are allowed and are not considered to be a sign unless copy or a logo is included ~~which advertises a business or service.~~ ~~If~~ When copy or a logo is included, ~~this is a sign and must comply with this ordinance.~~ the sign face area will be measured as described in this ordinance, Section 22.1 E.3.b, and will count toward the total allowed wall sign for the business upon which it is located.

E. OTHER SIGNAGE

OTHER SIGNAGE ALLOWED

Zone	Sign Type	Max Area per Face	# Faces	Max Height	Illumination	Number Signs	Electronic allowed?
AO	ZBAA approved temporary Roadside Stand	32 sf	2	5 ft	None	1	No
OSP	Ground	200-sf	2	25-ft	Indirect/ Internal	1-per-entrance	yes
	Promotional/Sponsorship materials within Park boundaries are exempt from Sign Regulations						
PO	Choice of one of the following:						
	Monument	12 sf	2	4 ft	Indirect	1	no
	Wall	12 sf	1	12 ft or at roofline, whichever is lower	Indirect	1	no
FMOD	Single Tenant Ground	36 sf	2	6 ft	Indirect	1	no
	Multi-tenant Ground	64 sf	2	8 ft	Indirect	1	no
	Wall	36 sf	1	20 ft or at roofline, whichever is lower	Indirect	1	no

22.6 - ELECTRONIC SIGN REGULATIONS

Electronic changeable copy (ECC) signs may be permitted as a detached freestanding or attached flat sign as follows:

- E. May not display messages that do not pertain to business conducted on the premises on which the sign is located, unless otherwise exempted ~~or a public service announcement.~~

25.5 “FOLEY MEDICAL OVERLAY DISTRICT (FMOD)”

E. Site Plan Requirements.

- 8. Signage. Limited to ground and wall signs only. Low-profile ground signs shall not exceed six feet in height and 36 square feet per side with a maximum of two sides for single tenant structures, or eight feet in height and 64 square feet per side with a maximum of two sides for multi-tenant structures or when included in a planned development’s master signage plan. When multiple buildings are proposed, a consistent wayfinding system is encouraged.